



YOUR INSPECTION REPORT

Inspection, Education, Knowledge.

PREPARED BY:
ADAM HANNAN



FOR THE PROPERTY AT:

104 Magwood Court
Toronto, ON M6S 2M6

PREPARED FOR:
GILLIAN RITCHIE

INSPECTION DATE:
Tuesday, April 19, 2022

TIP

THE
INSPECTION
PROFESSIONALS

THE INSPECTION PROFESSIONALS, INC.
3120 Rutherford Rd.
Concord, ON L4K 0B2

416-725-5568
HST# 89249 4501 RT0001

www.inspectionpros.ca
adam@inspectionpros.ca



TIP

**THE
INSPECTION
PROFESSIONALS**

April 19, 2022

Dear Gillian Ritchie,

RE: Report No. 7049, v.2
104 Magwood Court
Toronto, ON
M6S 2M6

Thank you for choosing The Inspection Professionals to perform your Property Inspection. You can navigate the report by clicking the tabs at the top of each page. The Reference tab includes a 500-page Reference Library.

The Inspection Professionals (TIP) is a certified multi-inspector award-winning company founded by Adam Hannan. Since 2006, Adam has performed thousands of residential and commercial inspections and has become a respected expert in his field. Adam has a passion for education and has been an inspection instructor teaching at Community Colleges and Universities since 2009.

Adam is a member of the International Association of Certified Home Inspectors (CPI # NACHI07020704)

"We inspect every home as if we were buying it for ourselves. We care about our clients and we strive to exceed expectations. We offer a professional unbiased opinion of the current performance of the home regardless of who we are working for."

-Adam

BUYERS -

A phone review of the current report is available to prospective buyers. In order to more thoroughly familiarize yourself with the property and our findings, please book a Phone Review at your convenience by calling (416) 725-5568. The fee for this service is only \$195.

Sincerely,

ADAM HANNAN
on behalf of
THE INSPECTION PROFESSIONALS, INC.

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SUMMARY

104 Magwood Court, Toronto, ON April 19, 2022

Report No. 7049, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

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HIGHLIGHTS:

This solid masonry on concrete block foundations home is in good condition overall as compared to homes of similar age and style. The electrical system features a 100-amp electrical service with copper wiring. GFI outlets have been provided at the majority of ungrounded areas. The roof shingles are premium quality and approximately midway through its typical lifespan. The windows on the main and second floor are energy efficient double-glazed units. The air conditioner is a newer 2018 premium unit. The exterior brick is in good condition overall. As is typical for homes of this age, there is a mix of newer and older systems and components.

This Summary outlines some of the potentially short-term significant issues from a cost standpoint. This section is provided as a COURTESY ONLY and cannot be considered a substitute for reading the entire report. Please read the complete document.

It is not possible for a home inspector to predict the future. It would be advisable to annually budget between 0.5% to 1% of the value of the home for unforeseen repairs and maintenance. This would hold true for any house that you were considering.

Things will wear out, break down, and fail without warning. This is a fact of home ownership.

We adhere to the CAHPI Standards of Practice which can be viewed here:

[CAHPI_2012_Standards_of_Practice_verf-aug_22_final_ver041519.pdf](#)

NOTE: ALL ELECTRICAL ISSUES ARE CONSIDERED PRIORITY ITEMS

NOTE: FOR BALLPARK COSTS THE TERM 'MINOR' REFERS TO COSTS UNDER \$500

NOTE: FOR DIRECTIONAL PURPOSES USED THROUGHOUT THE REPORT, THE "FRONT" OF THE HOUSE IS REFERENCED AS FACING THE FRONT DOOR FROM THE EXTERIOR.

During a home inspection we inspect all visible systems and components. There are literally hundreds of potential minor issues found in every home, new and old. The inspection is not a technical audit on every minor flaw or deficiency. A technical audit can be performed at an additional cost. The focus of this inspection was to identify MAJOR issues with major systems and components. To simplify and give you a better understanding of what is considered a major issue, the inspection can generally be categorized as follows:

1)OBSERVABLE STRUCTURAL DEFECTS

2)OBSERVABLE WATER LEAKAGE/DAMAGE Roof, Plumbing, and basement moisture intrusion.

3)OBSERVABLE ELECTRICAL DEFECTS

4)LIFESPAN SYSTEMS- Roof Covering, Heating System, Cooling System, Windows

Disclaimer / Note to prospective buyers: This inspection report was performed for our client(s) as named on the report. We take no responsibility or hold no liability until an onsite review is purchased by the buyer and an onsite review is performed by our company and our inspection agreement of limitations and liability are signed. By accepting the information in this report without our onsite review, you are waiving all rights.

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For Ballpark costs of various home components, please click here:

<http://www.inspectionlibrary.com/costs.htm>

Exterior

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Patios

Condition: • [Slope toward building](#)

Patio has settled and the grading is sloping toward the house. By grading, we are referring to the ground beside the home from wall to at least 6-feet away. Repair/Replace patio/grading to promote water drainage away from home

Location: Rear Exterior

Task: Correct

Time: Less than 1 year

Cost: Depends on approach - Labor intensive - Major cost to replace

Insulation and Ventilation

RECOMMENDATIONS \ General

Condition: • Vermiculite Insulation was found in attic.

This material may contain asbestos.

See detailed note in Insulation section of report.

Plumbing

WATER HEATER \ Life expectancy

Condition: • [Near end of life expectancy](#)

Typical life expectancy is 10-15 years. The current unit is 13 years old

Location: Basement Furnace Room

Task: Replace

Time: When necessary / Unpredictable

Cost: Depends if renting or purchasing

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a home inspection. These may have to be adjusted based on the findings of specialists.

<http://www.inspectionlibrary.com/wtgw.htm>

ROOFING

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Descriptions

Sloped roofing material: • [Asphalt shingles](#) • [Strip when reroofing](#)

Approximate age: • 10 years

Typical life expectancy: • 20-25 years

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • All Roofing issues have POTENTIAL worst-case implications such as damage to contents, structure and/or finishes.

RECOMMENDATIONS \ Overview

Condition: • No roofing recommendations are offered as a result of this inspection.

