



Your Inspection Report

1234 Somewhere
Pittsburgh, PA 15206

PREPARED FOR:
JANE DOE

INSPECTION DATE:
Thursday, April 25, 2013

PREPARED BY:
John Fleenor



Citywide Home Inspections LLC
312 Gist Street
Pittsburgh, PA 15219

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June 18, 2013

Dear Jane Doe,

RE: Report No. 1062, v.4
1234 Somewhere
Pittsburgh, PA
15206

Thank you for choosing Citywide Home Inspections. We are available to answer your questions. Call us anytime to clarify or expand on the information in the report. The report is effectively a snapshot of the house, recording the conditions on a given date and time. We cannot predict future behavior and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

PURPOSE AND SCOPE OF THE INSPECTION

The primary purpose of our home inspections is to find material defects in the house. A material defect, as defined by Pennsylvania law, is a deficiency in a component of the house that will significantly lower the value of the house or that poses a threat to the health or safety of its occupants.

The scope of your inspections is defined by the American Society of Home Inspectors Standards of Practice. Please read ASHI standards of practice for a complete understanding. We can provide you a copy or go to [ashi.org](http://www.homeinspector.org/docs/standards.pdf) (<http://www.homeinspector.org/docs/standards.pdf>)

Note: It is essential to consult with specialists to get as clear an understanding as possible of the scope and cost involved in the recommendations detailed in the report. Any statement regarding a repair or a defective system in this report or verbally at the time of the inspection should be reevaluated by a qualified contractor prior to any relevant deadlines in the property sales agreement. Since we do not dismantle equipment or perform invasive examination, a specialist's evaluation may reveal additional necessary repairs.

This report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not give it to anyone else without your permission, and we will not be responsible to any parties for the contents of the report, other than the party named herein. The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thank you very much for choosing us to perform your home inspection, and if you like our service, please don't keep us a secret.

Sincerely,

John Fleenor
on behalf of
Citywide Home Inspections LLC

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SUMMARY

1234 Somewhere, Pittsburgh, PA April 25, 2013

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www.pittsburghcitywide.com

SUMMARY

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This summary outlines potentially significant issues from a cost or safety standpoint. It is not a substitute for reading the whole report; please read the entire report. The summary makes no determination of which repairs or conditions should be addressed as a requirement for the sale of the property. Any areas of uncertainty regarding the sale should be clarified by consulting an attorney or real estate agent.

It is strongly recommended that you have appropriate qualified contractors evaluate each concern further and the entire system for additional concerns that may be outside our area of expertise or the scope of our inspection BEFORE the close of the sale. Please call us for any clarifications or further questions.

[Priority Maintenance Items](#)

Exterior

ROOF DRAINAGE \ Downspouts

Condition: • [Downspouts discharging below grade](#)

Moisture noted in basement in areas near where downspouts discharge into underground pipes. Damaged storm water pipes could contribute to moisture in basement. Recommend using camera to scope condition of pipes and/or experimenting with diverting the downspouts away from the foundation to see if moisture conditions in basement improve.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Exterior

Task: Repair by qualified contractor

Time: Immediate

BASEMENT ENTRANCES \ Basement stairwells

Condition: • [Walls cracking, leaning, bowing or spalling](#)

The walls of the basement walkout stair has shifted and shows indications of spalling and deterioration of masonry blocks.

Implication(s): Weakened structure | Chance of movement

Location: Basement

Task: Repair by qualified contractor

Cost: Get several quotes from qualified contractors.

PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ General

Condition: • Disrepair

The rear deck is in need of renovation. The decking (covered with carpet and not visible) was loose/soft in places. The recently installed steps to the yard are not properly installed and are sinking. Support posts are in contact with the ground and susceptible to rot or insect damage. The ledger connecting the deck to the house is not bolted to the house framing. The railing is too low to prevent falls. (The deck stands at approximately 24-28 inches off the ground.)

Implication(s): Weakened structure

Location: Rear Deck

Task: Repair by qualified contractor for safety.

Time: Immediate

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LANDSCAPING \ Lot grading

Condition: • [Improper slope](#)

The slope of the ground and sidewalk on the left side is towards the foundation. Poor grading at the foundation can be a significant cause of moisture intrusion into the basement. Moisture was detected in the basement walls adjacent to the area of poor grading. The grade at the foundation should be evaluated and improved as necessary by a qualified landscape or foundation contractor.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Left Side

Task: Repair, rebuild sidewalk and seal at foundation, improving grade

Time: Immediate

GARAGE \ General

Condition: • Disrepair

The garage is need of renovation. A new roof (10+ years ago?) and framing has been constructed on top of the old roof which was failing/ collapsing. No access was available to inspect the attic space. One corner at the alley has sustained extensive water and termite damage and is being held up by temporary wooden support post. A crack/separation of mortar joints was noted on the shared interior wall of the garage. The other side of the wall was not accessible to inspect the crack further. Mortar deterioration and erosion was noted on the exterior brick

Implication(s): Chance of water damage to contents, finishes and/or structure | Reduced operability

Location: Garage

Task: Evaluation and repair by qualified contractor

Time: Immediate.

Cost: Budget for renovation/repair, get several quotes.

Electrical

DISTRIBUTION SYSTEM \ Knob-and-tube

Condition: • [Outdated](#)

There is knob and tube wiring in the attic. This type of wiring is antiquated and should be replaced or evaluated by a qualified electrician for safety.

Implication(s): Nuisance | Potential problem when obtaining home insurance

Location: Attic

Task: Evaluation and repair/replace as necessary for safety

Time: Immediate

Heating

GAS HOT WATER BOILER \ Venting system

Condition: • Conventional boiler was venting out basement window. A booster fan had been installed to the vent connector. Extensive rust, corrosion and signs of condensation noted on vent and vent connector. The chimney terminates just outside the window. This configuration will need to be altered for safe operation of the boiler and to avoid damage to flue and boiler.

Implication(s): Products of combustion back-drafting into home, damage to boiler and metal chimney.

Location: Basement

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Task: Repair by qualified HVAC contractor

Time: Immediate

FIREPLACE \ General

Condition: • Inspect chimney, and sweep, if needed before using

Charring noted on outside of fireplace and on inside firebox. The chimney had ash build-up and should be swept. The hearth extension is short or near the minimum depth. Owner could not get gas burner to light. The gas is supplied through flex line that should not be run through walls or floors. The gas line should be in permanent steel or CSST piping. Have a qualified fireplace technician evaluate and repair fireplace gas insert for safety before use. Damper was closed when inspected.

Implication(s): Fire hazard

Location: Living Room

Task: Evaluation and repair/replace as necessary by a qualified contractor

Time: Before use

CHIMNEY AND VENT \ Masonry chimney

Condition: • [No chimney liner](#)

The rear chimney that serves the water heater is unlined and should have appropriate metal flue liner installed for safety and to prevent material deterioration of the masonry chimneys.

Location: Right back of roof, serves water heater.

Task: Repair by qualified contractor

Plumbing

WATER HEATER - GAS BURNER AND VENTING \ Venting system

Condition: • [Poor slope](#)

Implication(s): Equipment not operating properly | Hazardous combustion products entering home

Location: Basement

Task: Repair by qualified plumber

WASTE PLUMBING \ Drain piping - performance

Condition: • [Clogged](#)

The cast iron drain pipe and galvanized vent pipe under the laundry sink were clogged. The vent pipe was gone, disintegrated where it connects to cast iron drain line where water was leaking out. Also, waste water appeared to be backing up into basement shower drain. Have a qualified plumber evaluate and repair as necessary. Have the plumber further evaluate the condition of the drain lines in general for deterioration that was not accessible to inspect. Consider scoping (imaging) drain lines below house and leading to sewer for potential damage to main drain lines.

Implication(s): Sewage entering the house

Location: Basement Rear

Task: Repair by qualified plumber

Time: Immediate

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GAS SUPPLY \ Gas piping

Condition: • [Leak](#)

Two gas leaks found at valves in gas supply piping in basement

Implication(s): Equipment not operating properly | Fire or explosion

Location: Basement

Task: Repair by qualified plumber for safety.

Time: Immediate

Interior

BASEMENT \ Wet basement - evidence

Condition: • [Dampness on floor or walls](#)

Dampness, efflorescence, staining and noted in basement floors and walls primarily on the front left side. (See exterior section for information on lot slope and downspout placement which can be major factors in basement moisture.)

Moisture and high humidity levels can promote wood decay/rot, insect damage, mold growth, rust. Monitor the moisture conditions in the basement and consult with qualified moisture intrusion specialists to evaluate and improve where possible.

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Basement-front left

Task: Monitor, improve grading outside.

Time: Ongoing.

This concludes the Summary section.

Please read the entire body of the report that follows. Each home system is described and recommendations made as well as the limitations to the inspection. Many conditions can prevent a component or system from being inspected fully. It is very important to follow up on the issues in the report with the appropriate contractors or professionals to better understand the conditions in the home. When contemplating repairs or renovation it is always a good idea to get several (3 or more) quotes on the work to compare and learn about the spectrum of solutions and prices that are available.

[Home Improvement - ballpark costs](#)

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Description

Sloped roofing material: • [Asphalt shingles](#)

Limitations

Inspection performed: • By walking on roof

Recommendations

SLOPED ROOF FLASHINGS \ Flashings

1. **Condition:** • Inspect & repair, as needed.

The roof is in serviceable condition. The valley shared by the other side of the duplex is a vulnerable point for ice damming. Signs of leaking in that area noted in attic but was dry during the inspection.

Location: Roof

Task: Monitor

Time: Ongoing



1. Valley should be monitored.



2. Valley detail--keep clear of debris



3. Some mineral loss on shingles.

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SLOPED ROOF FLASHINGS \ Chimney flashings

2. Condition: • [Missing base or cap flashings](#)

The dormer siding (green in this case) should be on top of the base (red) flashing.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Roof, rear dormer

Task: Monitor for leaks, repair as necessary by qualified contractor



4. Missing base or cap flashings



5. Missing cap flashings at rear dormer

3. Condition: • [Not let into mortar joints](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Roof

Task: Regular maintenance required

Time: Ongoing

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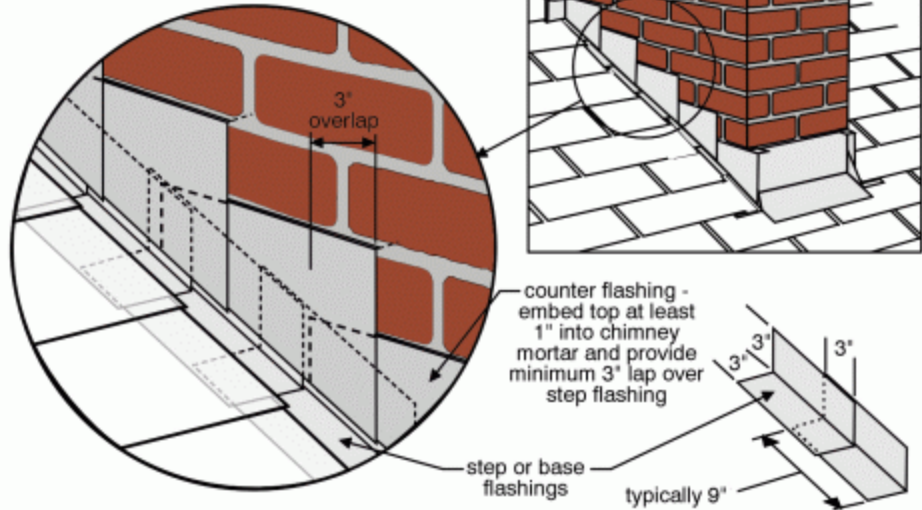
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Chimney flashings - side flashing detail



[Click on image to enlarge.](#)



6. Not let into mortar joints



7. Not let into mortar joints

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Gutter & downspout material: • [Aluminum](#)

Gutter & downspout type: • [Eave mounted](#) • [Integral/built-in](#)

Gutter & downspout discharge: • [Below grade](#) • [Above grade](#)

Lot slope: • [Towards house](#)

Wall surfaces - masonry: • [Brick](#)

Wall surfaces : • [Vinyl siding](#)

Soffit and fascia: • [Aluminum](#)

Driveway: • Concrete

Walkway: • Concrete

Deck: • Raised • Wood • Railings

Porch: • Concrete • Brick

Fence: • Wood

Garage: • Wood siding • Brick veneer with clay tile blocks • Trusses • Cement floor • Asphalt shingle roof

Limitations

Inspection limited/prevented by: • Garage attic not accessible.

Inspection limited/prevented by: • Storage • Vines/shrubs/trees against wall

No or limited access to: • Right side wall.

No or limited access to: • Area below steps, deck, porches

Exterior inspected from: • Ground level

Recommendations

ROOF DRAINAGE \ Gutters

4. Condition: • [Missing](#)

No gutter on garage.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Garage

Task: Repair by qualified contractor

Time: Discretionary



8. Missing gutter on garage.

ROOF DRAINAGE \ Downspouts

5. Condition: • [Downspouts discharging below grade](#)

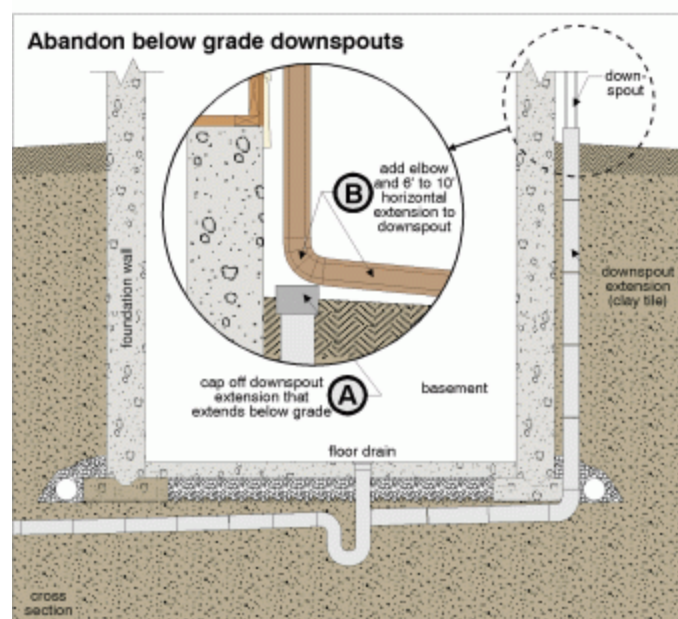
Moisture noted in basement in areas near where downspouts discharge into underground pipes. Damaged storm water pipes could contribute to moisture in basement. Recommend using camera to scope condition of pipes and/or experimenting with diverting the downspouts away from the foundation to see if moisture conditions in basement improve.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Exterior

Task: Repair by qualified contractor

Time: Immediate



[Click on image to enlarge.](#)

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9. Downspouts discharging below grade



10. Downspouts to back porch roof gutter.

DOORS \ General

6. Condition: • Doors lack dead bolts.

Location: Basement

Task: Repair by qualified contractor



11. Doors lack dead bolts.

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BASEMENT ENTRANCES \ Basement stairwells

7. Condition: • [Walls cracking, leaning, bowing or spalling](#)

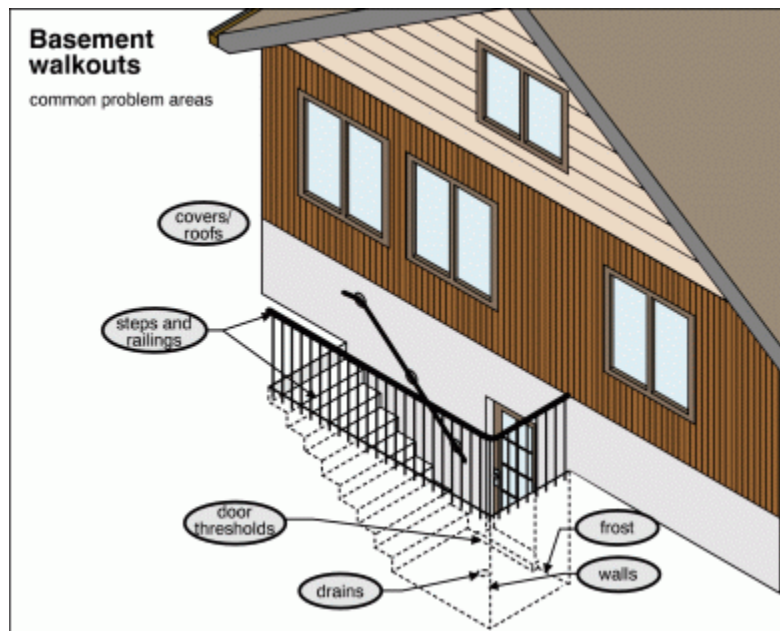
The walls of the basement walkout stair has shifted and shows indications of spalling and deterioration of masonry blocks.

Implication(s): Weakened structure | Chance of movement

Location: Basement

Task: Repair by qualified contractor

Cost: Get several quotes from qualified contractors.



[Click on image to enlarge.](#)



12. Walls cracking, leaning, bowing or spalling



13. Blocks are loose, shifting

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14. Walls cracking, leaning, bowing or spalling

8. Condition: • [Guard and handrail problems](#)

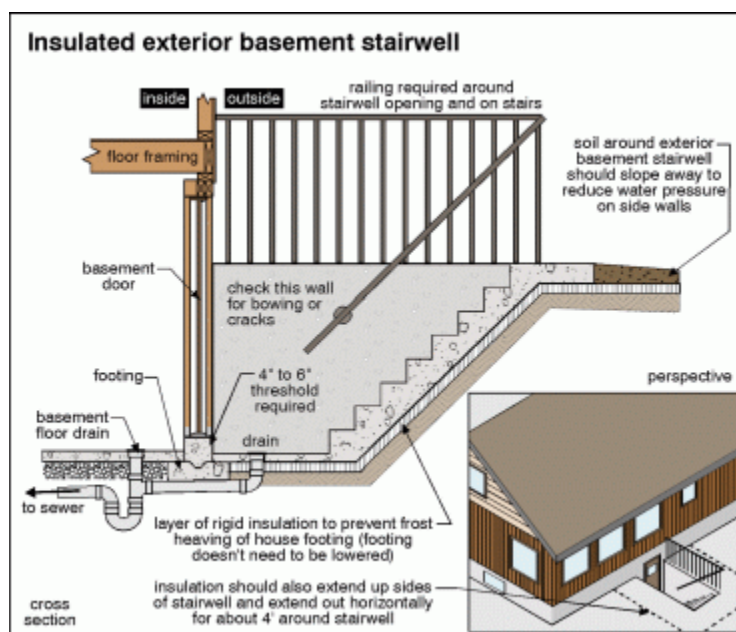
The guardrail to the basement stairs is ineffective as a barrier. It is 28 inches high, should be 36 inches and no vertical slats present to prevent falling under. No hand rail for the steps. Have a qualified contractor repair and upgrade guardrail and railings for safety.

Implication(s): Fall hazard

Location: Basement Staircase

Task: Repair by qualified contractor

Time: Immediate



[Click on image to enlarge.](#)

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PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ General

9. Condition: • Disrepair

The rear deck is in need of renovation. The decking (covered with carpet and not visible) was loose/soft in places. The recently installed steps to the yard are not properly installed and are sinking. Support posts are in contact with the ground and susceptible to rot or insect damage. The ledger connecting the deck to the house is not bolted to the house framing. The railing is too low to prevent falls. (The deck stands at approximately 24-28 inches off the ground.)

Implication(s): Weakened structure

Location: Rear Deck

Task: Repair by qualified contractor for safety.

Time: Immediate



15. Posts in contact with earth



16. Steps lack footer



17. Ledger board not bolted to house frame



18. Disrepair, visual access only to under deck

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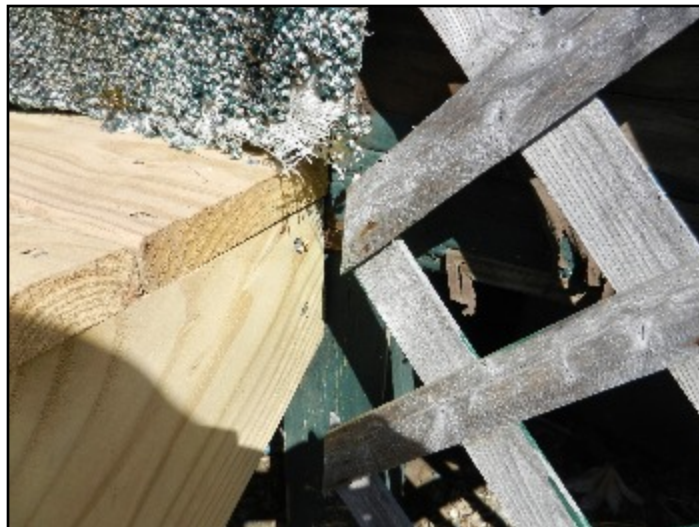
REFERENCE



19. Sunken decking



20. Decking is loose, covered with carpet.



21. Stairs not properly fastened at deck.

10. Condition: • [Wood/soil contact](#)

Implication(s): Rot | Insect damage

LANDSCAPING \ Lot grading

11. Condition: • [Improper slope](#)

The slope of the ground and sidewalk on the left side is towards the foundation. Poor grading at the foundation can be a significant cause of moisture intrusion into the basement. Moisture was detected in the basement walls adjacent to the area of poor grading. The grade at the foundation should be evaluated and improved as necessary by a qualified landscape or foundation contractor.

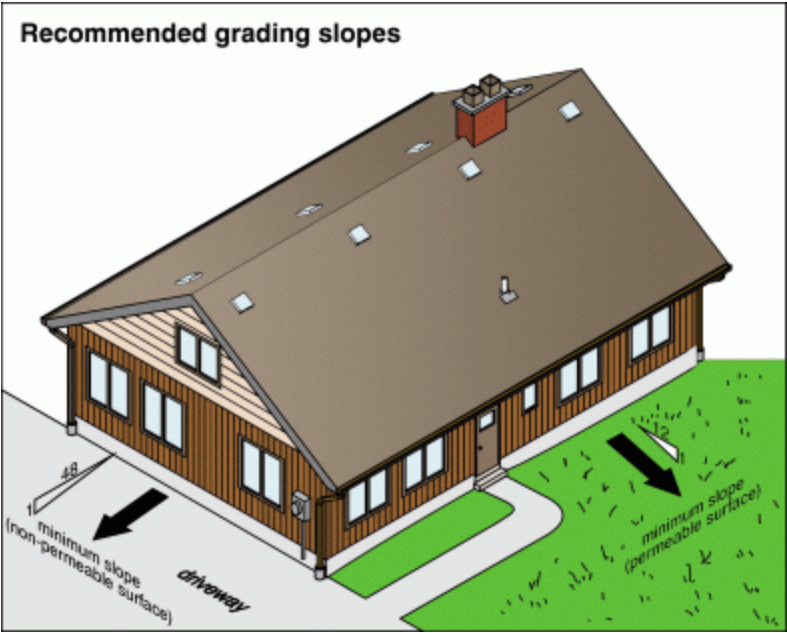
Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Left Side

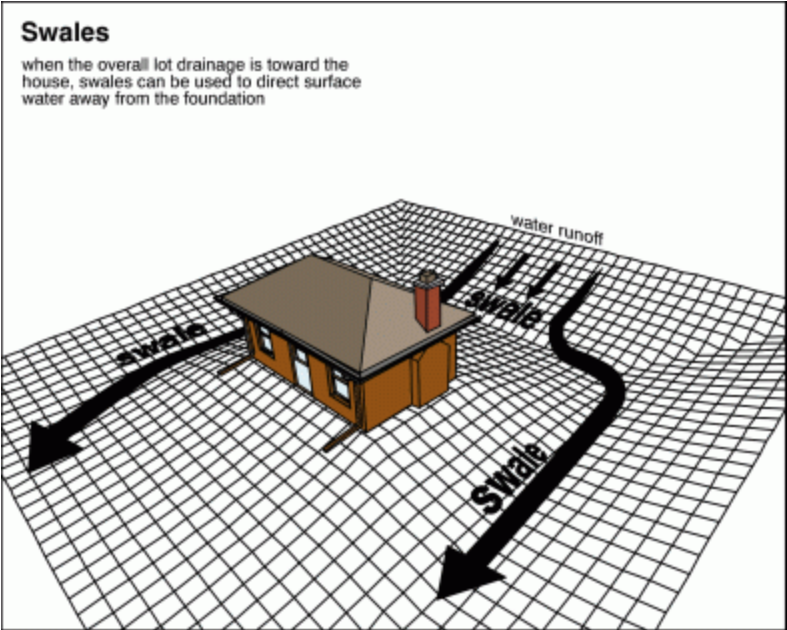
Task: Repair, rebuild sidewalk and seal at foundation, improving grade

Time: Immediate

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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[Click on image to enlarge.](#)



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22. Improper slope

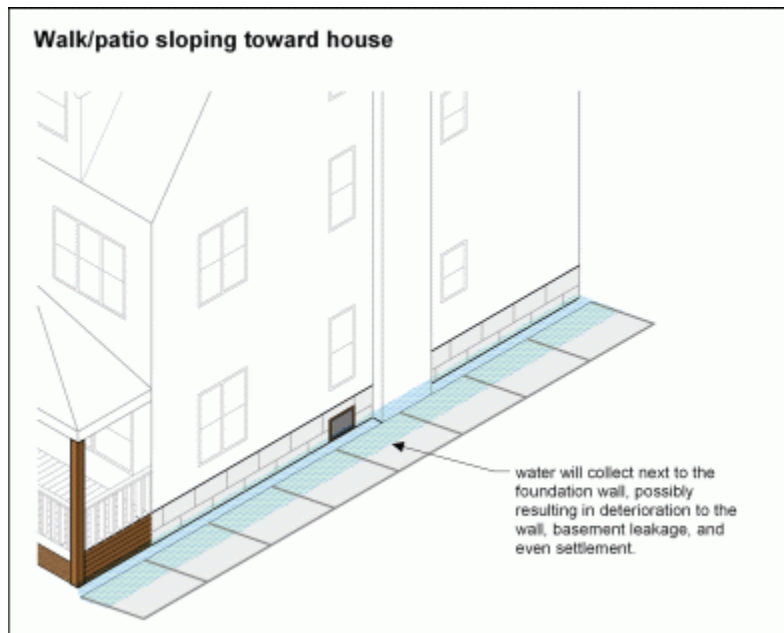


23. Improper slope

LANDSCAPING \ Walkway

12. Condition: • [Improper slope or drainage](#)

Implication(s): Chance of water damage to contents, finishes and/or structure



[Click on image to enlarge.](#)

GARAGE \ General

13. Condition: • Disrepair

The garage is need of renovation. A new roof (10+ years ago?) and framing has been constructed on top of the old roof which was failing/ collapsing. No access was available to inspect the attic space. One corner at the alley has sustained extensive water and termite damage and is being held up by temporary wooden support post. A crack/separation of mortar joints was noted on the shared interior wall of the garage. The other side of the wall was not accessible to inspect the crack further. Mortar deterioration and erosion was noted on the exterior brick

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Implication(s): Chance of water damage to contents, finishes and/or structure | Reduced operability

Location: Garage

Task: Evaluation and repair by qualified contractor

Time: Immediate.

Cost: Budget for renovation/repair, get several quotes.



24. Over hang roof shingles deteriorated.



25. Paint fascia at roof line



26. Mortar deterioration on garage wall.



27. Extensive termite damage in back-left corner.

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28. Damage to framing, posts holding up corner.



29. Wood siding warping, in need of paint



30. Disrepair



31. Crack/gap in mortar joints

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Configuration: • [Basement](#)**Foundation material:** • [Masonry block](#)**Floor construction:** • [Joists](#) • Steel columns • Steel beams • Subfloor - plank**Exterior wall construction:** • [Wood frame, brick veneer](#)**Roof and ceiling framing:** • [Rafters/roof joists](#) • [Plank sheathing](#) • [Skip sheathing](#)

Limitations

Inspection limited/prevented by: • Wall, floor and ceiling coverings • Carpet/furnishings • Storage • Insulation**Attic/roof space:** • Entered attic**Percent of foundation not visible:** • 40 %

Recommendations

FOUNDATIONS \ Foundation

14. Condition: • Typical minor cracks

Cracks noted in cement block foundation wall at front of building. Recommend measuring the cracks for movement over time for changes. This crack is in a shared wall with the neighboring duplex. Access to other side of wall was available.

Location: Front Right Side Basement**Task:** Monitor for movement**Time:** Ongoing

32. *Typical minor cracks*

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Service entrance cable and location: • [Overhead aluminum](#)

Service size: • [100 Amps \(240 Volts\)](#)

Main disconnect/service box rating: • [100 Amps](#)

Main disconnect/service box type and location: • [Breakers - basement](#)

System grounding material and type: • [Copper - ground rods](#)

Distribution panel rating: • [100 Amps](#)

Distribution wire material and type: • [Copper - non-metallic sheathed](#) • [Copper - metallic sheathed](#)

Smoke detectors: • [Present](#)

Limitations

Inspection limited/prevented by: • Inspector can not evaluate wiring and electrical devices concealed or hidden from view by walls, ceilings, finished materials, or stored items. • Knob and tube wiring may be present but not accessible/visible behind walls, ceilings or other obstructions.

Inspection limited/prevented by: • Restricted access • Storage • Insulation

System ground: • Continuity not verified

Recommendations

DISTRIBUTION SYSTEM \ Knob-and-tube

15. Condition: • [Buried in insulation](#)

Implication(s): Fire hazard

Location: Attic

Task: Repair by qualified electrician for safety

Time: Immediate

16. Condition: • [Outdated](#)

There is knob and tube wiring in the attic. This type of wiring is antiquated and should be replaced or evaluated by a qualified electrician for safety.

Implication(s): Nuisance | Potential problem when obtaining home insurance

Location: Attic

Task: Evaluation and repair/replace as necessary for safety

Time: Immediate

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33. Outdated



34. Outdated

DISTRIBUTION SYSTEM \ Junction boxes

17. Condition: • [Cover loose or missing](#)

Implication(s): Electric shock | Fire hazard

Location: Basement

Task: Repair by qualified contractor

Time: Immediate



35. Cover loose or missing

DISTRIBUTION SYSTEM \ Outlets (receptacles)

18. Condition: • [Damage](#)

Implication(s): Electric shock | Fire hazard

Location: First Floor

Task: Repair by qualified plumber

Time: Immediate



36. *Damaged outlet*

19. Condition: • [Ungrounded](#)

Implication(s): Electric shock

20. Condition: • [Ground needed for 3-slot outlet](#)

Implication(s): Electric shock

DISTRIBUTION SYSTEM \ Smoke detectors

21. Condition: • Smoke detectors should be installed in each bedroom and one on each level. Carbon monoxide detectors recommend to be installed on each level the the house.

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INTERIOR

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Description

Fuel/energy source: • [Gas](#)

System type: • [Boiler](#)

Boiler manufacturer: • Teledyne Laars

Model number: JVT100N *Serial number:* V95A00985

Heat distribution: • [Radiators](#)

Approximate capacity: • [100,000 BTU/hr](#)

Approximate age: • [18 years](#)

Typical life expectancy: • Boiler (cast iron) 25 to 50 years

Main fuel shut off at: • Meter

Exhaust pipe (vent connector): • Single wall

Fireplace: • [Gas fireplace](#)

Chimney/vent: • [Masonry](#) • [Metal](#)

Chimney liner: • [Clay](#)

Limitations

Inspection prevented/limited by: • Gas to house turned off

Zone, boiler and radiator valves: • Not tested as part of a home inspection

Heat exchanger: • Only a small portion visible

Recommendations

GAS HOT WATER BOILER \ Pressure relief valve

22. Condition: • [No pipe extension](#)

Implication(s): Steam explosion

HEATING

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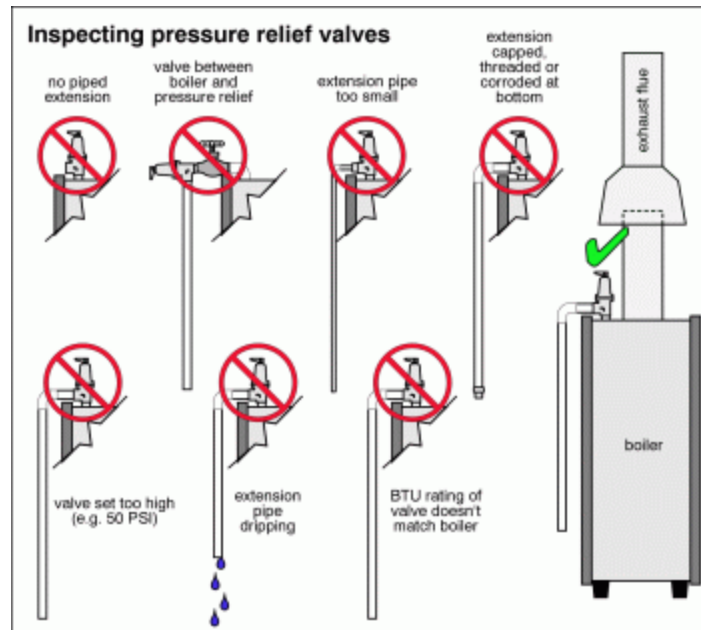
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[Click on image to enlarge.](#)

GAS HOT WATER BOILER \ Venting system

23. Condition: • Conventional boiler was venting out basement window. A booster fan had been installed to the vent connector. Extensive rust, corrosion and signs of condensation noted on vent and vent connector. The chimney terminates just outside the window. This configuration will need to be altered for safe operation of the boiler and to avoid damage to flue and boiler.

Implication(s): Products of combustion back-drafting into home, damage to boiler and metal chimney.

Location: Basement

Task: Repair by qualified HVAC contractor

Time: Immediate



37. Boiler vent termination outside.



38.

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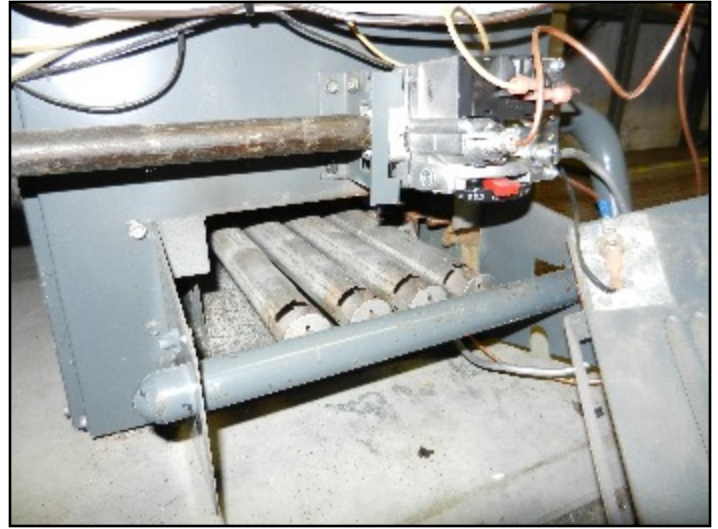
INTERIOR

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39.



40. Burners, boiler should be serviced.



41.



42. Booster fan, rust and condensation on vent.

24. Condition: • [Combustible clearance](#)

Single wall flue pipe exiting out window. 3" to combustible.

Implication(s): Fire hazard

Location: Basement

Task: Repair by qualified HVAC contractor

Time: Immediate

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43. Combustible clearance

GAS HOT WATER BOILER \ Pipes

25. Condition: • Asbestos insulation noted on supply lines for boiler. Don't know how extensive this insulation is in areas not accessible to inspect.

Implication(s): Known carcinogen

Location: Basement back left

Task: Repair by qualified contractor



44. Back left of basement.



45. Asbestos

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26. Condition: • [Poor support](#)

Some pipe supports were detached or missing. Make sure all pipes are supported adequately.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Basement

Task: Repair by qualified contractor



46. Poor support

FIREPLACE \ General

27. Condition: • Inspect chimney, and sweep, if needed before using

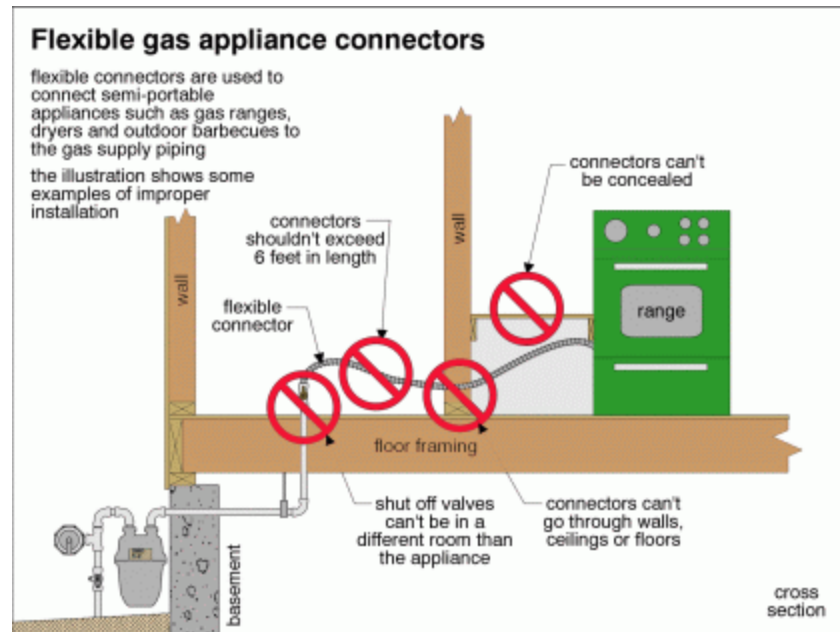
Charring noted on outside of fireplace and on inside firebox. The chimney had ash build-up and should be swept. The hearth extension is short or near the minimum depth. Owner could not get gas burner to light. The gas is supplied through flex line that should not be run through walls or floors. The gas line should be in permanent steel or CSST piping. Have a qualified fireplace technician evaluate and repair fireplace gas insert for safety before use. Damper was closed when inspected.

Implication(s): Fire hazard

Location: Living Room

Task: Evaluation and repair/replace as necessary by a qualified contractor

Time: Before use



[Click on image to enlarge.](#)



47. Inspect chimney, and sweep, if needed before...



48. Blackened inside fire box

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49. Soot/blackening on face for fireplace

CHIMNEY AND VENT \ Masonry chimney

28. Condition: • The clay flue liners of the front chimney is spalling/damaged. The chimney was so high it could only be viewed from a distance. Both chimneys have been repointed but under a thin layer of new mortar is deteriorated mortar. If the clay liners are damaged, metal flue liners should be installed for both the gas fireplace and the boiler. The consulting with qualified HVAC and masonry contractors to shorten the masonry portion of the chimney and add the metal liners.

Implication(s): Damage to interior finishes and or structure. Leaning chimney could fall or lean further from wind or water damage.

Location: Roof

Task: Repair by qualified contractor



50. Spalling chimney liner



51. chimney is tall, leaning, unsupported.

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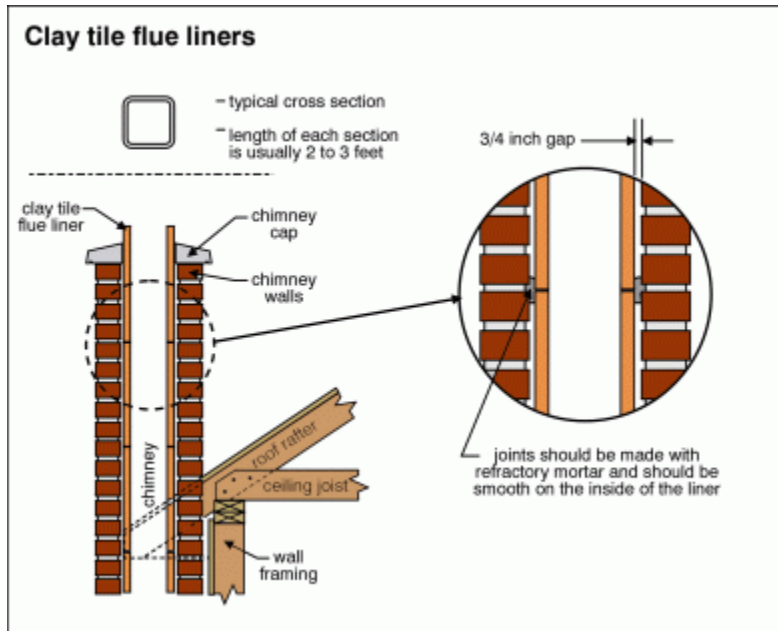
REFERENCE

29. Condition: • [No chimney liner](#)

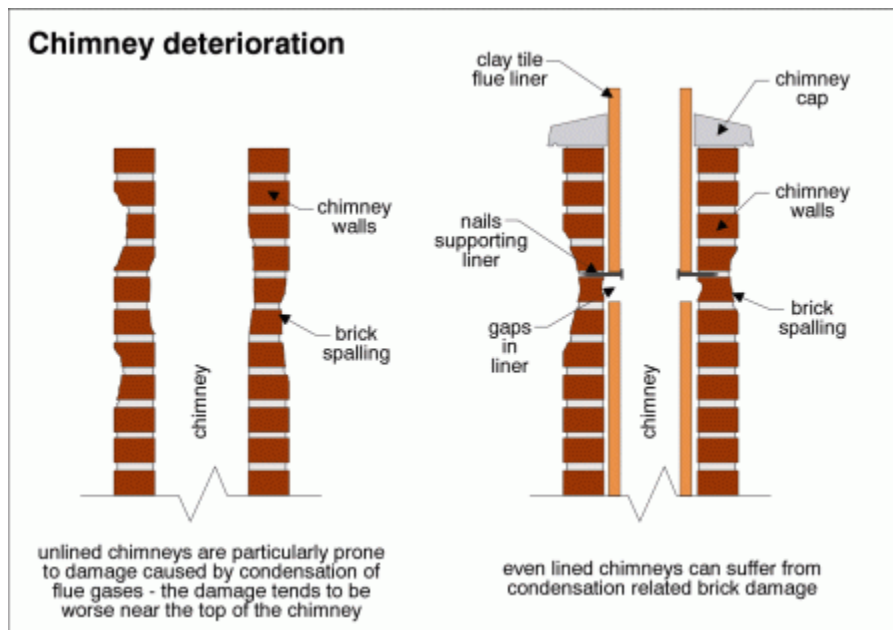
The rear chimney that serves the water heater is unlined and should have appropriate metal flue liner installed for safety and to prevent material deterioration of the masonry chimneys.

Location: Right back of roof, serves water heater.

Task: Repair by qualified contractor



[Click on image to enlarge.](#)



[Click on image to enlarge.](#)

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52. No chimney liner



53. No chimney liner



54. Thin pointing of bricks on chimney.



55. No chimney liner

COOLING & HEAT PUMP

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SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Description

- Air conditioning type:** • Window units
Air conditioning type: • None present

Limitations

- Window unit:** • Window A/C excluded from inspection

INSULATION AND VENTILATION

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Description

Attic/roof insulation material: • [Mineral wool](#) • [Vermiculite](#)

Attic/roof ventilation: • [Roof vent](#)

Attic/roof air/vapor barrier: • [None found](#)

Wall insulation material: • Not determined

Wall insulation amount/value: • Not determined

Foundation wall insulation material: • None found

Foundation wall insulation amount/value: • [None found](#)

Foundation wall air/vapor barrier: • None found

Recommendations

ATTIC/ROOF \ Insulation

30. Condition: • [Amount less than current standards](#)

Implication(s): Increased heating and cooling costs

31. Condition: • [Possible Zonolite](#)

Vermiculite insulation noted in front bay of attic at front of house accessed through knee wall hatch. Vermiculite insulation has been know to contain asbestos. Testing is necessary to positively identify.

Implication(s): Environmental contamination

Location: Attic

Task: Repair by qualified contractor



56. Possible Zonolite

INSULATION AND VENTILATION

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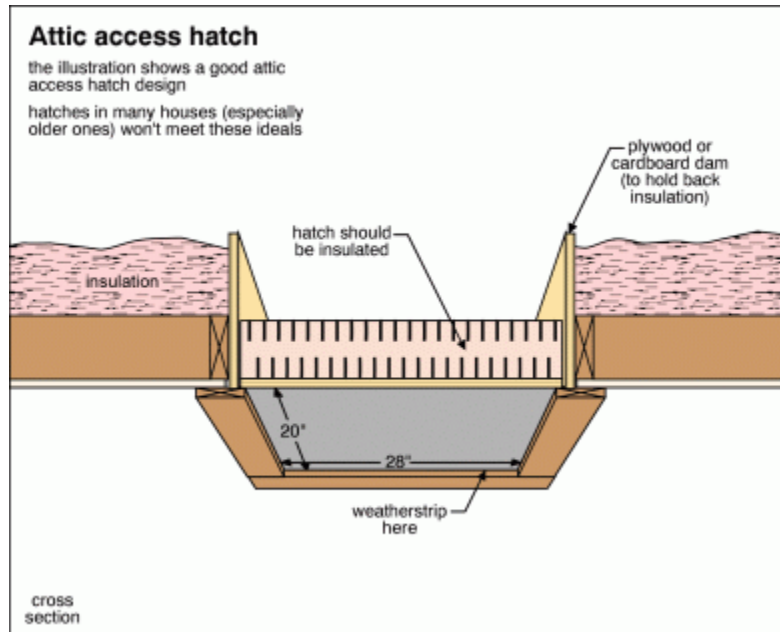
SITE INFO

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ATTIC/ROOF \ Hatch

32. Condition: • [Not insulated and not weatherstripped](#)

Implication(s): Chance of condensation damage to finishes and/or structure | Increased heating and cooling costs | Reduced comfort



[Click on image to enlarge.](#)

FOUNDATION \ Exterior insulation

33. Condition: • [None](#)

Implication(s): Increased heating costs

PLUMBING

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Description

Water supply source: • Public

Service piping into building: • [Copper](#)

Supply piping in building: • [Copper](#) • [Plastic](#)

Main water shut off valve at the: • Front of the basement

Water heater fuel/energy source: • [Gas](#)

Water heater type: • [Conventional](#)

Water heater manufacturer: • General Electric

Tank capacity: • [40 gallons](#)

Water heater approximate age: • 13 years

Typical life expectancy: • 8 to 12 years

Waste disposal system: • [Public](#)

Waste piping in building: • [ABS plastic](#) • [Copper](#) • [Galvanized steel](#)

Floor drain location: • Center of basement

Gas piping: • Steel

Limitations

Items excluded from a home inspection: • Water quality • Concealed plumbing • Tub/sink overflows

Recommendations

SUPPLY PLUMBING \ Supply piping in building

34. Condition: • [Galvanized steel](#)

Implication(s): Reduced water pressure and volume

Location: Basement

Task: Monitor, Repair by qualified electrician for safety

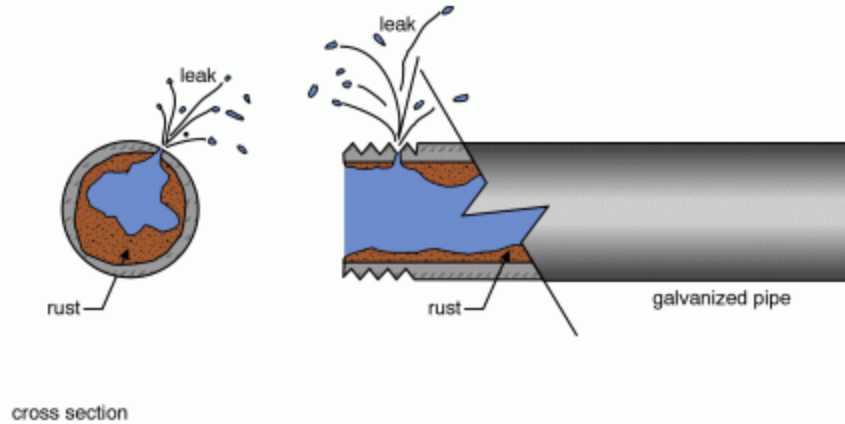
Time: Unknown

Cost: Budget to replace

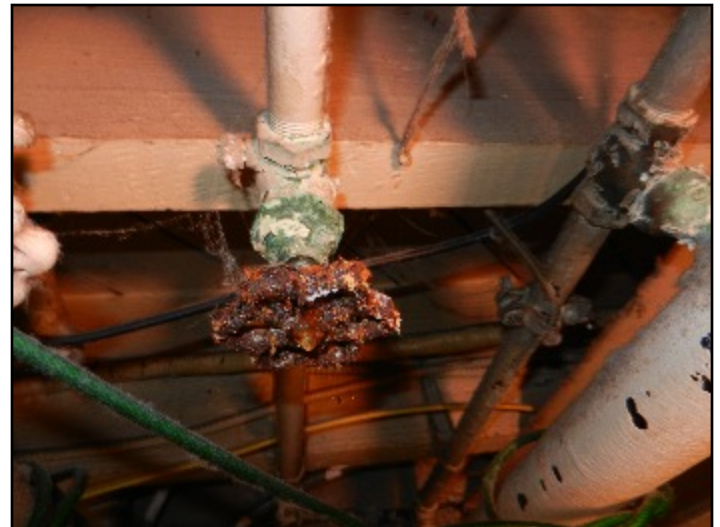
Galvanized steel pipe

rusting of galvanized pipe can greatly reduce water pressure and will eventually cause leaks as rust creates holes in the pipe walls

problems are likely to occur soonest on pipes carrying hot water, horizontal pipes and at threaded (thinner) sections



[Click on image to enlarge.](#)



WATER HEATER \ Temperature/pressure relief valve

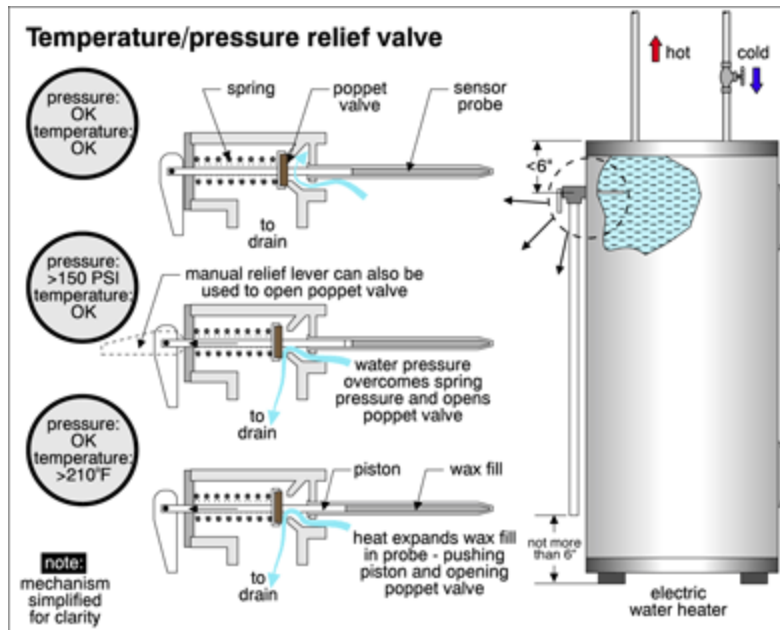
35. Condition: • [Discharge tube missing](#)

Implication(s): Scalding

Location: Basement

Task: Repair by qualified plumber for safety

Time: Immediate



Click on image to enlarge.



59. Discharge tube missing

WATER HEATER - GAS BURNER AND VENTING \ Venting system

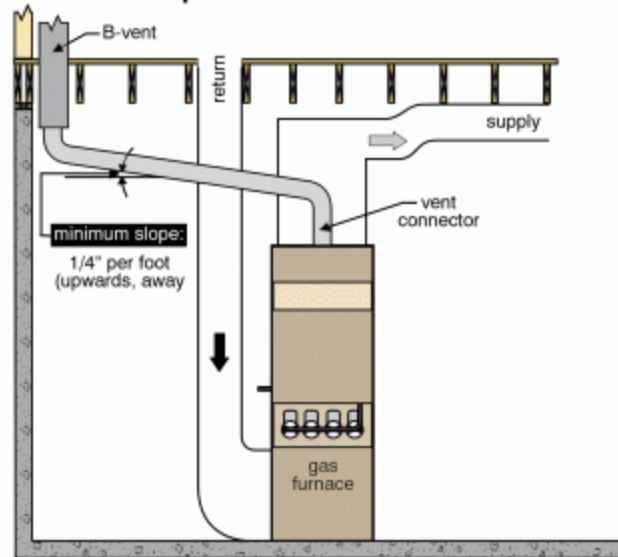
36. Condition: • [Poor slope](#)

Implication(s): Equipment not operating properly | Hazardous combustion products entering home

Location: Basement

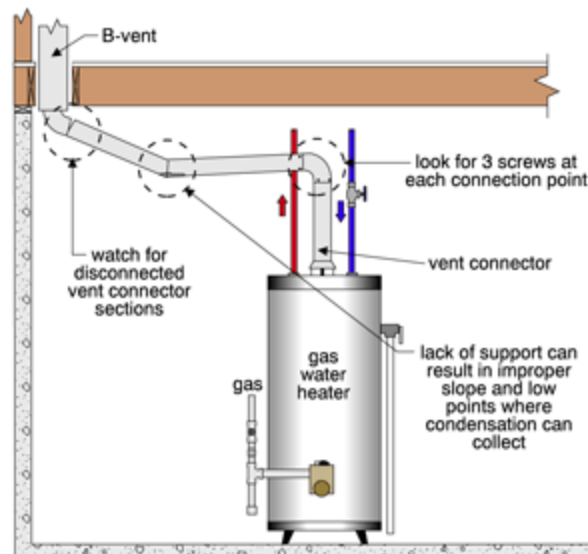
Task: Repair by qualified plumber

Vent connector slope



[Click on image to enlarge.](#)

Poor connections



[Click on image to enlarge.](#)



60. Vent connector slopes down.

WASTE PLUMBING \ Drain piping - performance

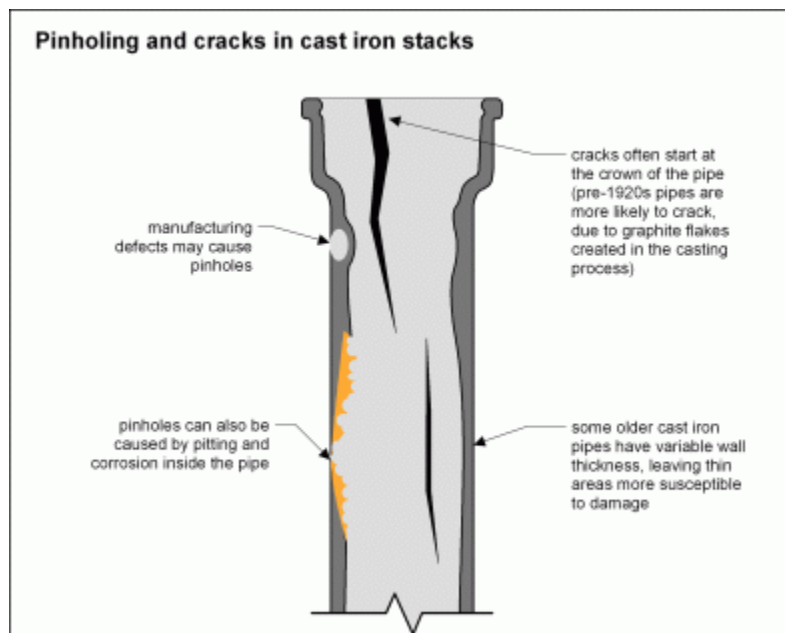
37. Condition: • [Split, damaged, crimped pipe](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Sewage entering the house

Location: Basement Exterior

Task: Repair

Time: Unknown



[Click on image to enlarge.](#)

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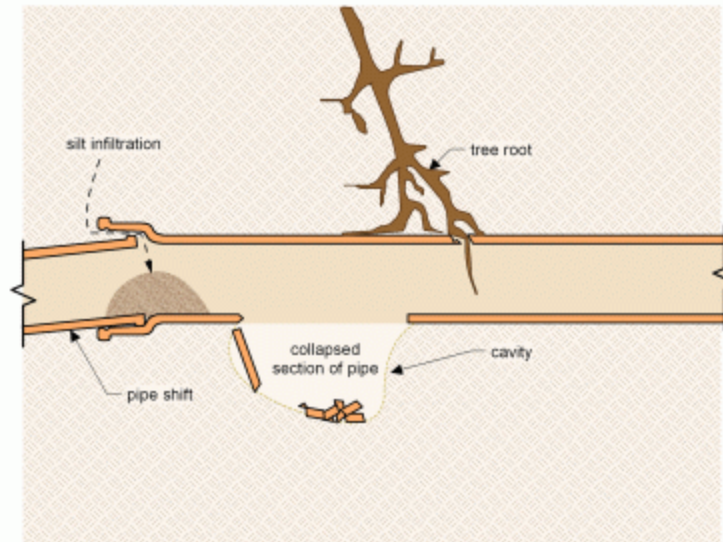
PLUMBING

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Old clay pipe sewer issues - shift, collapse, roots, silt



[Click on image to enlarge.](#)



61. Split, pipe, outside at back left corner

38. Condition: • [Clogged](#)

The cast iron drain pipe and galvanized vent pipe under the laundry sink were clogged. The vent pipe was gone, disintegrated where it connects to cast iron drain line where water was leaking out. Also, waste water appeared to be backing up into basement shower drain. Have a qualified plumber evaluate and repair as necessary. Have the plumber further evaluate the condition of the drain lines in general for deterioration that was not accessible to inspect. Consider scoping (imaging) drain lines below house and leading to sewer for potential damage to main drain lines.

Implication(s): Sewage entering the house

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Location: Basement Rear

Task: Repair by qualified plumber

Time: Immediate



62.



63. Vent pipe connection disintegrated



64. Water backing up into basement shower drain.



65. Clogged, leaking out of vent fitting

WASTE PLUMBING \ Traps - performance

39. Condition: • [Leak](#)

Implication(s): Sewage entering the house

Location: Basement

Task: Repair by qualified plumber

FIXTURES AND FAUCETS \ Basin, sink and laundry tub

40. Condition: • [Leak](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Sewage entering the house

FIXTURES AND FAUCETS \ Bathtub enclosure

41. Condition: • [Not smooth, impervious or water resistant](#)

Gaps in shower/tub surround noted where water could penetrate and damage structure or interior finishes. Seal/repair to avoid.

Implication(s): Cosmetic defects | Hygiene issue

Task: Repair by qualified electrician for safety



66. Not smooth, impervious or water resistant



67. Caulking need, loose tiles.

GAS SUPPLY \ Gas piping

42. Condition: • [Leak](#)

Two gas leaks found at valves in gas supply piping in basement

Implication(s): Equipment not operating properly | Fire or explosion

Location: Basement

Task: Repair by qualified plumber for safety.

Time: Immediate

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68. Leak



69. Leak

43. Condition: • [No drip leg \(dirt pocket\)](#)

Missing on water heater.

Implication(s): Equipment not operating properly

Location: Basement

Task: Repair by qualified plumber

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Description

Major floor finishes: • [Carpet](#) • [Laminate](#) • [Ceramic](#) • Tile

Major wall finishes: • [Plaster/drywall](#)

Major ceiling finishes: • [Plaster/drywall](#)

Windows: • [Single/double hung](#) • [Casement](#) • Wood • Vinyl

Glazing: • [Single](#) • [Single](#)

Exterior doors - type/material: • Hinged • [Solid wood](#) • Metal-clad • Garage door - wood

Evidence of crawlspace leakage: • Efflorescence • Stains • Dampness • Peeling paint

Oven type: • Conventional

Oven fuel: • Electricity

Range fuel: • Electricity

Appliances: • Refrigerator • Dishwasher

Laundry facilities: • Washer • Laundry tub • Hot/cold water supply • Dryer • 240-Volt outlet

Kitchen ventilation : • Recirculating type

Bathroom ventilation : • None

Limitations

Inspection limited/prevented by: • The inspector does not determine the adequacy of kitchen or bathroom venting systems

Inspection limited/prevented by: • Carpet • Storage/furnishings • Storage in closets/cupboards

Appliances: • blank note • Washer and dryer not tested/inspected.

Recommendations

WINDOWS \ Sashes

44. Condition: • [Broken sash cord/spring](#)

Some of the vinyl window springs were stiff, stuck and in need of repair or replacement. Front window was painted shut.

Implication(s): Nuisance | Reduced operability

Location: 1st, 2nd floors.

Task: Repair by qualified contractor

Time: Discretionary

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70. Sash cracked.



71. Painted shut.

WINDOWS \ Hardware

45. Condition: • [Missing](#)

Handles missing on many windows.

Implication(s): System inoperative or difficult to operate

Location: Throughout

Task: Repair by qualified contractor



72. Missing

DOORS \ Hardware

46. Condition: • No dead bolt on exterior door(s).

STAIRS \ Treads

47. Condition: • [Width too small](#)

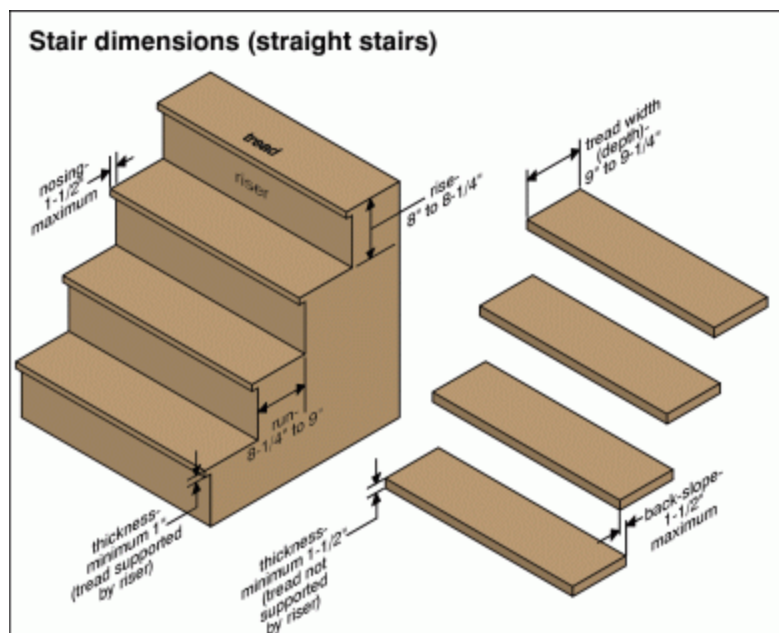
Some of the treads were loose. The treads were cut to short for the stringers and should be replaced with wider treads for safety.

Implication(s): Trip or fall hazard

Location: Basement

Task: Repair by qualified contractor for safety

Time: Immediate



[Click on image to enlarge.](#)



73. Width too small seen from below.



74. Width too small

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48. Condition: • [Loose](#)

Implication(s): Chance of movement

BASEMENT \ Wet basement - evidence

49. Condition: • [Dampness on floor or walls](#)

Dampness, efflorescence, staining and noted in basement floors and walls primarily on the front left side. (See exterior section for information on lot slope and downspout placement which can be major factors in basement moisture.)

Moisture and high humidity levels can promote wood decay/rot, insect damage, mold growth, rust. Monitor the moisture conditions in the basement and consult with qualified moisture intrusion specialists to evaluate and improve where possible.

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Basement-front left

Task: Monitor, improve grading outside.

Time: Ongoing.



75. Dampness on floor or walls



76. Dampness on floor or walls



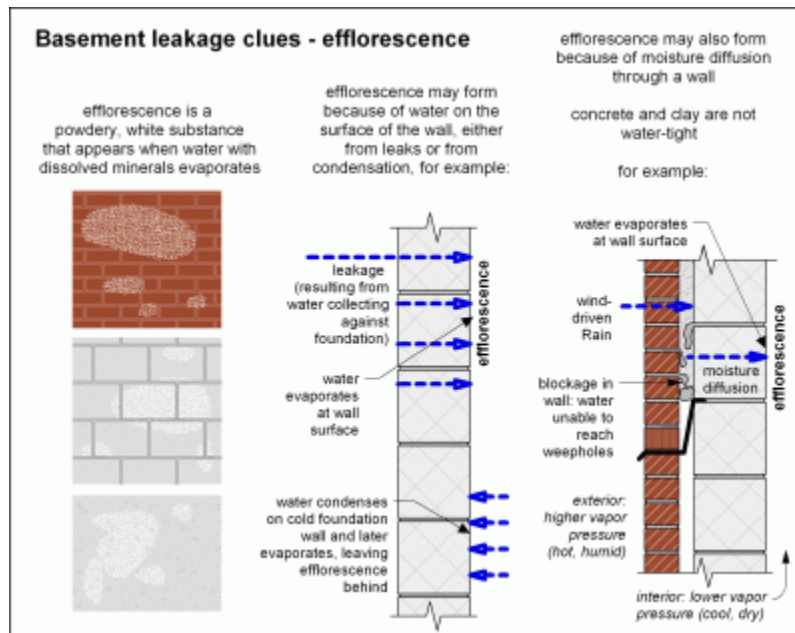
77. Dampness on floor or walls



78. Dampness on floor or walls

50. Condition: • [Efflorescence](#)

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure



51. Condition: • [Peeling paint](#)

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure

52. Condition: • [Stains](#)

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure

EXHAUST FANS \ Exhaust fan

53. Condition: • [Missing](#)

No exhaust fan in bathroom.

Implication(s): Chance of condensation damage to finishes and/or structure

Location: Second Floor

Task: Repair

APPLIANCES \ Refrigerator

54. Condition: • Refrigerator missing ice shelf.

Task: Repair

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79. *Missing shelving in refrigerator.*

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Description

Weather: • Clear

Approximate temperature: • 54°

Attendees: • Buyer

Access to home provided by: • Seller

Occupancy: • There was no one home during the inspection. • The home was furnished during the inspection.

Utilities: • All utilities were on during the inspection.

Approximate inspection Start time: • The inspection started at 1:00 p.m.

Approximate inspection End time: • The inspection ended at 4:00 p.m.

Approximate age of home: • 80 years

Approximate date of construction: • 1920 to 1930

Approximate size of home: • 1700 ft.²

Building type:

• Duplex

Left side.

Number of bedrooms: • Three

Number of bathrooms: • One

Garage, carport and outbuildings:

• Detached one-car garage

Left side of shared, duplex garage.

END OF REPORT

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The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS