

INSPECTION REPORT



For the Property at:
32819 XXXXXX AVE
MISSION, BC V2V2J9

Prepared for: TOM CUSTOMER
Inspection Date: Thursday, January 13, 2011
Prepared by: Doug Johns



3D Home and Property Services Ltd.
43955 Lougheed Highway, Suite P.O.Box 10
Lake Errock, BC V0M 1N0
604-615-3098
604-814-2691
www.3dhomeandproperty.com
doug@3dhomeandproperty.com

The best home inspection experience available.



February 3, 2011

Dear Tom Customer,

RE: Report No. 1003, v.12
32819 xxxxxx Ave
Mission, BC
V2V2J9

Thanks very much for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

Doug Johns
on behalf of
3D Home and Property Services Ltd.

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SUMMARY

32819 xxxxxx Ave, Mission, BC January 13, 2011

Report No. 1003, v.12
www.3dhomeandproperty.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

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This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Roofing

SLOPED ROOFING \ Asphalt shingles

Condition: • [Vulnerable areas](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: West Second Floor Roof

Task: Monitor

Time: Unpredictable When necessary

Cost: Minor

Exterior

ROOF DRAINAGE \ Downspouts

Condition: • [Loose connections](#)

Downspout is not property connected

Implication(s): Leakage

Location: North Roof

Task: Correct Improve Repair

Time: Less than 1 year

Cost: Minor \$200

WALLS \ Brick, stone and concrete

Condition: • [Masonry deterioration](#)

Minor Efflorescent noted Requires cleaning/maintenance

Implication(s): Weakened structure | Chance of structural movement

Location: Front Exterior Wall

Task: Clean Correct Inspect annually Monitor Protect

Time: Immediate Ongoing If necessary When necessary

Cost: Minor Less than \$100 Regular maintenance item Depends on work needed

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1. Minor Efflorescent



2. Minor Efflorescent

Condition: • [Efflorescence](#)

Implication(s): Cosmetic defects | Chance of damage to finishes | Material deterioration

Location: Front

BASEMENT ENTRANCES \ Basement stairwells

Condition: • [Drains missing, clogged or undersized](#)

Algae on floor of exterior stairwell noted as well as excessive moisture on interior wall adjacent. No Drain Trap present in floor drain of stairwell.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Rear Basement Exterior Wall

Task: Correct Further evaluation Inspect annually Repair Request disclosure Service annually

Time: Immediate

Cost: Depends on work needed

SUMMARY

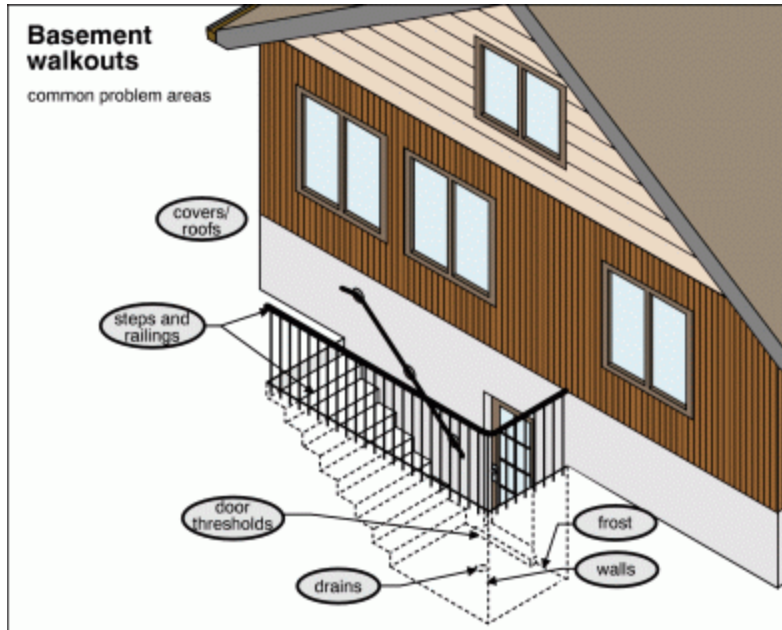
32819 xxxxxx Ave, Mission, BC January 13, 2011

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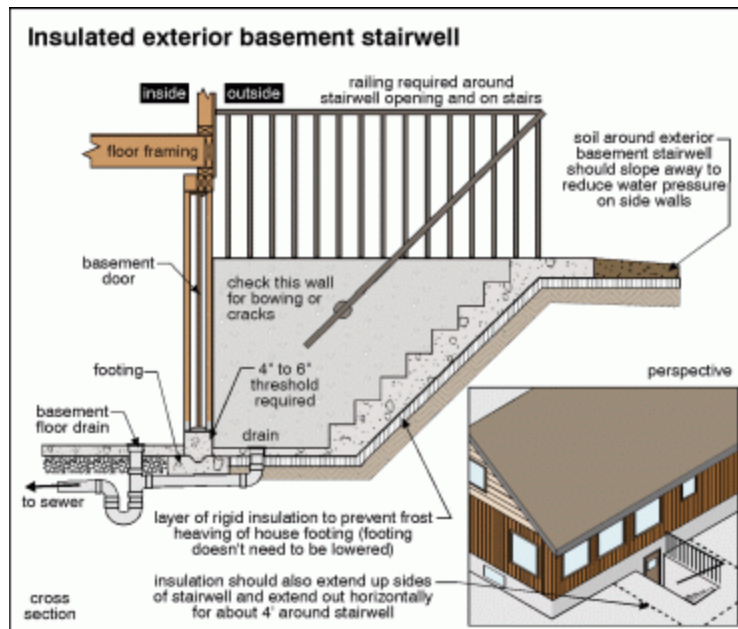
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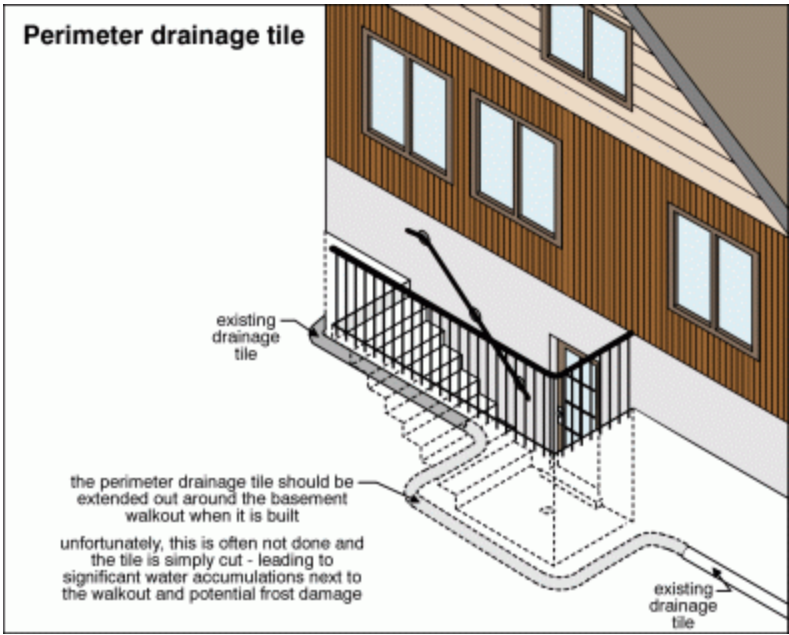
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32819 xxxxxx Ave, Mission, BC January 13, 2011

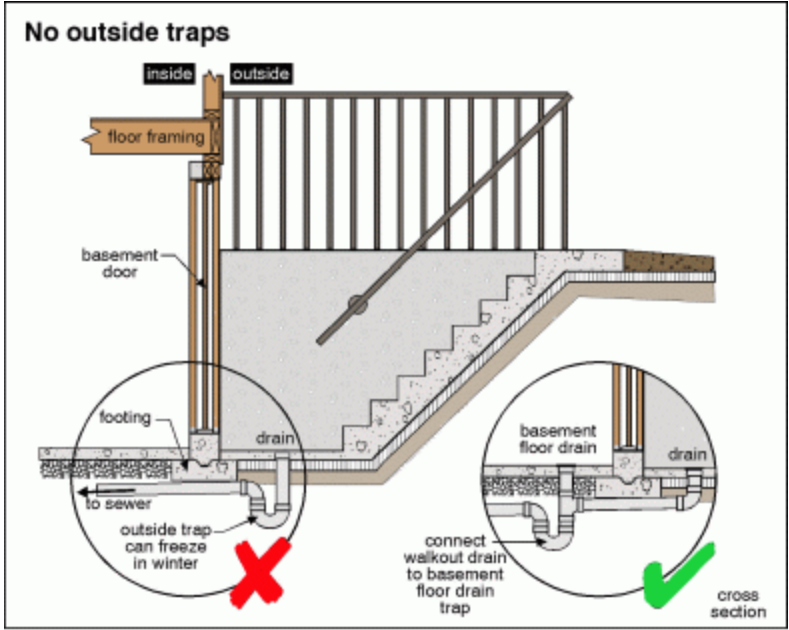
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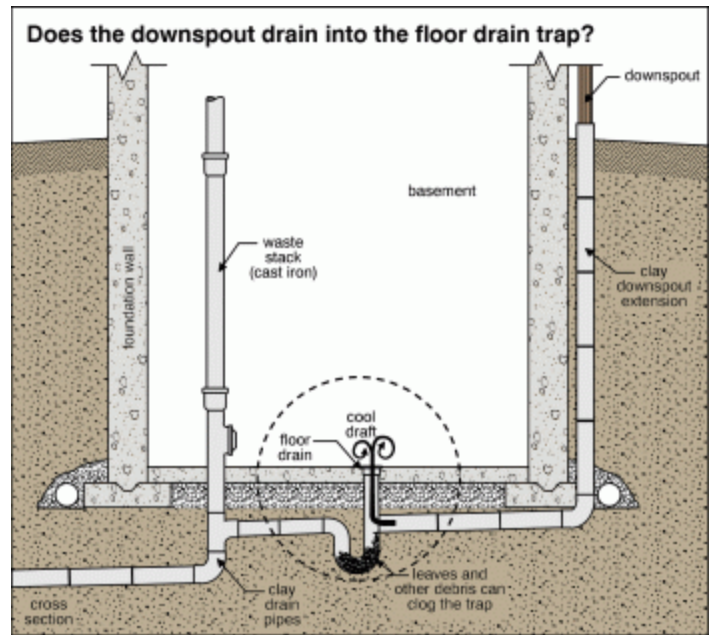
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Click on image to enlarge.



3.



4. Excessive moisture reading on interior wall f

PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Steps and landings

Condition: • [Steps slope](#)

The deck at the rear of the home has been improperly built, there have been no newel posts installed and the handrail and balustrade has not been properly secured. The rise and run of the stairs is too steep and is a possible trip hazard.

Implication(s): Trip or fall hazard

Location: East Rear Exterior Deck Staircase

Task: Correct Remove Replace Upgrade

Time: Immediate

Cost: \$1,000 Less than

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Condition: • [Landings missing or undersized](#)

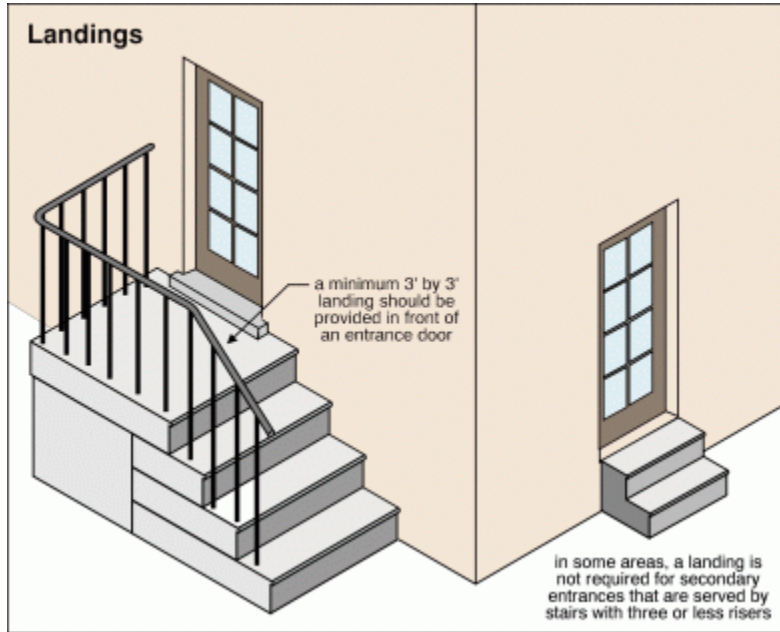
Deck at the rear of the home has not been properly built. No newel posts have been used and Guard rail and balustrade have not been properly secured. Inspector recommends consulting a qualified carpenter to rebuild

Implication(s): Trip or fall hazard

Location: Rear Exterior Balcony

Task: Repair or replace

Time: Immediate



[Click on image to enlarge.](#)



5.

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PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ General

Condition: • Poorly built

Implication(s): Weakened structure

Location: Rear Exterior

Time: Immediate

Cost: \$1,000

LANDSCAPING \ Walk and driveway

Condition: • [Cracked or damaged surfaces](#)

Some spalling was noted on the driveway to the home. Salt spalling is a specific type of weathering which occurs in porous building materials, such as brick, natural stone, tiles and concrete. Dissolved salt is carried through the material in water and crystallizes inside the material near the surface as the water evaporates. As the salt crystals expand this builds up shear stresses which break away spall from the surface. Spalling on this driveway is not severe and may be relative to driveway surface not being sealed or from parking/driving habits of previous owners A qualified concrete professional should be consulted as the condition, left unsurprised may worsen

Implication(s): Trip or fall hazard

Location: Front Exterior

Task: Further evaluation

Time: Less than 1 year

Cost: Depends on work needed



6.

7.

GARAGE \ Floor

Condition: • [Cracked](#)

Minimal cracks noted on Garage floor, recommend monitoring. Moisture reading normal.

Implication(s): Uneven floors

Location: Various

Task: Monitor

Time: Unpredictable If necessary When necessary

Cost: Depends on work needed

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8. Not excessive



9. Normal

Electrical

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • [Ground Fault Interrupter \(GFI\) needed](#)

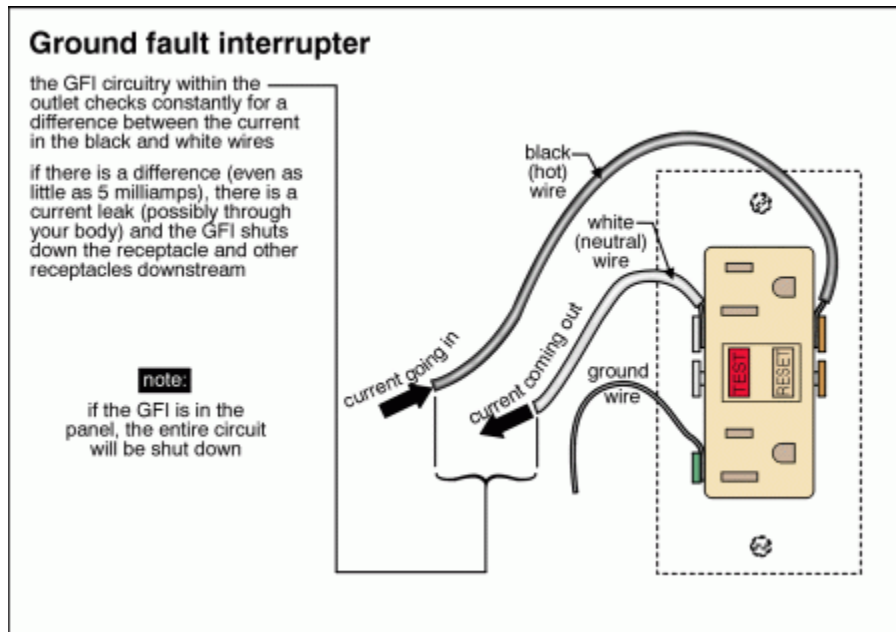
No GFI noted on upstairs of home.

Implication(s): Electric shock

Location: South Second Floor Bathroom

Task: Correct Monitor Repair or replace Request disclosure

Time: Immediate



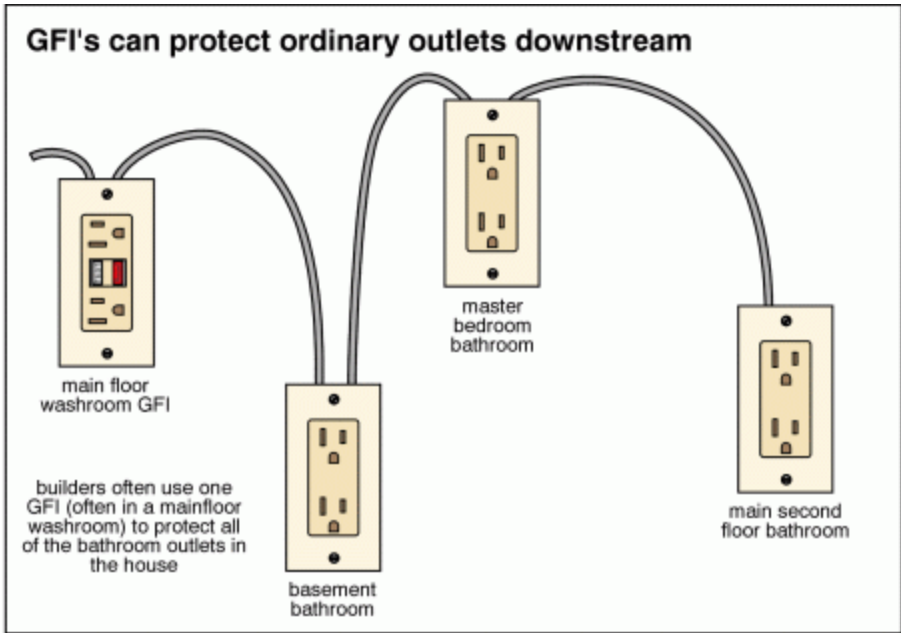
Click on image to enlarge.

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Click on image to enlarge.



10.

Interior

FLOORS \ General

Condition: • Typical flaws

Minor selection of sub-floor (typical). Minor lateral movement of Hardwood floor. It is typical for Solid Wood flooring to climatically adjust to humidity throughout the season. Solid wood floors that do not close tightly (1/8 inch cracks or less) at least once/year may be considered excessive.

Implication(s): Cosmetic defects

Location: Various First Floor Dining Room Hallway Bathroom Living Room

SUMMARY

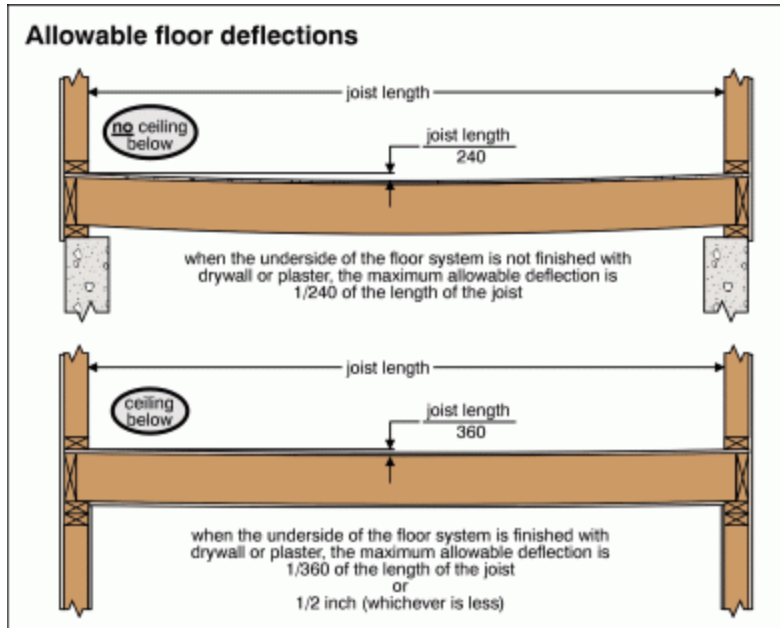
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Task: Monitor
Time: 2 years
Cost: Depends on work needed



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FLOORS \ Subflooring

Condition: • [Springy](#)

Implication(s): Cosmetic defects | Physical injury

Location: Various First Floor

Time: Discretionary

Cost: Minor Depends on work needed

WALLS \ General

Condition: • Typical flaws

Nail pops were noted as well as minor drywall cracks. Typical House settlement, not excessive.

Implication(s): Cosmetic defects

Location: Throughout First Floor Second Floor Foyer Hall Laundry Area Master Bedroom

Task: Further evaluation Inspect annually Monitor

Time: Discretionary If necessary When remodelling

Cost: Depends on work needed

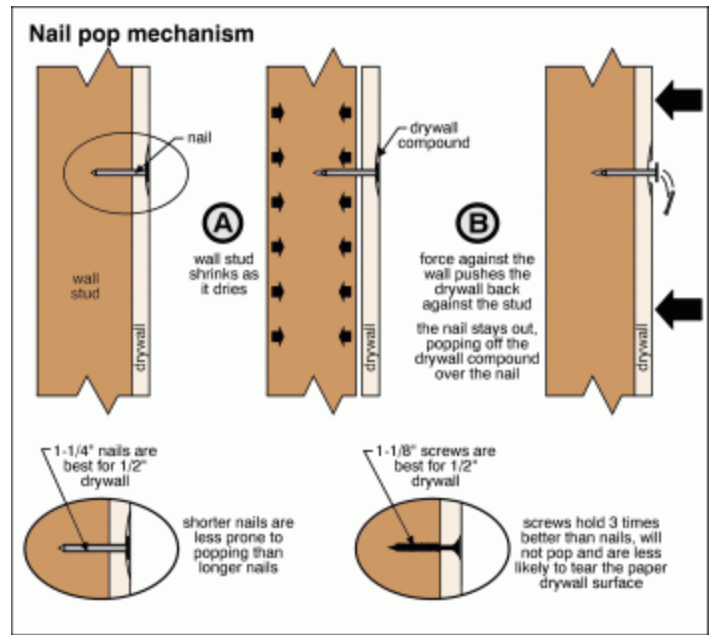
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WINDOWS \ General

Condition: • Mould noted on south facing, upstairs main bathroom. Recommend cleaning and monitoring

Implication(s): Mould can easily spread.

Location: South Exterior Wall Bathroom

Task: Clean Correct Monitor

Time: Immediate

Cost: Minor Depends on work needed



14. mould noted

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STAIRS \ Landings

Condition: • [Too small](#)

Landing is 32 inches wide / should be 36, newel post sits too far back on a stair tread which is only 8 inches wide (should be 9+)

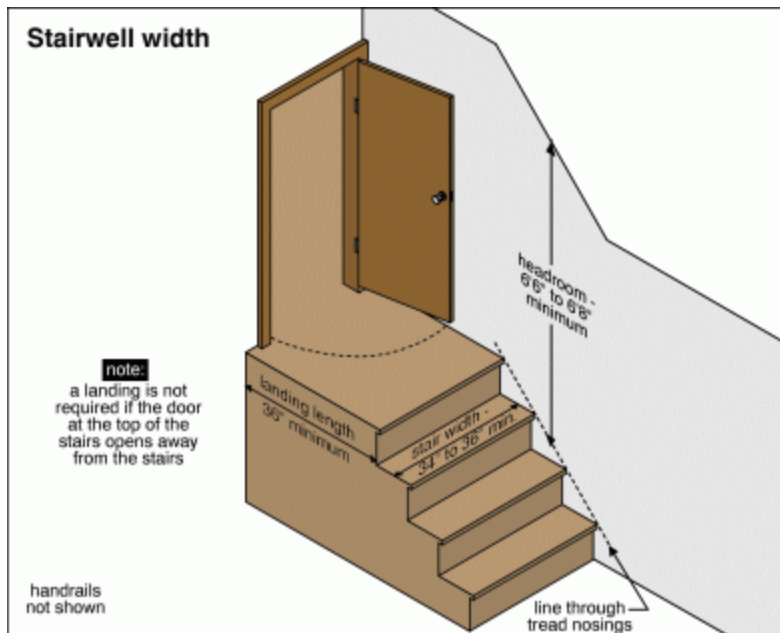
Implication(s): Trip or fall hazard

Location: First Floor Second Floor Foyer

Task: Repair or replace

Time: Immediate

Cost: \$1,500 Depends on work needed



[Click on image to enlarge.](#)



15.



16. Landing is 32 inches wide, should be 36

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EXHAUST FANS \ Exhaust duct

Condition: • [Not vented to exterior](#)

Disconnected bathroom exhaust fan noted in Attic as well as loose telephone wires. Recommend further investigation by qualified professional. Mold/mildew present.

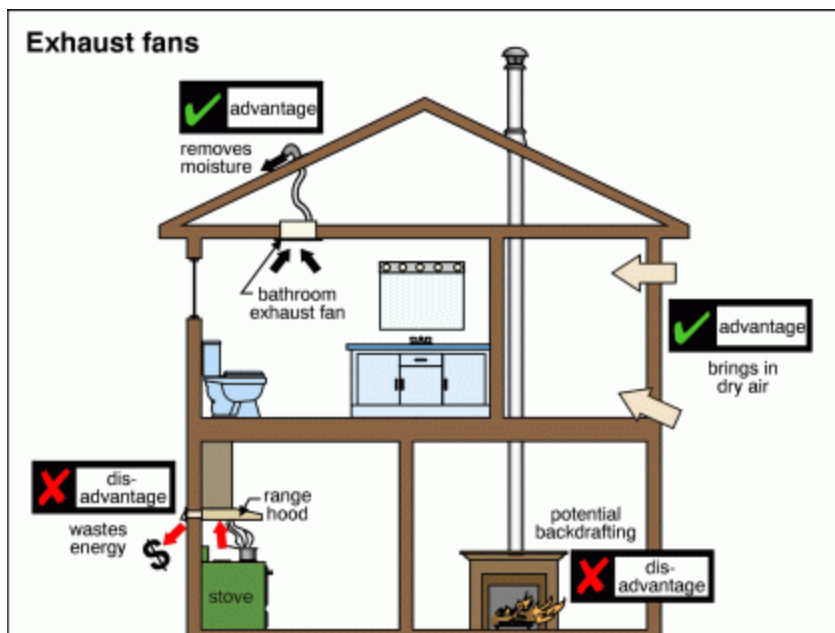
Implication(s): Chance of condensation damage to finishes and/or structure

Location: Center Attic Bathroom

Task: Correct

Time: Immediate

Cost: Depends on work needed



[Click on image to enlarge.](#)



17. loose telephone wires and exhaust fan



18.

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19.

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

ROOFING

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Description

General: • Large expanse of roof may create oversize hydraulic load for the gutter/drainage system. Recommend monitoring during heavy rain.



20.

General: • the Roof

Note: Roof area



21.

ROOFING

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Sloped roofing material: • [Asphalt shingles](#)

Probability of leakage: • Low

Limitations

Inspection performed: • Overhang at roof edge restricted visibility



22.

Inspection performed: • By walking on roof

Recommendations

SLOPED ROOFING \ Asphalt shingles

1. **Condition:** • [Vulnerable areas](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: West Second Floor Roof

Task: Monitor

Time: Unpredictable When necessary

Cost: Minor

EXTERIOR

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Description

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout type: • [Eave mounted](#)

Gutter & downspout discharge: • [Above grade](#)

Downspout discharge: • [Above grade](#)

Lot slope: • [Away from house](#)

Wall surfaces - masonry: • [Brick](#)

Wall surfaces : • [Vinyl siding](#)

Soffit and fascia: • [Wood](#)

Driveway: • Concrete

Walkway: • Concrete • No performance issues were noted.

Deck: • Wood

Limitations

Inspection limited/prevented by: • Poor access under steps, deck, porch • Snow

Upper floors inspected from: • Ground level

Recommendations

ROOF DRAINAGE \ Downspouts

2. Condition: • [Loose connections](#)

Downspout is not property connected

Implication(s): Leakage

Location: North Roof

Task: Correct Improve Repair

Time: Less than 1 year

Cost: Minor \$200

WALLS \ Brick, stone and concrete

3. Condition: • [Masonry deterioration](#)

Minor Efflorescent noted Requires cleaning/maintenance

Implication(s): Weakened structure | Chance of structural movement

Location: Front Exterior Wall

Task: Clean Correct Inspect annually Monitor Protect

Time: Immediate Ongoing If necessary When necessary

Cost: Minor Less than \$100 Regular maintenance item Depends on work needed

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23. Minor Efflorescent

24. Minor Efflorescent

4. Condition: • [Efflorescence](#)

Implication(s): Cosmetic defects | Chance of damage to finishes | Material deterioration

Location: Front

BASEMENT ENTRANCES \ Basement stairwells

5. Condition: • [Drains missing, clogged or undersized](#)

Algae on floor of exterior stairwell noted as well as excessive moisture on interior wall adjacent. No Drain Trap present in floor drain of stairwell.

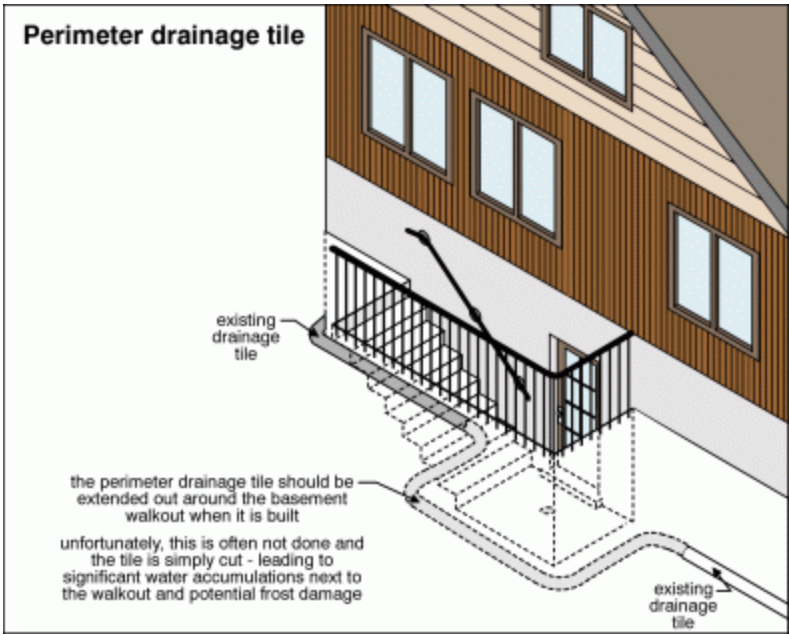
Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Rear Basement Exterior Wall

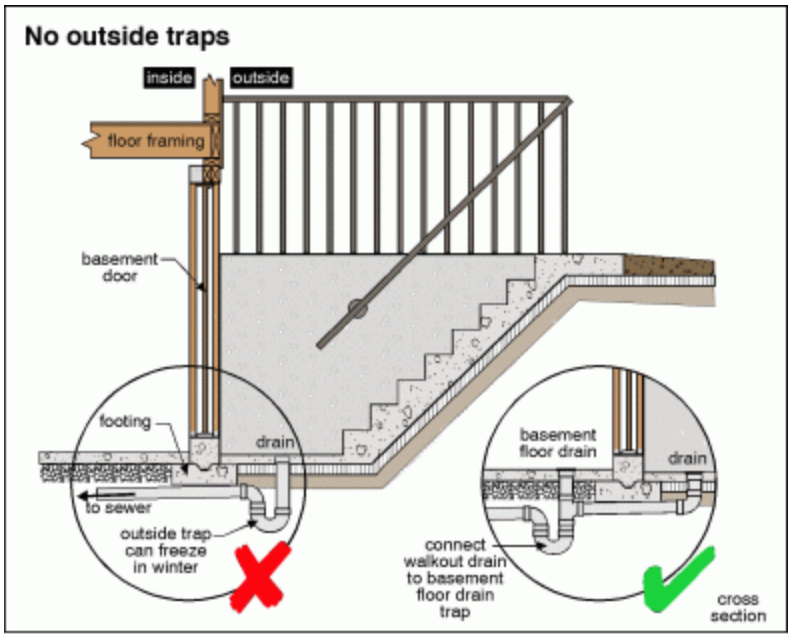
Task: Correct Further evaluation Inspect annually Repair Request disclosure Service annually

Time: Immediate

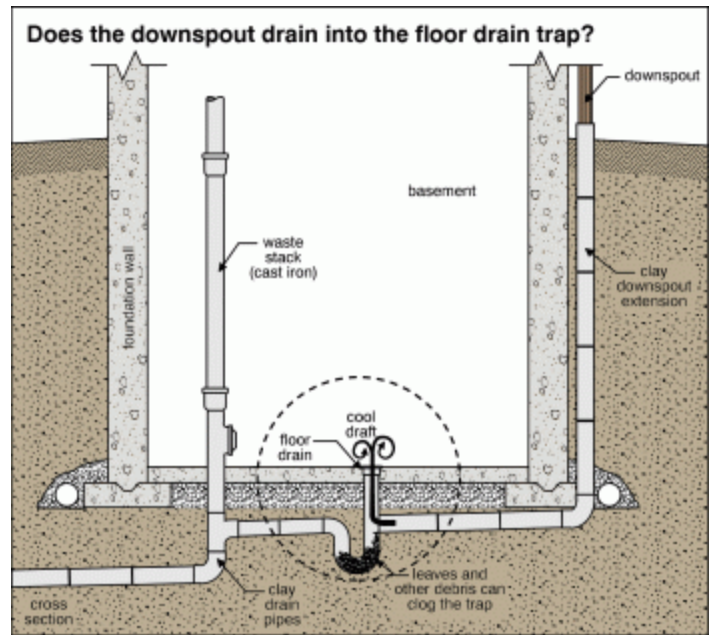
Cost: Depends on work needed



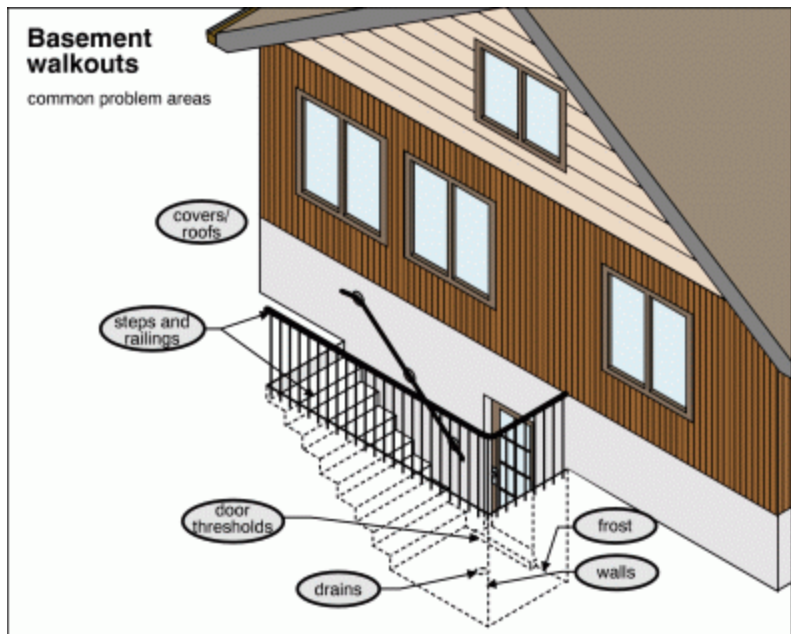
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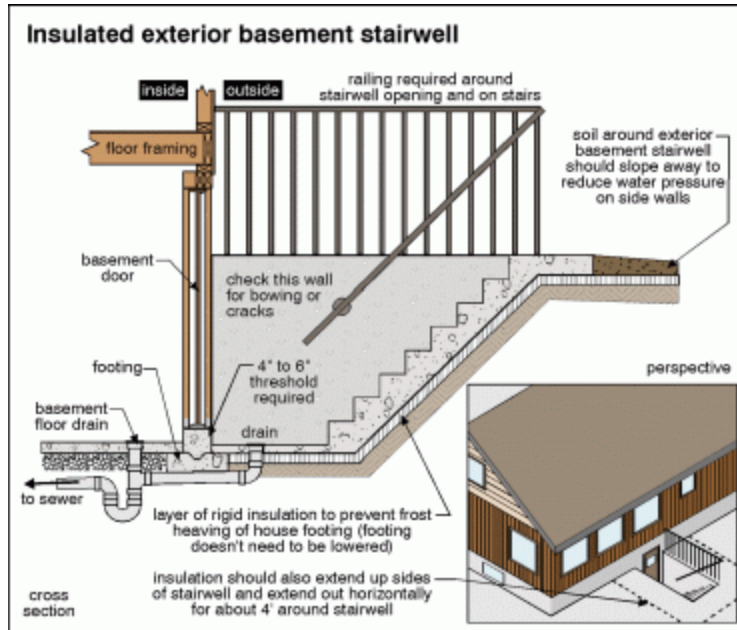
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Click on image to enlarge.



25.



26. Excessive moisture reading on interior wall f

PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Steps and landings

6. Condition: • [Steps slope](#)

The deck at the rear of the home has been improperly built, there have been no newel posts installed and the handrail and balustrade has not been properly secured. The rise and run of the stairs is too steep and is a possible trip hazard.

Implication(s): Trip or fall hazard

Location: East Rear Exterior Deck Staircase

Task: Correct Remove Replace Upgrade

Time: Immediate

Cost: \$1,000 Less than

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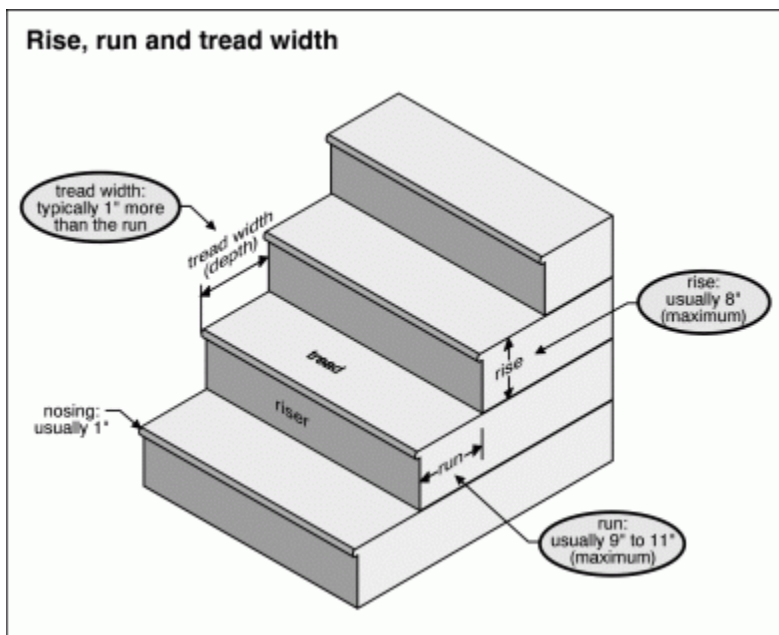
7. Condition: • [Stair run too small or not uniform](#)

Implication(s): Trip or fall hazard

Location: Rear Exterior

Task: Remove Replace

Time: Immediate



8. Condition: • [Landings missing or undersized](#)

Deck at the rear of the home has not been properly built. No newel posts have been used and Guard rail and balustrade have not been properly secured. Inspector recommends consulting a qualified carpenter to rebuild

Implication(s): Trip or fall hazard

Location: Rear Exterior Balcony

Task: Repair or replace

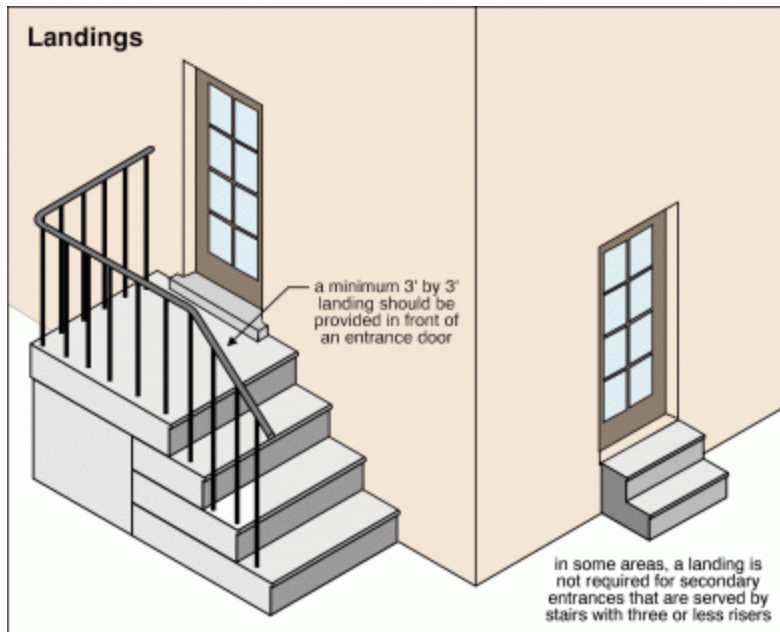
Time: Immediate

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Click on image to enlarge.



27.

9. Condition: • Trip hazard

Implication(s): Trip or fall hazard

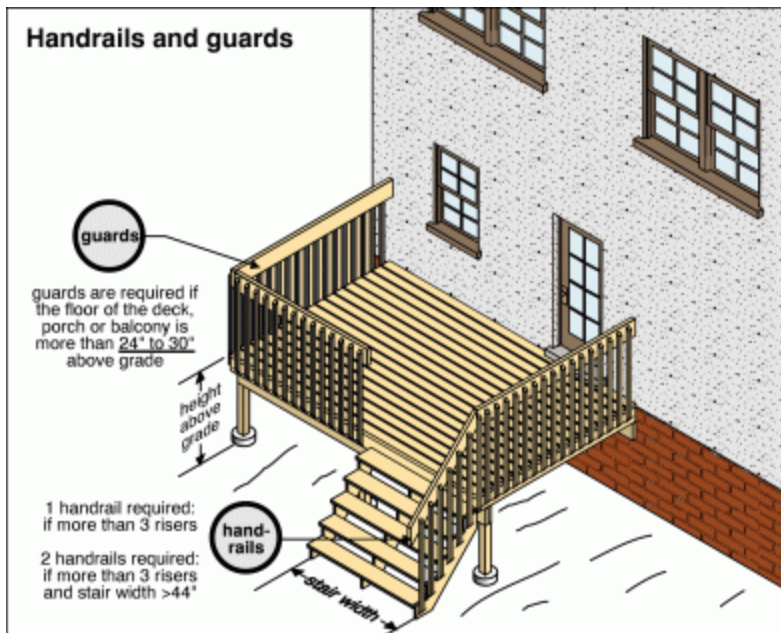
PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Handrails and guards

10. Condition: • Loose

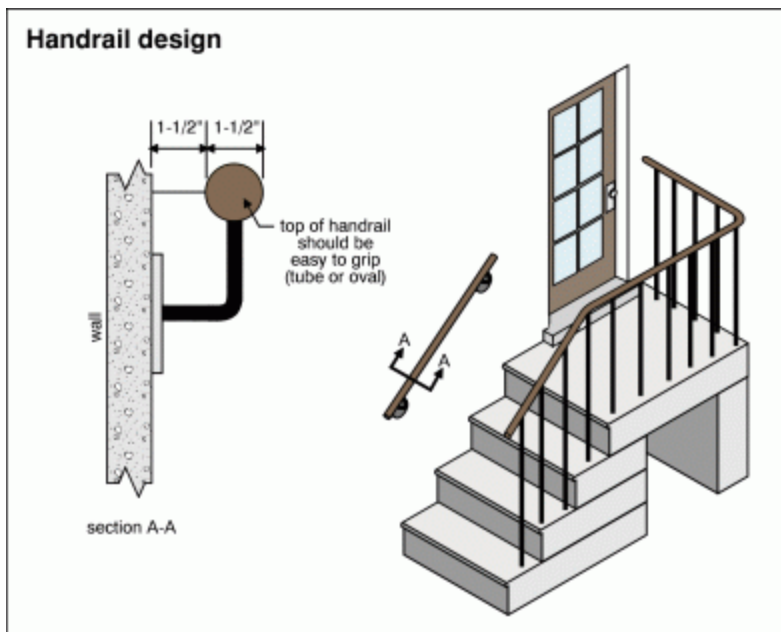
Implication(s): Fall hazard

11. Condition: • [Weak](#)
Implication(s): Fall hazard

12. Condition: • [Ineffective](#)
Implication(s): Fall hazard

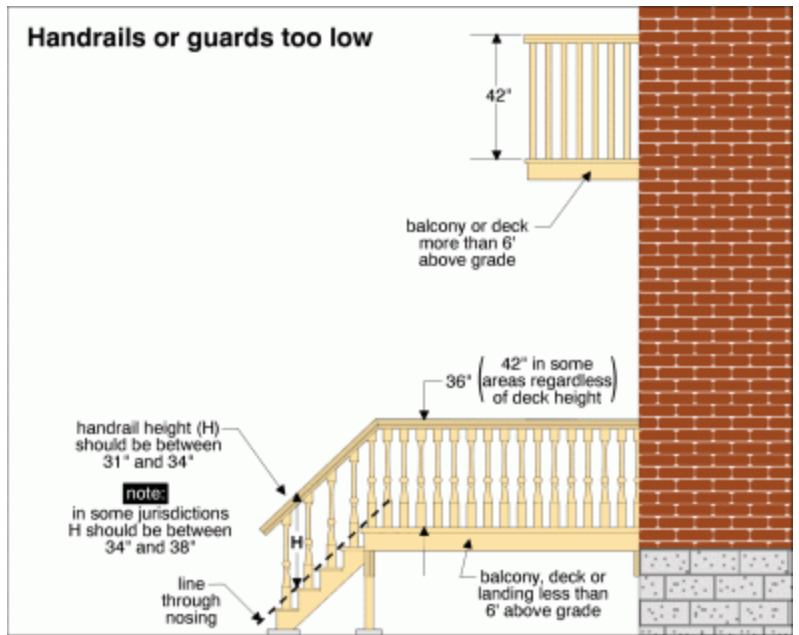


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PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ General

13. Condition: • Poorly built

Implication(s): Weakened structure

Location: Rear Exterior

Time: Immediate

Cost: \$1,000

LANDSCAPING \ Walk and driveway

14. Condition: • [Cracked or damaged surfaces](#)

Some spalling was noted on the driveway to the home. Salt spalling is a specific type of weathering which occurs in porous building materials, such as brick, natural stone, tiles and concrete. Dissolved salt is carried through the material in water and crystallizes inside the material near the surface as the water evaporates. As the salt crystals expand this builds up shear stresses which break away spall from the surface. Spalling on this driveway is not severe and may be relative to driveway surface not being sealed or from parking/driving habits of previous owners A qualified concrete professional should be consulted as the condition, left unsurprised may worsen

Implication(s): Trip or fall hazard

Location: Front Exterior

Task: Further evaluation

Time: Less than 1 year

Cost: Depends on work needed



28.

29.

GARAGE \ Floor

15. Condition: • [Cracked](#)

Minimal cracks noted on Garage floor, recommend monitoring. Moisture reading normal.

Implication(s): Uneven floors

Location: Various

Task: Monitor

Time: Unpredictable If necessary When necessary

Cost: Depends on work needed



30. Not excessive



31. Normal

STRUCTURE

32819 xxxxxx Ave, Mission, BC January 13, 2011

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- SUMMARY
 - ROOFING
 - EXTERIOR
 - STRUCTURE**
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 - HEATING
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Description

- Configuration:** • [Basement](#)
- Foundation material:** • [Poured concrete](#)
- Floor construction:** • [Joists](#) • [Trusses](#)
- Exterior wall construction:** • [Wood frame](#) • [Wood frame, brick veneer](#)
- Roof and ceiling framing:** • [Trusses](#)

Limitations

- Attic/roof space:** • Entered but access was limited

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Description

Service entrance cable and location: • [Overhead copper](#)

Service size: • [200 Amps \(240 Volts\)](#)

Main disconnect/service box rating: • F.Y.I. Main disconnect on panel is rated lower than the electrical panel

Main disconnect/service box rating: • [200 Amps](#)

Main disconnect/service box type and location: • [Breakers - basement](#)

Number of circuits installed: • 24

System grounding material and type: • [Copper - water pipe and ground rod](#) • [Copper - water pipe](#)

Distribution panel rating: • [200 Amps](#)

Distribution panel type and location: • [Breakers - basement](#)

Distribution wire material and type: • [Copper - non-metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • All GFCI circuits are tested as being functioning in the way they were intended

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - outside](#) • [GFCI - panel](#) • [GFCI - kitchen](#) • [GFCI - bathroom and exterior](#)

Smoke detectors: • [Present](#)

Carbon monoxide (CO) detectors: • None noted

Limitations

Panel covers: • Disconnect covers are not removed by the home inspector

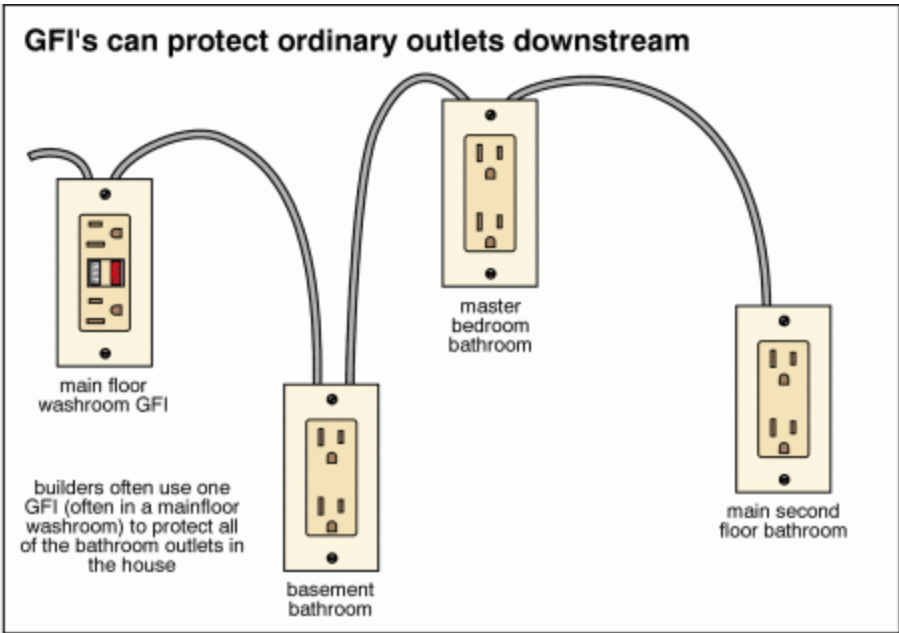
System ground: • Quality of ground not determined

Recommendations

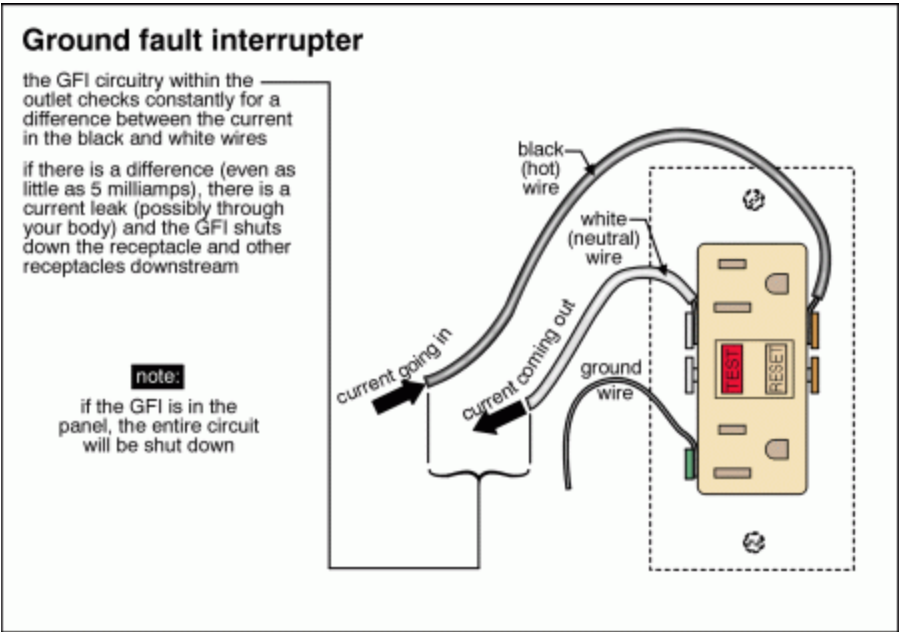
DISTRIBUTION SYSTEM \ Outlets (receptacles)

16. Condition: • [Ground needed for 3-slot outlet](#)
Implication(s): Electric shock

17. Condition: • [Ground Fault Interrupter \(GFI\) needed](#)
No GFI noted on upstairs of home.
Implication(s): Electric shock
Location: South Second Floor Bathroom
Task: Correct Monitor Repair or replace Request disclosure
Time: Immediate



[Click on image to enlarge.](#)



[Click on image to enlarge.](#)

ELECTRICAL

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Description

Fuel/energy source: • [Gas](#)

System type: • [Furnace](#) • Electric baseboard heaters

Furnace manufacturer: • Lennox

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • [80,000 BTU/hr](#)

Efficiency: • [Mid-efficiency](#)

Approximate age: • [5 years](#)

Typical life expectancy: • Furnace (conventional or mid-efficiency) 18 to 25 years

Failure probability: • [Low](#)

Main fuel shut off at: • Basement

Supply temperature: • 90°

Return temperature: • 60°

Auxiliary heat: • [Electric baseboard heater](#)

Fireplace: • [Gas fireplace](#) • [Factory-built](#)

Chimney/vent: • [Metal](#) • None

Chimney liner: • [Not required](#)

Combustion air source: • Outside

Humidifiers: • [Drum type](#)

Limitations

Safety devices: • Not tested as part of a home inspection

Heat loss calculations: • Not done as part of a home inspection

Heat exchanger: • Only a small portion visible

COOLING & HEAT PUMP

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Description

Air conditioning type: • None present

Limitations

Heat gain calculations: • Not done as part of a home inspection

INSULATION AND VENTILATION

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Description

Attic/roof insulation material: • [Glass fiber](#) • [Cellulose](#)

Attic/roof insulation amount/value: • [R-24](#) • [R-32](#)

Attic/roof ventilation: • [Roof and soffit vents](#) • [Soffit vent](#) • [Ridge vent](#) • Turbine vent

Wall insulation material: • [Glass fiber](#)

Wall insulation amount/value: • Not determined

Foundation wall insulation amount/value: • Not determined • Not visible

Air/vapor barrier: • [Plastic](#)

Limitations

Attic inspection performed: • By entering attic, but access was limited

Roof ventilation system performance: • Not evaluated

Air/vapor barrier system: • Continuity not verified

Mechanical ventilation effectiveness: • Not verified

Description

Water supply source: • Public

Service piping into building: • [Copper](#)

Supply piping in building: • [Copper](#)

Main water shut off valve at the: • Front of the basement • Exterior wall

Water heater fuel/energy source: • [Gas](#)

Water heater type: • [Conventional](#) • Owned

Water heater manufacturer: • General Electric

Tank capacity: • [40 gallons](#)

Water heater approximate age: • 5 years

Typical life expectancy: • 8 to 12 years

Water heater failure probability: • [Low](#)

Hot water circulating system: • [Present](#)

Waste disposal system: • [Public](#)

Waste piping in building: • [Plastic](#)

Pumps: • [Sump pump](#)

Floor drain location: • Near laundry area

Gas piping: • Steel

Limitations

Items excluded from a building inspection: • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment

Description

Major floor finishes: • [Carpet](#) • [Hardwood](#) • [Resilient](#) • [Ceramic](#) • [Concrete](#)

Major wall and ceiling finishes: • [Plaster/drywall](#)

Windows: • [Sliders](#) • [Casement](#) • Vinyl

Glazing: • [Single](#) • [Double](#)

Exterior doors - type/material: • [Metal](#) • Garage door - metal

Doors: • Inspected

Evidence of basement leakage: • Present • Dampness • Dehumidifier in basement

Oven type: • Convection

Oven fuel: • Electricity

Range fuel: • Gas

Appliances: • Refrigerator • Range hood • Dishwasher • Waste disposal • Microwave oven • Central vacuum • Door bell

Laundry facilities: • Washer • Laundry tub • Hot/cold water supply • Dryer • Vented to outside • 240-Volt outlet • Waste standpipe

Stairs and railings: • Interior stairway from foyer to the upstairs of the home has a stair landing that is undersized. Minimum requirement is 36 inch X 36 inch. This landing has been installed incorrectly @ 26 in. X 36 in. It represents a potential trip hazard and should be Repaired by a qualified Carpenter.

Stairs and railings: • Inspected

Limitations

Inspection limited/prevented by: • Carpet • Storage/furnishings • Storage in closets/cupboards

Restricted access to: • Furnace room

Not tested/not in service: • Waste disposal • Microwave • Central vacuum

Not included as part of a building inspection: • Carbon monoxide detectors, security systems, central vacuum • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any

Percent of foundation not visible: • 80 %

Crawlspace leakage: • Storage in crawlspace limited inspection

Garage door opener: • Not tested

Recommendations

FLOORS \ General

18. Condition: • Typical flaws

Minor selection of sub-floor (typical). Minor lateral movement of Hardwood floor. It is typical for Solid Wood flooring to climatically adjust to humidity throughout the season. Solid wood floors that do not close tightly (1/8 inch cracks or less) at least once/year may be considered excessive.

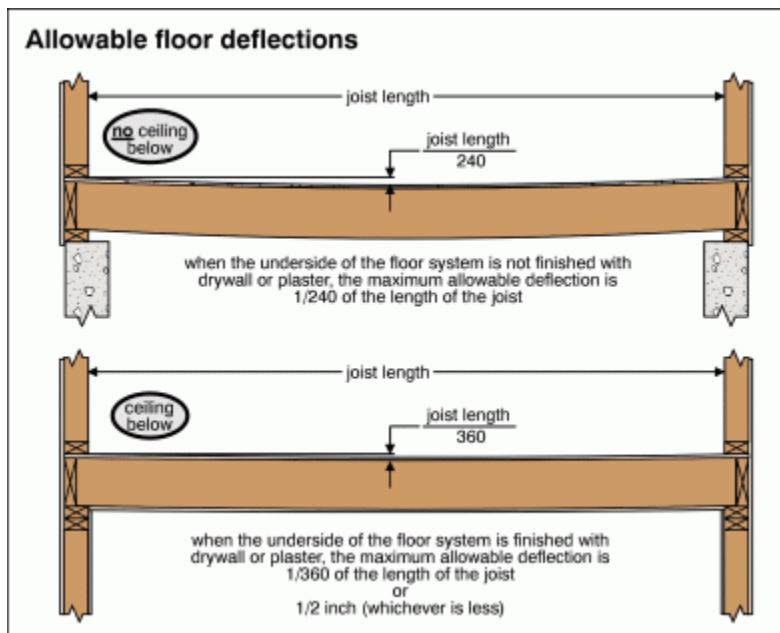
Implication(s): Cosmetic defects

Location: Various First Floor Dining Room Hallway Bathroom Living Room

Task: Monitor

Time: 2 years

Cost: Depends on work needed



Click on image to enlarge.

INTERIOR

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34.



35.

FLOORS \ Wood/laminate floors

19. Condition: • [Squeaks](#)

Implication(s): Noise nuisance

Location: Various First Floor Dining Room Hall Living Room

Task: Monitor

Time: Ongoing

Cost: Minor Depends on work needed Depends on approach

FLOORS \ Subflooring

20. Condition: • [Springy](#)

Implication(s): Cosmetic defects | Physical injury

Location: Various First Floor

Time: Discretionary

Cost: Minor Depends on work needed

WALLS \ General

21. Condition: • Typical flaws

Nail pops were noted as well as minor drywall cracks. Typical House settlement, not excessive.

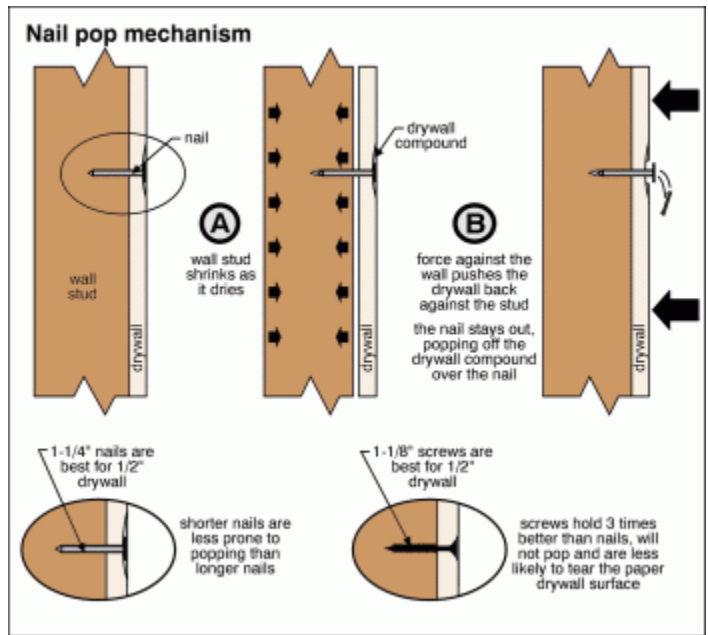
Implication(s): Cosmetic defects

Location: Throughout First Floor Second Floor Foyer Hall Laundry Area Master Bedroom

Task: Further evaluation Inspect annually Monitor

Time: Discretionary If necessary When remodelling

Cost: Depends on work needed



WINDOWS \ General

22. Condition: • Mould noted on south facing, upstairs main bathroom. Recommend cleaning and monitoring

Implication(s): Mould can easily spread.

Location: South Exterior Wall Bathroom

Task: Clean Correct Monitor

Time: Immediate

Cost: Minor Depends on work needed



36. mould noted

STAIRS \ Width

23. Condition: • [Too narrow](#)

Implication(s): Physical injury

Location: Foyer

STAIRS \ Winders

24. Condition: • [Too big an angle](#)

Implication(s): Trip or fall hazard

STAIRS \ Landings

25. Condition: • [Too small](#)

Landing is 32 inches wide / should be 36, newel post sits too far back on a stair tread which is only 8 inches wide (should be 9+)

Implication(s): Trip or fall hazard

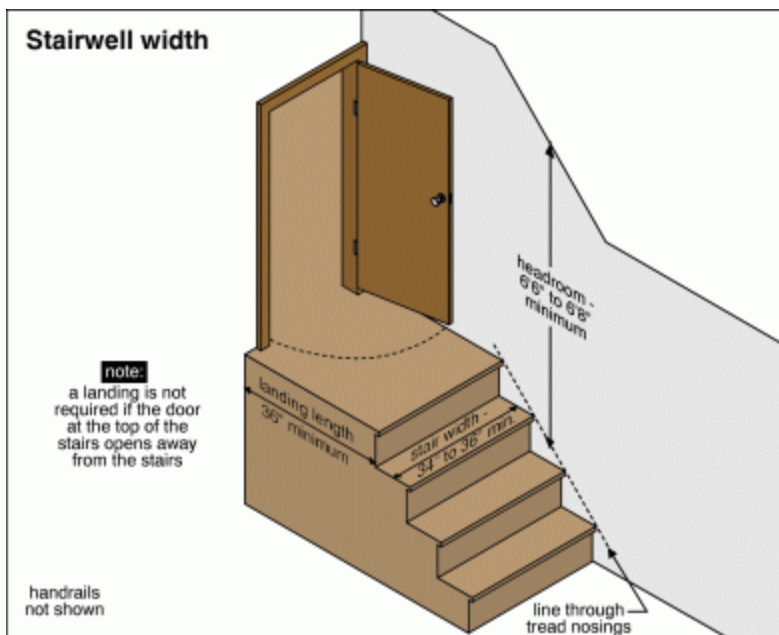
Location: First Floor Second Floor Foyer

Task: Repair or replace

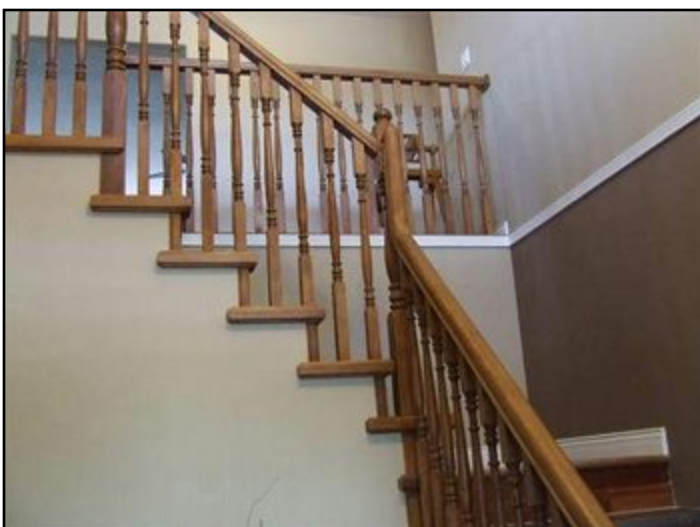
Time: Immediate

Cost: \$1,500 Depends on work needed

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[Click on image to enlarge.](#)



37. 38. Landing is 32 inches wide, should be 36

EXHAUST FANS \ Exhaust duct

26. Condition: • [Not vented to exterior](#)

Disconnected bathroom exhaust fan noted in Attic as well as loose telephone wires. Recommend further investigation by qualified professional. Mold/mildew present.

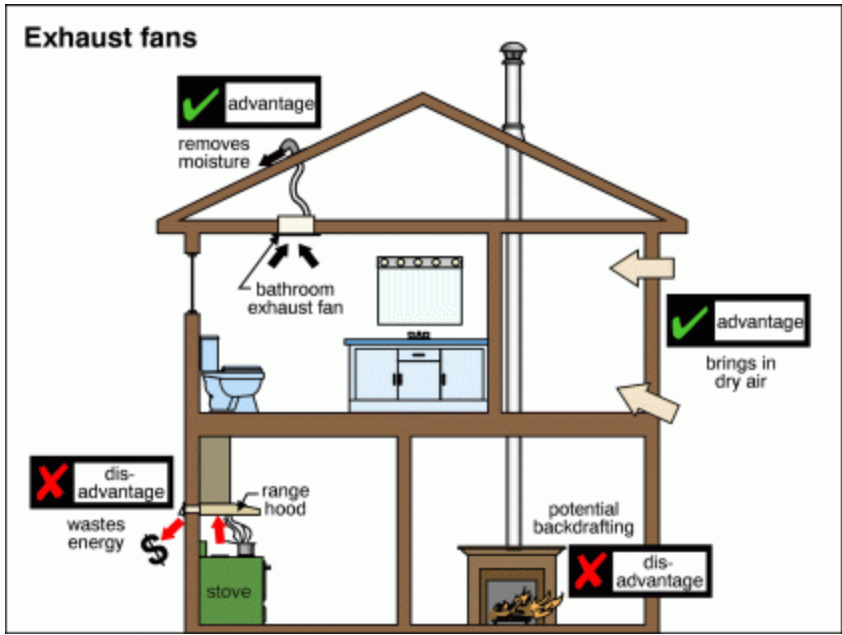
Implication(s): Chance of condensation damage to finishes and/or structure

Location: Center Attic Bathroom

Task: Correct

Time: Immediate

Cost: Depends on work needed



Click on image to enlarge.



39. loose telephone wires and exhaust fan



40.

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41.

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. The body of the report contains specific information about your home. Many report items have related links that provide you more information about that particular component or issue.

This Library is a broad reference tool. For example, if you want to know the difference between asphalt shingles and wood shingles, you can look in here. If you have a conventional furnace and are trying to decide whether to upgrade to a mid-efficiency or high-efficiency furnace, this information may be helpful. If your home does not have air conditioning, but you are thinking about adding it, there is helpful information for you in here.

The Library is broken into nine house systems: Roofing, Exterior, Structure, Electrical, Heating, Cooling, Insulation, Plumbing and Interior. Click on any link to read about that system.

- [1. Roofing and Chimney](#)
- [2. Exterior](#)
- [3. Structure](#)
- [4. Electrical](#)
- [5. Heating](#)
- [6. Cooling](#)
- [7. Insulation](#)
- [8. Plumbing](#)
- [9. Interior](#)