Inspection Methods and Limitations

General: • Most roofs are susceptible to ice damming under the right weather conditions. This is where ice forms at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather

Inspection limited/prevented by: • Wet roof surface hides flaws

Inspection performed: • With binoculars from the ground • Through Window - Limited View

Age determined by: • Visual inspection from ground

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Descriptions

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout discharge: • [Above grade](#)

Lot slope: • [Towards building](#) • [Flat](#)

Wall surfaces and trim:

• [Vinyl siding](#)

• [Metal siding](#)

At sunroom

Wall surfaces - masonry: • [Brick](#)

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • All Exterior issues have POTENTIAL worst-case implications such as damage to contents, structure and/or finishes, and personal safety.

ROOF DRAINAGE \ Downspouts

Condition: • [Connections loose](#)

Location: Left Exterior

Task: Repair

Time: Regular maintenance



1. Connections loose

Condition: • [Not well secured](#)

Location: Left Exterior

Task: Improve

Time: Regular maintenance

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2. Not well secured

WALLS \ Flashings and caulking

Condition: • Caulking around windows, doors and wall penetrations should be checked regularly for deficiencies and improved as needed.

WALLS \ Masonry (brick, stone) and concrete

Condition: • Most masonry walls have small cracks due to shrinkage or minor settlement. These will not be individually noted in the report, unless leakage, building movement or similar problems are noted

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

Condition: • [Missing](#)

Location: Front Exterior Steps

Task: Provide Handrail

Time: Less than 1 year

Cost: minor

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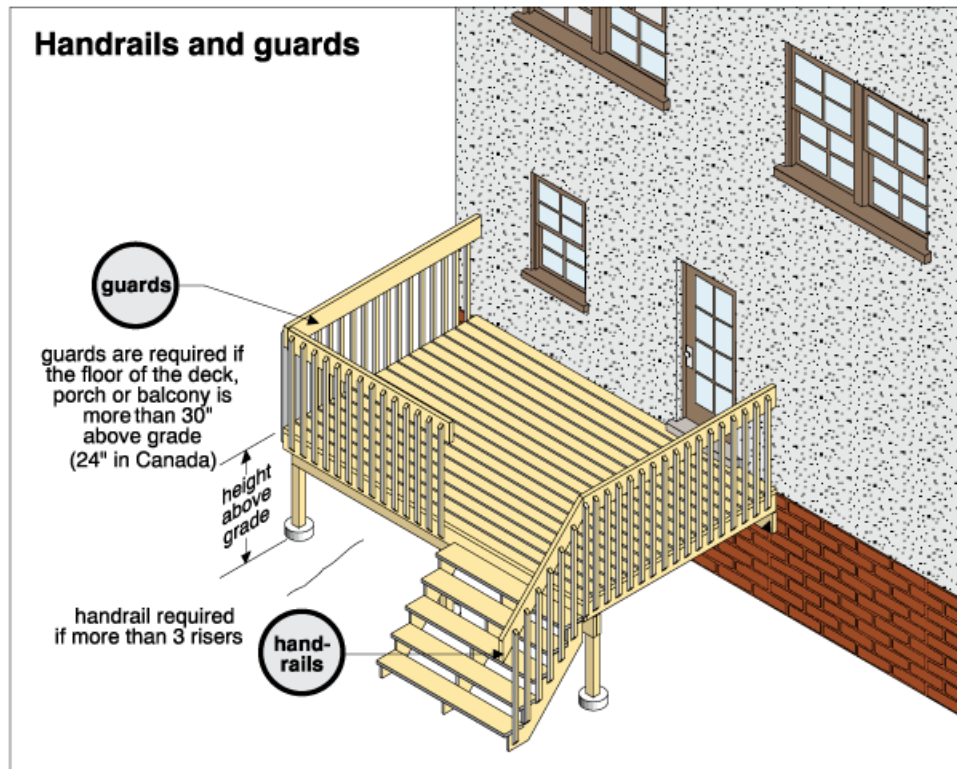
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Handrails and guards



Condition: • [Spindles \(balusters\) too far apart](#)

Space between spindles larger than modern standards

Location: Rear Exterior deck landing

Task: Improve

Time: As Required

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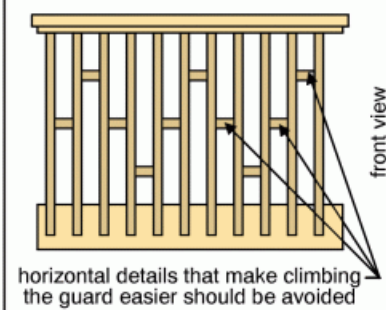
Spindle spacing

spindles should be spaced so that a 4" (6" in some areas) sphere cannot pass through the guard

spindles (balusters)

4" diameter sphere (6" in some jurisdictions)

construction note:



PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Patios

Condition: • [Slope toward building](#)

Patio has settled and the grading is sloping toward the house. By grading, we are referring to the ground beside the home from wall to at least 6-feet away. Repair/Replace patio/grading to promote water drainage away from home

Location: Rear Exterior

Task: Correct

Time: Less than 1 year

Cost: Depends on approach - Labor intensive - Major cost to replace

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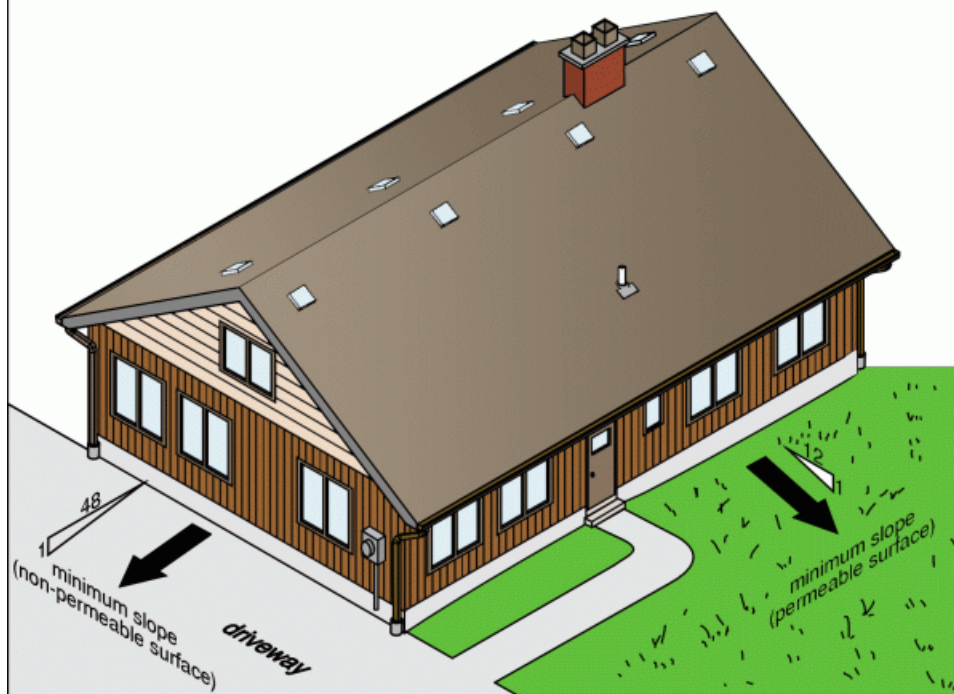
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Recommended grading slopes



3. Slope toward building

LANDSCAPING \ General notes

Condition: • Tree Branch Maintenance

Keep tree branches trimmed back 3 feet from roof line.

Location: Exterior

Task: Improve

Time: Ongoing

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Cost: Regular maintenance item



4. *Tree Branch Maintenance*

LANDSCAPING \ Lot grading

Condition: • Low Areas.

Low areas or settlement was noted in some areas. Monitor drainage especially after heavy rainfalls and improve grade to slope away from home for at least 6 feet. This will help promote good drainage away from home. This is normal maintenance for all homes.

Location: Exterior

Task: Improve

Time: Regular maintenance

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Recommended grading slopes



5. Low Areas

Condition: • During rainfall, walk the exterior to view if any water is draining towards the home. Improve these areas as needed

LANDSCAPING \ Fence

Condition: • Leaning

Location: Exterior Yard Fence between the attached home

Task: Repair/Replace

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Time: Less than 1 year

Inspection Methods and Limitations

Upper floors inspected from: • Ground level

Descriptions

General: • No significant structural performance issues were observed. • The solid masonry walls and foundations that are visible are in good condition overall.

Configuration: • [Basement](#)

Foundation material: • [Masonry block](#)

Floor construction: • [Joists](#)

Exterior wall construction: • [Wood frame](#) • [Wood frame / Brick veneer](#)

Roof and ceiling framing: • Rafters

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • All Structure issues have POTENTIAL worst-case implications such as damage to contents, structure and/or finishes, and personal safety.

WALLS \ Solid masonry walls

Condition: • [Prior repairs](#)

Window removal/resize

Location: Rear Exterior Wall

Task: For Your Information



6. *Prior repairs*

STRUCTURE

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Inspection Methods and Limitations

Inspection limited/prevented by: • Finishes, insulation, furnishings and storage conceal structural components.

Percent of foundation not visible: • 90 %

Descriptions

General: • ALL ELECTRICAL CONDITIONS ARE CONSIDERED PRIORITY ITEMS

Service entrance cable and location: • [Overhead - cable type not determined](#)

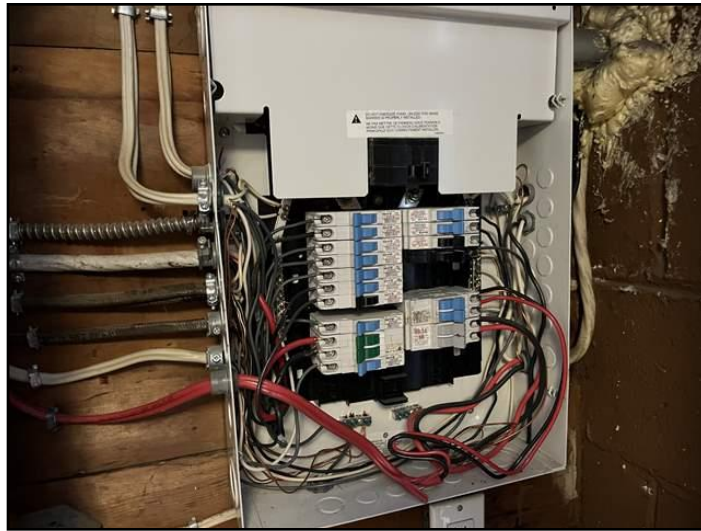
Service size: • [100 Amps \(240 Volts\)](#)

Main disconnect/service box type and location: • [Breakers - basement](#)

System grounding material and type: • [Copper - water pipe](#)

Distribution panel type and location:

• [Breakers - basement](#)



7. Breakers - basement

Distribution panel rating: • [125 Amps](#)

Distribution wire (conductor) material and type: • [Copper - non-metallic sheathed](#) • [Copper - metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded and ungrounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCIs present](#)

Smoke alarms (detectors): • [Present](#) • Provide New

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • All electrical recommendations are safety issues. POTENTIAL worst-case implications are fire and shock hazards. Treat them as high priority items, and consider the time frame as Immediate, unless otherwise noted.

DISTRIBUTION SYSTEM \ Wiring (wires) - installation

Condition: • [Open splices](#)

Location: Basement above light fixture

Task: Provide junction box

Time: As soon as possible

Cost: Minor



8. Open splices

DISTRIBUTION SYSTEM \ Junction boxes

Condition: • [Cover loose or missing](#)

Location: Basement above light fixture

Task: Provide Cover

Time: As Soon As Possible

Cost: Minor



9. Cover missing

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • [Ungrounded](#)

Location: Basement

Task: Replace with gfi outlet

ELECTRICAL

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Time: Less than 1 year

Cost: Minor



10. *Ungrounded*

Condition: • [Ungrounded](#)

Most of the ungrounded outlets have been fitted with gfi outlets. This is a good safety measure upgrade.

Location: Various First Floor / Second Floor

Task: For Your Information



11. *example of gfi outlet in ungrounded area*

Condition: • [Loose](#)

Location: First Floor Kitchen

Task: Correct

Time: Prior to first use

Cost: Regular maintenance item

Condition: • [Loose](#)

Location: First Floor Dining Room

Task: Correct

Time: Prior to first use

Cost: Regular maintenance item



12. Loose

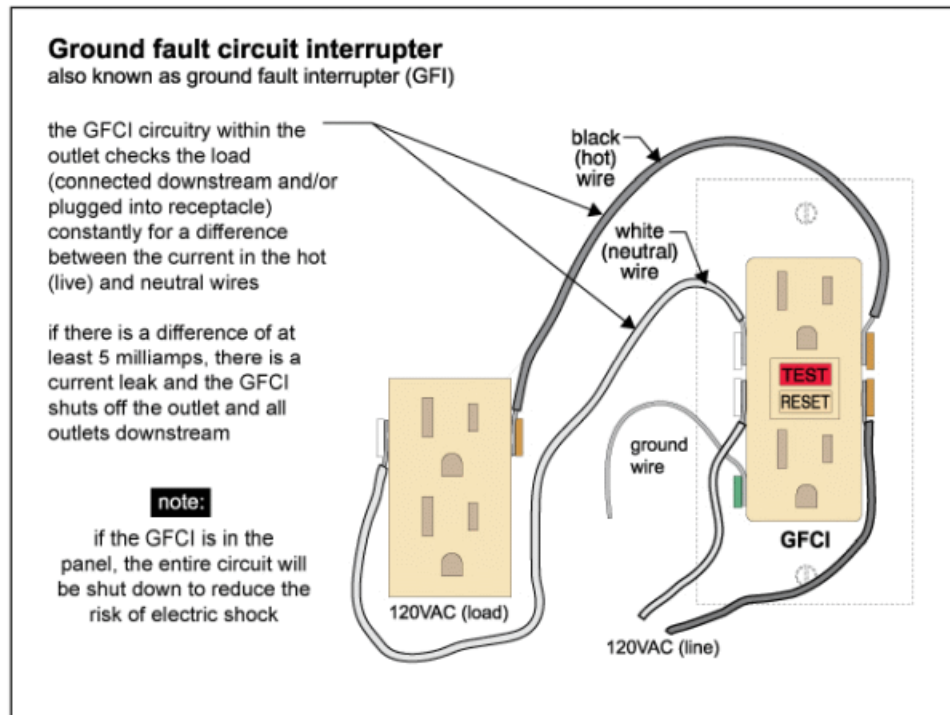
Condition: • [GFCI/GFI needed \(Ground Fault Circuit Interrupter\)](#)

Location: Rear Exterior Wall and Second Floor bathroom

Task: Replace

Time: Prior to first use

Cost: Minor



DISTRIBUTION SYSTEM \ GFCI (Ground Fault Circuit Interrupter) protection not noted at

Condition: • Kitchen counters

Location: Kitchen

Task: Replace

Time: Less than 1 year

Cost: Minor

DISTRIBUTION SYSTEM \ Cover plates

Condition: • For outlet (receptacle) is missing

Location: Furnace Room

Task: Provide Cover

Time: As Soon As Possible

Cost: Less than \$25



13. For outlet (receptacle) is missing

DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

Condition: • Old

Location: First Floor

Task: Replace

Time: As Soon As Possible

Cost: Minor Regular maintenance item

Condition: • Smoke and carbon monoxide (CO) detectors should be provided at every floor level of every home. Smoke detectors should be close to sleeping areas, and carbon monoxide detectors should be in any room with a wood-burning stove or fireplace. These devices are not tested as part of a home inspection. Once you take possession of the home, detectors should be tested regularly, and replaced every 10 years. If unsure of the age of a smoke detector, it should be replaced. Smoke detector batteries should be replaced annually.

Inspection Methods and Limitations

System ground: • Quality of ground not determined

HEATING

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Descriptions

Heating system type: • [Furnace](#)

Fuel/energy source: • [Gas](#)

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • [75,000 BTU/hr](#)

Efficiency: • [High-efficiency](#)

Approximate age: • [13 years](#)

Typical life expectancy: • Furnace (high efficiency) 15 to 20 years

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • Set up annual service plan which includes coverage for parts and labour.

Location: Basement Furnace Room

Task: Service annually

Time: Ongoing

Cost: Regular maintenance item

GAS FURNACE \ Ducts, registers and grilles

Condition: • Typical of an older layout, some of the registers are at interior walls and not below the windows. Provide auxiliary heating near windows if necessary (baseboards for example)

Location: Second Floor Bedrooms

Inspection Methods and Limitations

Safety devices: • Not tested as part of a building inspection

Heat loss calculations: • Not done as part of a building inspection

Heat exchanger: • Not visible

COOLING & HEAT PUMP

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Descriptions

Air conditioning type: • [Air cooled](#)

Cooling capacity: • [24,000 BTU/hr](#)

Compressor approximate age: • 4 years

Typical life expectancy: • 10 to 15 years

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • In general, air conditioning units have a lifespan of 10-15 years but often last longer with regular servicing.

RECOMMENDATIONS \ Overview

Condition: • No air conditioning or heat pump recommendations are offered as a result of this inspection.

Inspection Methods and Limitations

Inspection limited/prevented by: • Cooling systems are not operated when the outdoor temperature is below 60°F • To reduce risk of damaging the compressor, air conditioning systems are not tested until they have been started up for the season.

Heat gain/loss calculations: • Not done as part of a building inspection

Descriptions

Attic/roof insulation material: • [Cellulose](#) • [Vermiculite](#)

Attic/roof insulation amount/value: • [R-40](#)

Attic/roof air/vapor barrier: • [None found](#) • Spot Checked Only

Attic/roof ventilation: • [Roof and soffit vents](#)

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • Vermiculite Insulation was found in attic.

This material may contain asbestos.

See detailed note in Insulation section of report.

ATTIC/ROOF \ Insulation

Condition: • [Possible Zonolite \(vermiculite\)](#)

Vermiculite insulation was found in the attic (below the cellulose fiber). This type of insulation often contains some asbestos, which can be confirmed with proper laboratory testing. Health Canada's position is that vermiculite insulation is best left in place undisturbed, and health precautions should be taken if working in the attic or disturbing the insulation.

More information and health tips can be found on Health Canada's website at

<http://healthycanadians.gc.ca/healthy-living-vie-saine/environment-environnement/air/contaminants/asbestos-amiante-eng.php>.

and EPA' website: <http://www2.epa.gov/asbestos/protect-your-family-asbestos-contaminated-vermiculite-insulation>.

Location: Throughout Attic

Task: See note

Cost: Major to remove / replace



14. example



15. example

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Inspection Methods and Limitations

Inspection limited/prevented by lack of access to: • Walls, which were spot checked only

Attic inspection performed:

- From access hatch

Very limited view due to the small size of the attic access hatch and built in shelving. Some areas were observed using camera. Annual inspections of attic areas are recommended.

Roof ventilation system performance: • Not evaluated

Air/vapor barrier system: • Continuity not verified

Descriptions

Service piping into building: • [Copper](#)

Supply piping in building: • [Copper](#)

Main water shut off valve at the:

- Basement
- In Bathroom

Water flow and pressure: • [Functional](#)

Water heater type: • [Induced draft](#)

Water heater fuel/energy source: • [Gas](#)

Water heater tank capacity: • 50 gallons • 189 liters

Water heater approximate age: • 13 years

Water heater typical life expectancy: • 10 to 15 years

Waste and vent piping in building: • [Plastic](#)

Floor drain location: • Near laundry area

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • All Plumbing issues have POTENTIAL worst-case implications of water damage to contents, finishes and/or structure.

WATER HEATER \ Life expectancy

Condition: • [Near end of life expectancy](#)

Typical life expectancy is 10-15 years. The current unit is 13 years old

Location: Basement Furnace Room

Task: Replace

Time: When necessary / Unpredictable

Cost: Depends if renting or purchasing

WATER HEATER - GAS BURNER AND VENTING \ Venting system

Condition: • [Poor slope](#)

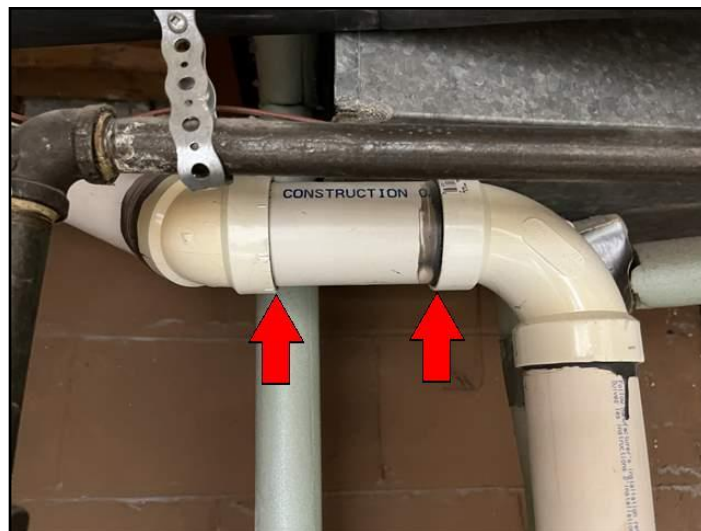
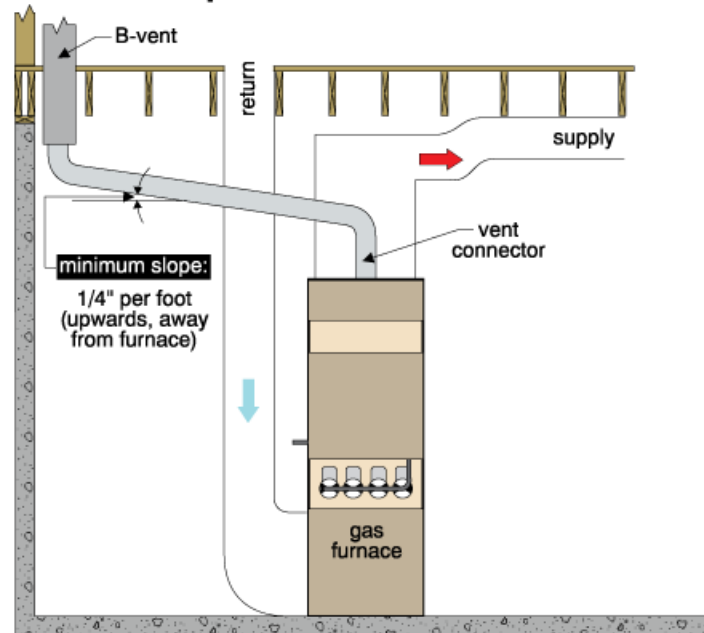
Location: Basement Water Heater Vent

Task: Correct

Time: Less than 1 year

Cost: Minor

Vent connector slope



16. Poor slope (short run)

WASTE PLUMBING \ Drain piping - performance

Condition: • Sewer backup insurance is recommended for ALL homes

Sewer backup can happen to any home. There are many potential causes and it is prudent for homeowners to have coverage for this.

Condition: • A videoscan of the waste plumbing is recommended to determine whether there are tree roots or other obstructions, and to look for damaged or collapsed pipe. This is common on older properties, especially where there are mature trees nearby. This is a great precautionary measure, although many homeowners wait until there are problems with the drains. The cost may be roughly \$200 to \$400, however many companies will rebate the cost if work is to be

completed.

GENERAL RECOMMENDATION FOR ALL HOMES BUILT PRIOR TO 1970

FIXTURES AND FAUCETS \ Faucet

Condition: • [Loose](#)

Spout is not fastened

Location: Second Floor Bathroom

Task: Repair / Replace

Time: Prior to first use



17. Loose

Inspection Methods and Limitations

Items excluded from a building inspection: • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Tub and basin overflows are not tested as part of a home inspection. Leakage at the overflows is a common problem.

Descriptions

Major floor finishes: • [Hardwood](#) • [Laminate](#) • [Ceramic](#)

Major wall and ceiling finishes: • [Plaster/drywall](#) • [Stucco/texture/stipple](#)

Windows: • [Fixed](#) • [Casement](#)

Windows: • The majority of windows on the main and second floor are premium double paned windows.

Glazing: • [Double](#)

Exterior doors - type/material: • Hinged

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • All Interior issues have POTENTIAL worst-case implications such as damage to contents, structure and/or finishes, and personal safety.

Condition: • Typical minor flaws were noted on floors, walls and ceilings. These cosmetic issues reflect normal wear and tear

CEILINGS \ General notes

Condition: • Patched

Tested with moisture meter. Dry at time of inspection (During our inspection, we test all patches for moisture)

Location: Basement

Task: For Your Information

WINDOWS \ General notes

Condition: • Older basement windows noted

Location: Basement

Task: Upgrade

Time: Discretionary

Cost: \$70-\$100 per sq ft



18. example

WINDOWS \ Glass (glazing)

Condition: • [Lost seal on double or triple glazing](#)

Sunroom windows approximately 42 years old

Location: Rear Sunroom

Task: Replace

Time: Discretionary

Cost: \$300 - \$600 Each Glass Unit or full window replacement \$70-\$100 per sq ft.



19. Lost seal on double or triple glazing

WINDOWS \ Hardware

Condition: • [Inoperative](#)

Does not latch and casement crank hardware stripped.

Location: Second Floor Bathroom

Task: Repair / Replace

Time: Regular maintenance

CARPENTRY \ Countertops

Condition: • Kitchen counter worn in some areas

Location: Various Kitchen

Task: Repair / Replace

Time: Discretionary / When remodelling

EXHAUST FANS \ General notes

Condition: • [Missing](#)

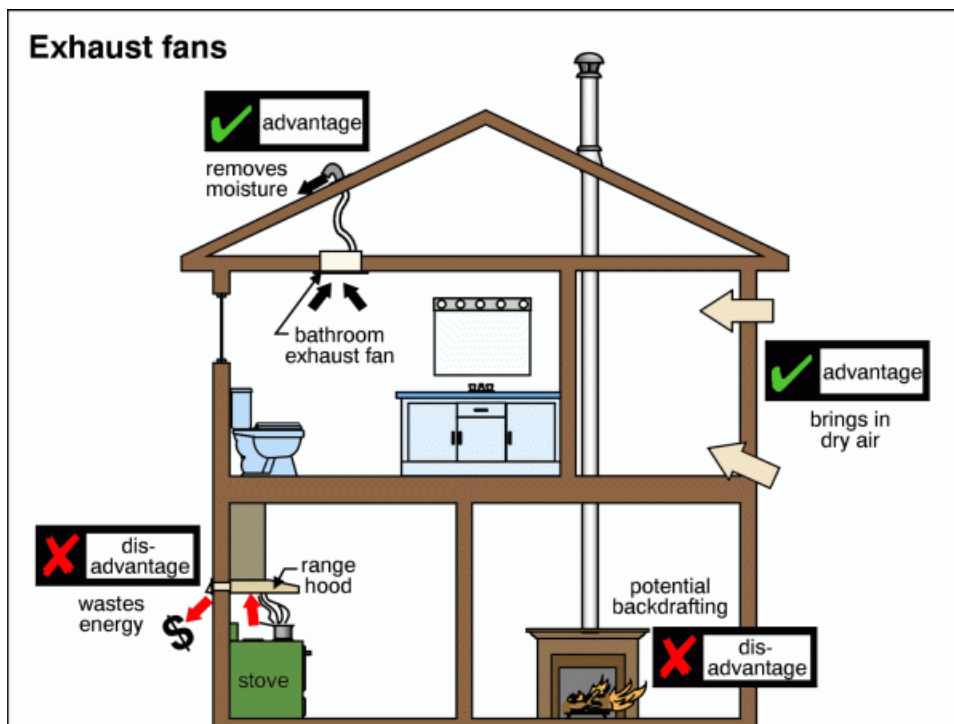
Exhaust Fans in bathrooms are recommended upgrades. (This was not standard when the house was originally built when only windows in bathrooms were required) (This helps remove moisture which could contribute to mildew/mold growth)

Location: Basement Bathroom

Task: Provide

Time: Discretionary

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
LINKS	MORE INFO	APPENDIX	REFERENCE						



BASEMENT \ Leakage

Condition: • ***FOR FUTURE REFERENCE*** GENERAL ADVICE FOR ALL HOMES IF BASEMENT LEAKAGE IS EVER OBSERVED

Basement Leakage 4-step method. Almost every basement (and crawlspace) leaks under the right conditions. Based on a one-time visit, it is impossible to know how often or severe leaks may be. While we look for evidence of past leakage during our inspection, this is often not a good indicator of current conditions. Exterior conditions such as poorly performing gutters and downspouts, and ground sloping down toward the house often cause basement leakage problems. To summarize, wet basement issues can be addressed in 4 steps: 1. First, ensure gutters and downspouts carry roof run-off away from the home. (relatively low cost) 2. If problems persist, slope the ground (including walks, patios and driveways) to direct water away from the home. (Low cost if done by homeowner. Higher cost if done by contractor or if driveways, patios and expensive landscaping are disturbed.) 3. If the problem is not resolved and the foundation is poured concrete, seal any leaking cracks and form-tie holes from the inside. (A typical cost is \$500 to \$600 per crack or \$300 per hole.) 4. As a last resort, dampproof the exterior of the foundation, provide a drainage membrane and add/repair perimeter drainage tile. (High cost)

BASEMENT \ Wet basements - vulnerability

Condition: • Typical of many homes with stone, brick, or block foundations, some moisture can be expected from time to time and is not unusual. Exterior grading and water management improvements are generally effective at reducing basement moisture. A dehumidifier can also be used to keep humidity levels down.

POTENTIALLY HAZARDOUS MATERIALS \ General notes

Condition: • Possible asbestos containing materials

During the era when this house was built, it was very common to use asbestos type insulation to protect the floors from heating ducts. Determining the material type is outside the scope of this inspection. Health Canada recommends that any

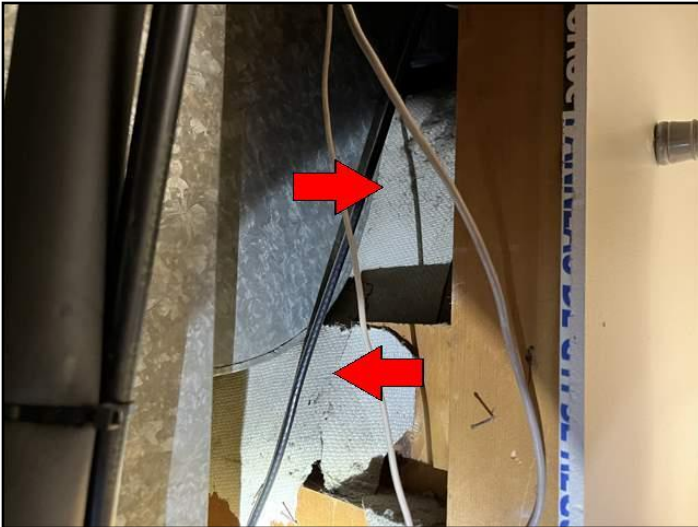
asbestos material found should stay in place undisturbed. If you plan to remodel or if this is a concern, consult with a specialist for lab testing to confirm if asbestos is present.

Location: Near furnace ducting as viewed from furnace area

Task: Test / Remove

Time: Before disturbing material

Cost: Less than \$1000 for the amount observed in furnace area.



20. Viewed in furnace room



21. Viewed in furnace room

Inspection Methods and Limitations

General: • Up until about 1985, Asbestos was used in a multitude of building materials including but not limited to: Insulation on hydronic piping, attic insulation, flooring and ceiling tiles, stucco / stipple ceilings, glue, insulation around heating ducts and registers, plaster and so on. Identification of asbestos is outside the scope of a home inspection. If you have concerns about asbestos, consult with a professional environmental company that specializes with asbestos lab testing. If you plan to remove/disturb any building material, testing for asbestos is recommended beforehand.

Inspection limited/prevented by:

- Storage/furnishings
- New finishes/paint
- Recent painting at various areas of walls/ceilings
- Storage in closets and cabinets / cupboards

Not included as part of a building inspection: • Carbon monoxide alarms (detectors), security systems, central vacuum
Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any

Cosmetics: • No comment offered on cosmetic finishes

Appliances: • Appliances are not inspected as part of a building inspection • Appliances are not moved during an inspection

Percent of foundation not visible: • 90 %

Basement leakage: • Storage in basement limited inspection • Basement leakage is common. Most basements will

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experience leakage at some point. We cannot predict future occurrence or extent of basement leakage • Monitor the basement for leaks in the Spring.

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Descriptions

General: • [Low concentrations of CO can go undetected and can contribute to ongoing, unidentified illnesses. At high concentrations, it can be deadly.](#) • [Serious structural problems in houses are not very common, but when they occur they are never cheap to fix. Some cant be fixed at all. This report wont turn you into a home inspector, but it will give you some of the common indicators.](#) • [There are so many home maintenance and repair items that are important; it can be confusing trying to establish which are the most critical.](#) • [\(Life Cycles and Costs\)](#) • [This report will deal with the simpler topic of home repair--basically replacing things that are worn out or fixing things that are broken.](#) • [Common Building Technical Terms Explained](#)

General: • [The Inspection Professionals Website](#)

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Descriptions

GOOD ADVICE FOR ALL HOMEOWNERS: • The following items apply to all homes and explain how to prevent and correct some common problems.

Roof Leaks: • Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced.

Annual Roof Maintenance: • We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of your roof.

Ice Dams on Roofs: • [Most roofs are susceptible to ice dams under the right weather conditions. This is where ice forms](#) at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather.

Maintaining the Exterior of Your Home: • Regular maintenance includes painting and caulking of all exterior wood.

Insulation Amounts - Current Standards: • Attic current standards as of 2016 is R-60

Reduce Air Leaks: • Insulation is not effective if air (and the heat that goes with it) can escape from the home. Caulking and weather-stripping help control air leakage, improving comfort while reducing energy consumption and costs. Air leakage control improvements are inexpensive and provide a high return on investment.

Bathtub and Shower Maintenance: • Caulking and grout in bathtubs and showers should be checked every six months and improved as necessary to prevent leakage and damage behind wall surfaces.

Basement/Crawlspace Leakage: • Almost every basement (and crawlspace) leaks under the right conditions. • [Click for](#) more information.

MORE GOOD ADVICE FOR ALL HOMES: • Here is some more information that applies to all homes.

MORE GOOD INFORMATION: • The following links give you access to documents that provide additional information on a range of topics.

Life Cycles and Costs: • [Ballpark estimates based on a typical three-bedroom home.](#)

Priority Items for Home Buyers: • [A list of things you should do when moving into your new home and a few regular](#) maintenance items.

Maintenance: • [Scheduled maintenance can avoid repairs and extend the life expectancy of many home components.](#) This document helps you look after your home.

When Things Go Wrong: • [Unpleasant surprises are unfortunately part of homeownership. This document helps to](#) explain why things happen and why your home inspector may not have predicted it.

Standards of Practice: • [This document sets out what a professional home inspection should include, and guides the](#) activities of our inspectors.

END OF REPORT

TIP

THE
INSPECTION
PROFESSIONALS

888-592-4888

info@inspectionpros.caInspectionpros.ca

Version 2021

Priority Maintenance *TIPS* for Home Buyers

There are so many home maintenance and repair items that are important; it can be confusing trying to establish which are the most critical. To simplify things, we have compiled a short list of our favorites. These are by no means all-inclusive, nor do they replace any of the information in a home inspection report. They should, however, help you get started on the right foot. Remember, any items marked as priority or safety issues on your home inspection report need immediate attention.

One-Time Tasks (upon taking possession of the property)

1. Install smoke detectors and carbon monoxide detectors as necessary (usually one on each level of the home, near any sleeping areas).
2. Make any electrical improvements recommended in the home inspection report.
3. Remove any wood/soil contact to prevent rot and insect damage.
4. Change the locks on all doors. Use a dead bolt for better security and to minimize insurance costs.
5. Correct trip hazards such as broken or uneven walks and driveways, loose or torn carpet or uneven flooring.
6. Correct unsafe stairways and landings. (Railings missing, loose, too low, et cetera.)
7. Have all chimneys inspected before operating any of these appliances.
8. Locate and mark the shut-offs for the heating, electrical and plumbing systems.
9. Label the circuits in electrical panels.
10. If there is a septic system, have the tank pumped and inspected. If the house is on a private water supply (well), set up a regular testing procedure for checking water quality.

Regular Maintenance Items

11. Clean the gutters in the spring and fall.
12. Check for damaged roofing and flashing materials twice a year.
13. Cut back trees and shrubs from the house walls, roof and air conditioning system as needed.
14. Clean the tracks on horizontal sliding windows annually, and ensure the drain holes are clear.
15. Test ground fault circuit interrupters, carbon monoxide detectors and smoke detectors using the test button, monthly.
16. Service furnace or boiler yearly.
17. Check furnace filters, humidifiers and electronic air cleaners monthly.
18. Check the bathtub and shower caulking monthly and improve promptly as needed.
19. If you are in a climate where freezing occurs, shut off outdoor water faucets in the fall.
20. Check reversing mechanism on garage door opener monthly.
21. Check attics for evidence of leaks and condensation and make sure vents are not obstructed, at least twice a year. (Provide access into all attics and crawl spaces.)

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**This is a copy of our home inspection contract and outlines the terms,
limitations and conditions of the home inspection**

THIS CONTRACT LIMITS THE LIABILITY OF THE HOME INSPECTION COMPANY AND INSPECTOR.

PLEASE READ CAREFULLY BEFORE SIGNING.

The Inspection of this property is subject to the Limitations and Conditions set out in this Agreement. It is based on a visual examination of the readily accessible features of the building. The Inspection is performed in accordance with the Standards of Practice of the Ontario Association of Home Inspectors. A copy of these Standards is available at <http://www.oahi.com/webdocs/StandardsofPractice-OAHI-Rev.pdf>.

The Home Inspector's report is an opinion of the present condition of the property. The Inspection and report are not a guarantee, warranty or an insurance policy with regards to the property. A Home Inspector cannot predict future deficiencies, intermittent problems or future water leakage.

PLEASE READ THE FOLLOWING PARAGRAPH: Due to the unpredictable nature of basement water leakage, a home inspector cannot predict future basement leakage. Almost all basements will leak at some point so there is a very good chance that it will happen. Basement leakage can occur for any number of reasons - Rainfall, sewer backup, high water tables, lot grading, clogged weeping tiles, gutter and downspout performance, just to name a few. The home inspector and The Inspection Professionals accepts no responsibility or liability for future basement water problems.

The inspection report is for the exclusive use of the client named above. No use of the information by any other party is intended. See item 8 below.

LIMITATIONS AND CONDITIONS OF THE HOME INSPECTION

These Limitations and Conditions explain the scope of your Home Inspection. Please read them carefully before signing this Agreement.

The purpose of your Home Inspection is to evaluate the general condition of a property. This includes determining whether systems are still performing their intended functions.

There are limitations to the scope of this Inspection. It provides a general overview of the more obvious repairs that may be needed. It is not intended to be an exhaustive list. The ultimate decision of what to repair or replace is yours. One homeowner may decide that certain conditions require repair or replacement, while another will not.

1. The Home Inspection provides you with a basic overview of the condition of the property. Because your Home Inspector has only a limited amount of time to go through the property, the Inspection is not technically exhaustive. If you have concerns about any of the conditions noted, please consult the text that is referenced in the report.

Some conditions noted, such as foundation cracks or other signs of settling in a house, may either be cosmetic or may indicate a potential structural problem that is beyond the scope of the Home Inspection.

If you are concerned about any conditions noted in the report, we strongly recommend that you consult a qualified licensed contractor or engineering specialist. These professionals can provide a more detailed analysis of any conditions noted in the report at an additional cost.

2. A Home Inspection does not include identifying defects that are hidden behind walls, floors or ceilings. This includes wiring, structure, plumbing and insulation that is hidden or inaccessible.

Some intermittent conditions may not be obvious on a Home Inspection because they only happen under certain circumstances. As an example, your Home Inspector may not discover leaks that occur only during certain weather conditions or when a specific tap or appliance is being used in everyday life.

Home Inspectors will not find conditions that may only be visible when storage or furniture is moved. Inspectors do not remove wall coverings, including wallpaper, or lift flooring, including carpet to look underneath.

A Home Inspection is a sampling exercise with respect to house components that are numerous, such as bricks, windows and electrical receptacles. As a result, some conditions that are visible may go un-reported.

3. The Inspection does not include hazardous materials that may be in or behind the walls, floors or ceilings of the property, whether visible or not. This includes building materials that are now suspected of posing a risk to health such as phenol-formaldehyde and urea-formaldehyde based products, fiberglass insulation and vermiculite insulation. The Inspector does not identify asbestos roofing, siding, wall, ceiling or floor finishes, insulation or fire proofing. We do not look for lead or other toxic metals in such things as pipes, paint or window coverings.

The Inspection does not deal with environmental hazards such as the past use of insecticides, fungicides, herbicide's or pesticides. The Inspector does not look for, or comment on, the past use of chemical termite treatments in or around the property.

4. We are not responsible for and do not comment on the quality of air in a building. The Inspector does not try to determine if there are irritants, pollutants, contaminants, or toxic materials in or around the building. The Inspection does not include spores, fungus, mold or mildew including that which may be concealed behind walls or under floors, for example. You should note that whenever there is water damage, there is a possibility that visible or concealed mold or mildew may be present unseen behind a wall, floor or ceiling.

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If anyone in the home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens.

5. Your Home Inspector does not look for, and is not responsible for, fuel oil, septic or gasoline tanks that may be buried on the property. If fuel oil or other storage tanks remain on the property, you may be responsible for their removal and the safe disposal of any contaminated soil. If you suspect there is a buried tank, we strongly recommend that you retain a qualified Environmental Consultant to determine whether this is a potential problem.

6. We will have no liability for any claim or complaint if conditions have been disturbed, altered, repaired, replaced, or otherwise changed before we have had a reasonable period of time to investigate.

7. The Client understands and agrees to be bound by each and every provision of this contract. The Client has the authority to bind any other family members or other interested parties to this Contract.

8. REPORT IS FOR OUR CLIENT ONLY. The inspection report is for the exclusive use of the client named herein. The client may provide the report to prospective buyers, at their own discretion. Potential buyers are required to obtain their own Onsite Review with The Inspection Professionals if they intend to rely on this report. The Inspection Professionals will not be responsible for the use of or reliance upon this Report by any third party without an Onsite Review and transfer of report to client after they have agreed to our inspection agreement.

9. The liability of the Home Inspector (and the Home Inspection Company) arising out of this Inspection and Report, for any cause of action whatsoever, whether in contract or in negligence, is limited to a refund of the fees that you have been charged for this inspection

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS