



YOUR INSPECTION REPORT

KNOW YOUR HOME

PREPARED BY:
ADAM HANNAN



FOR THE PROPERTY AT:

546 Beresford Avenue
Toronto, ON M6S 3C3

PREPARED FOR:
CELESTE PETRUSEVSKI

INSPECTION DATE:
Friday, March 23, 2018

TIP

THE
INSPECTION
PROFESSIONALS

THE INSPECTION PROFESSIONALS, INC.
3120 Rutherford Rd.
Concord, ON L4K 0B2

416-725-5568
HST# 89249 4501 RT0001

www.inspectionpros.ca
adam@inspectionpros.ca

TIP

THE
INSPECTION
PROFESSIONALS

March 23, 2018

Dear Celeste Petrusevski,

RE: Report No. 2247
546 Beresford Avenue
Toronto, ON
M6S 3C3

Thank you for choosing The Inspection Professionals to perform your Home Inspection.

The Inspection Professionals (TIP) is a Full-Time Professional, Certified multi-inspector company founded by Adam Hannan. Since 2006, Adam has performed thousands of residential and commercial inspections and has become a respected expert in his field. Adam has a passion for education and has been an inspection instructor teaching at Community Colleges and Universities since 2009.

Adam is a member of the Ontario Association of Home Inspectors and International Association of Certified Home Inspectors.

"We inspect every home as if we were buying it for ourselves. We care about our clients and we strive to exceed expectations. We offer a professional unbiased opinion of the current performance of the home regardless of who we are working for."

-Adam

BUYERS -

An Onsite Review is an essential component to a complete home inspection. In order to more thoroughly familiarize yourself with the property and our findings, please book an Onsite Review at your convenience by calling (416) 725-5568. Once we have completed the Onsite Review, we will transfer the inspection report to the buyer. The fee for this service is only \$249. (A minimum savings of \$175)

Sincerely,

ADAM HANNAN
on behalf of
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SUMMARY

546 Beresford Avenue, Toronto, ON March 23, 2018

Report No. 2247

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

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This Summary outlines some of the potentially short-term significant issues from a cost standpoint. This section is provided as a COURTESY ONLY and cannot be considered a substitute for reading the entire report. Please read the complete document.

It is not possible for a home inspector to predict the future. It would be advisable to annually budget between 0.5% to 1% of the value of the home for unforeseen repairs and maintenance. This would hold true for any house that you were considering.

Things will wear out, break down, and fail without warning. This is a fact of home ownership.

THIS SOLID MASONRY HOME ON STONE FOUNDATIONS IS IN GREAT CONDITION OVERALL THE INTERIOR OF THE HOME IS NEW. SOME MAINTENANCE WILL BE NEEDED AT EXTERIOR, AS IS TYPICAL FOR HOMES OF THIS AGE

NOTE: ALL ELECTRICAL ISSUES ARE CONSIDERED PRIORITY ITEMS

NOTE: FOR BALLPARK COSTS THE TERM 'MINOR' REFERS TO COSTS UNDER \$500

NOTE: FOR DIRECTIONAL PURPOSES USED THROUGHOUT THE REPORT, THE "FRONT" OF THE HOUSE IS REFERENCED AS FACING THE FRONT DOOR FROM THE EXTERIOR.

During a home inspection we inspect all visible systems and components. There are literally hundreds of potential minor issues found in every home, new and old. The focus of this inspection was not to list all the minor deficiencies. But rather, the focus of this inspection was to identify MAJOR issues with MAJOR systems and components. To simplify and give you a better understanding of what is considered a major issue, the inspection can generally be categorized as follows.

- 1)OBSERVABLE STRUCTURAL DEFECTS
- 2)OBSERVABLE WATER LEAKAGE/DAMAGE Roof, Plumbing, and basement moisture intrusion.
- 3)OBSERVABLE ELECTRICAL DEFECTS
- 4)LIFESPAN SYSTEMS- Roof Covering, Heating System, Cooling System, Windows

For Ballpark costs of various home components, please click here:

<http://www.inspectionlibrary.com/costs.htm>

Roofing

SLOPED ROOFING \ Asphalt shingles

Condition: • [Old, worn out](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Garage

Task: Replace

Time: Less than 2 years

Cost: \$1,500 - \$2,000

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Interior

EXHAUST FANS \ Duct

Condition: • [Not vented to exterior](#)

Implication(s): Chance of condensation damage to finishes and/or structure

Location: Attic

Task: Further evaluation / Remove

Time: As Soon As Possible

Cost: Depends on work needed

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

<http://www.inspectionlibrary.com/wtgw.htm>

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Descriptions

Sloped roofing material: • Newer, good condition

Sloped roofing material: • [Asphalt shingles](#)

Approximate age: • 1 year

Observations and Recommendations

SLOPED ROOFING \ Asphalt shingles

Condition: • [Old, worn out](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Garage

Task: Replace

Time: Less than 2 years

Cost: \$1,500 - \$2,000



1. Old, worn out

Inspection Methods and Limitations

Roof inspection limited/prevented by: • Lack of access (too high/steep)

Inspection performed: • Through Window - Limited View

Inspection performed: • With binoculars

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Gutter & downspout material: • [Aluminum](#)

Gutter & downspout discharge: • [Below grade](#) • [Above grade](#)

Lot slope: • [Away from building](#) • [Flat](#)

Wall surfaces and trim: • [Vinyl siding](#)

Wall surfaces - masonry: • [Brick](#)

Observations and Recommendations

ROOF DRAINAGE \ Gutters

Condition: • [Clogged](#)

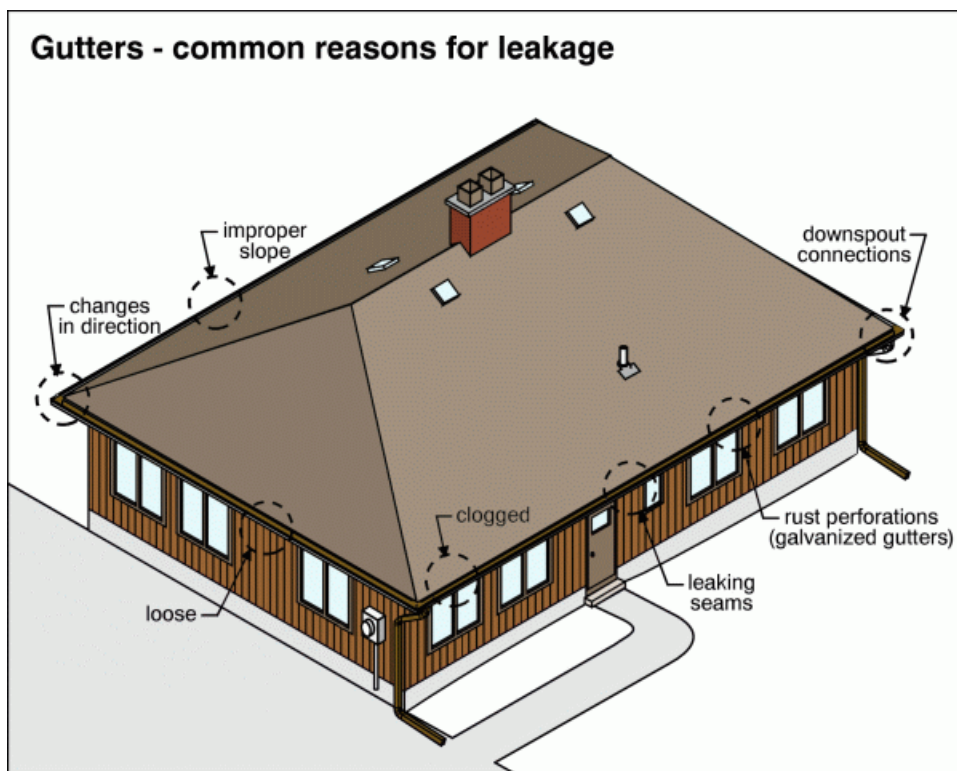
Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Exterior Garage

Task: Clean

Time: Less than 1 year

Cost: Regular maintenance item



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2. Clogged

ROOF DRAINAGE \ Downspouts

Condition: • [Should discharge 6 feet from building](#)

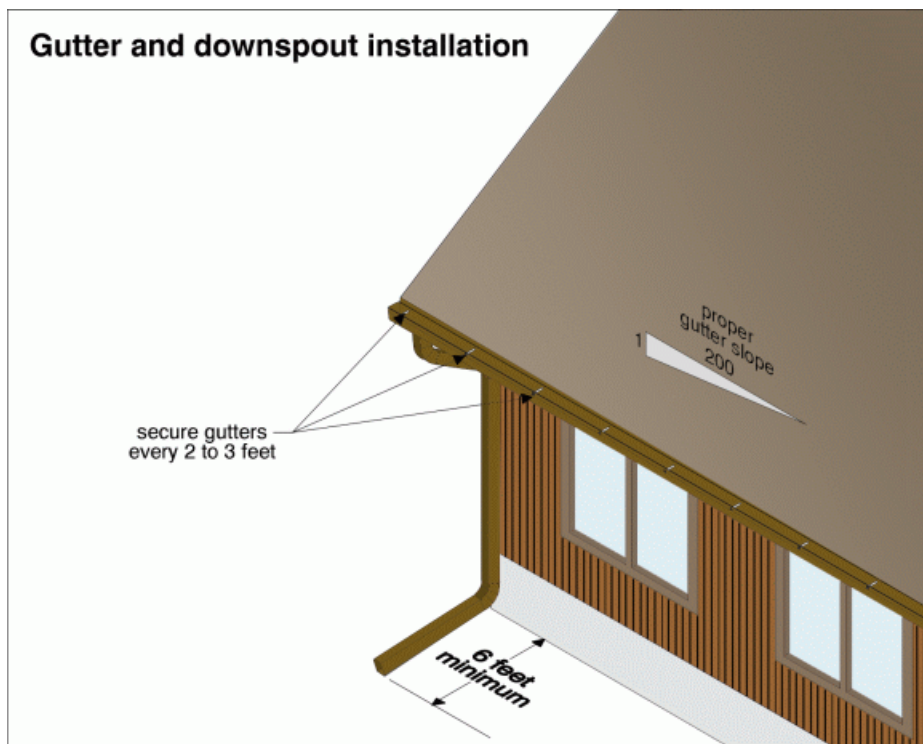
Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Exterior

Task: Improve

Time: Less than 1 year

Cost: Minor



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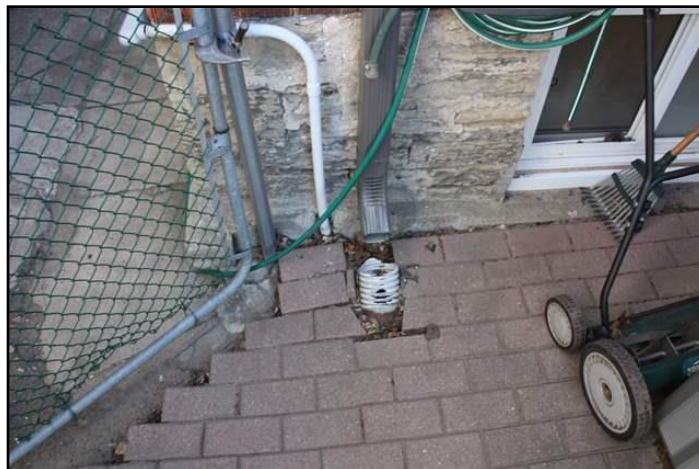
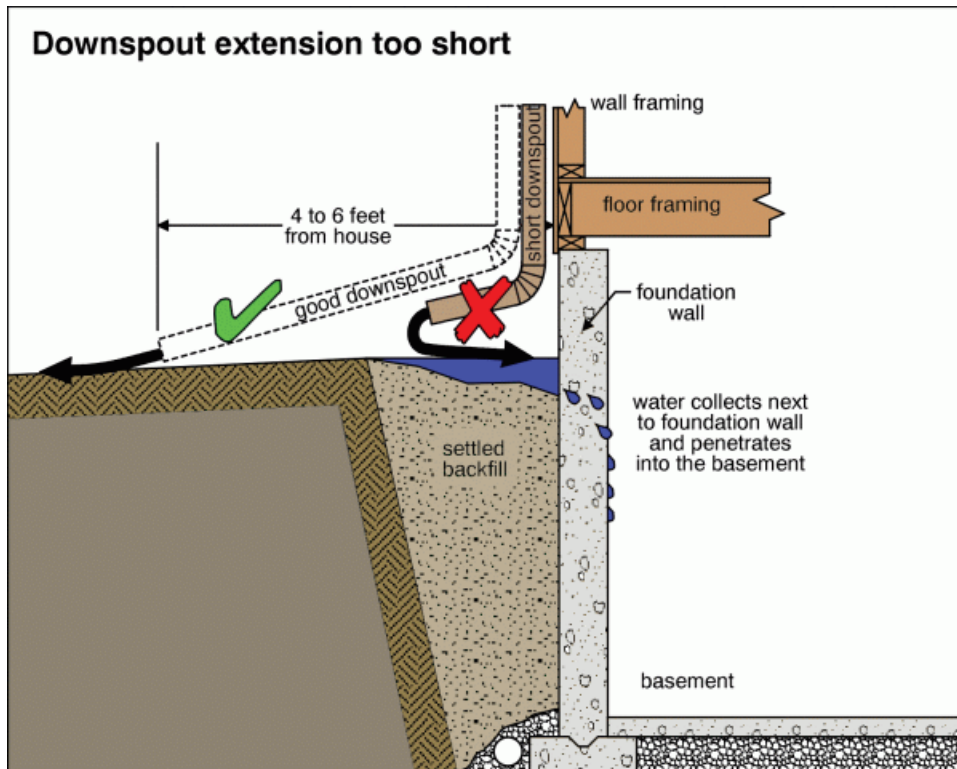
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3. Should discharge 6 feet from building

Condition: • [Too few](#)

Improvement recommendation. - requirement - good building practice. See illustration.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Exterior

Task: Provide additional downspout

Time: Discretionary

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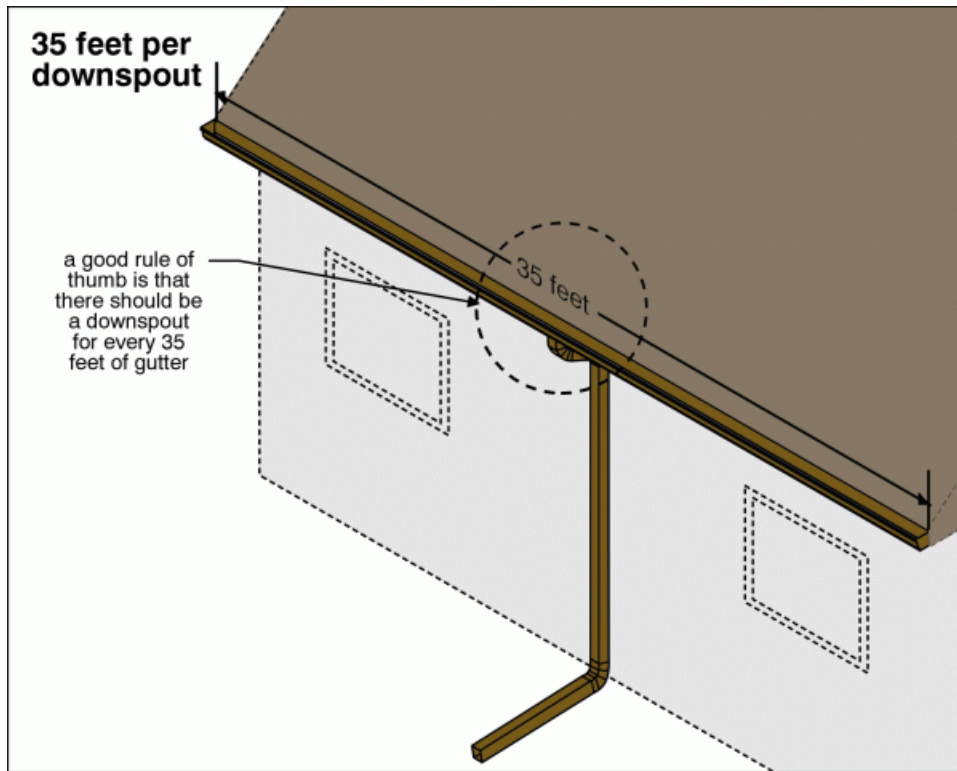
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WALLS \ Brick, stone and concrete

Condition: • Most masonry walls have small cracks due to shrinkage or minor settlement. These will not be individually noted in the report, unless leakage, building movement or similar problems are noted

Condition: • [Spalling](#)

Implication(s): Weakened structure | Chance of structural movement

Location: Various Exterior

Task: Repair

Time: Regular maintenance

Cost: Regular maintenance item

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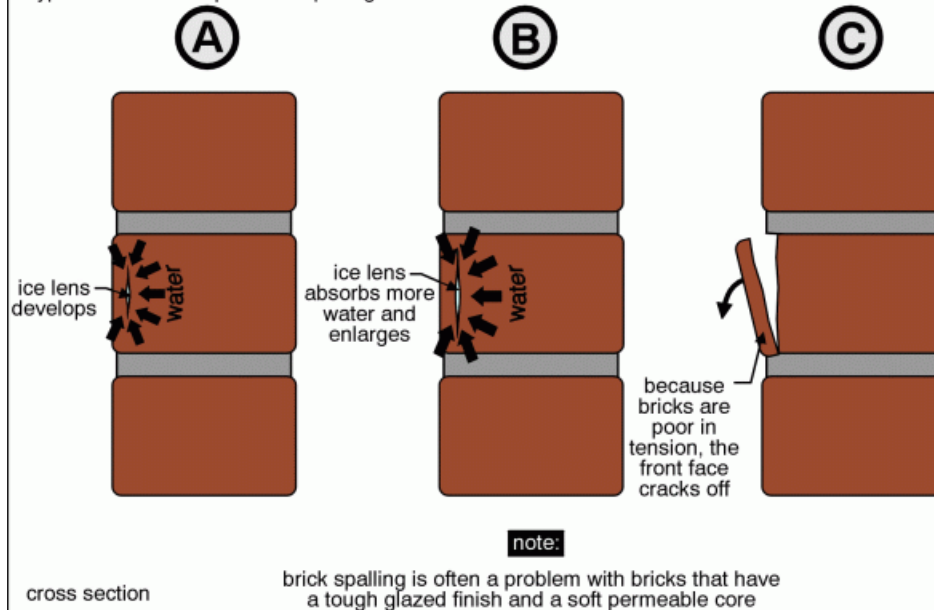
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PHOTOS

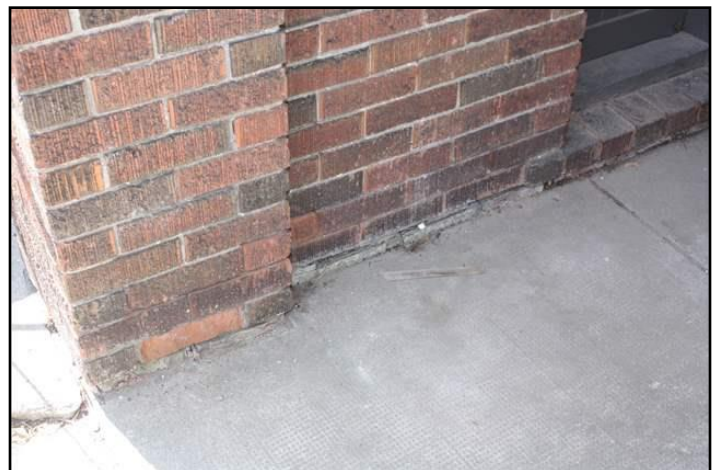
REFERENCE

Freezing water spalls bricks

freezing temperatures, saturated brick and a susceptible type of brick are required for spalling to occur



4. Spalling



5. Spalling

EXTERIOR GLASS/WINDOWS \ Window wells

Condition: • [Missing](#)

Sill - less than 15 cm / 6 inches above finished grade level. This is common in homes of this age.

Modern standards require a 6 to 8 inch threshold below basement windows (6 inches above finished grade level)

Window wells help manage the water in areas where windows are at or below grade. A properly installed window well will help prevent water entry / damage to windows and structure. THIS IS SOMETHING TO MONITOR FOR NOW, especially through the Spring rainy season. In the meantime, you may consider adding clear window covers to manage the water in this area.

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Front Exterior

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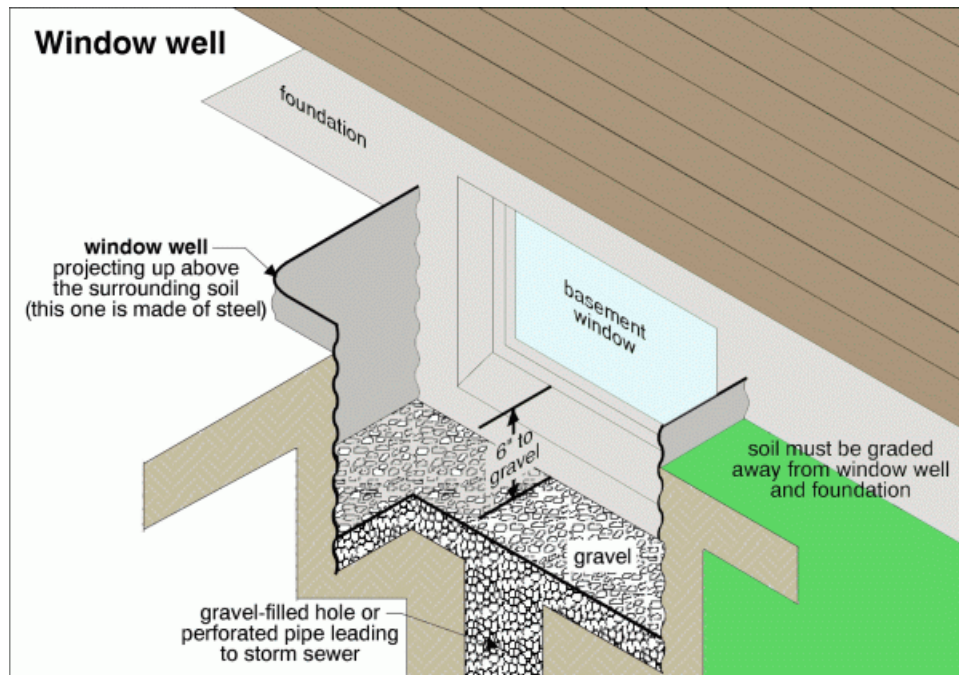
LINKS

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Task: Monitor / Improve

Time: Unknown



6. Missing

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

Condition: • [Loose](#)

Implication(s): Fall hazard

Location: Front Exterior Staircase

Task: Improve Right handrail

Time: Regular maintenance

Cost: Regular maintenance item

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LANDSCAPING \ Lot grading

Condition: • Low Areas.

Location: Rear Exterior

Task: Improve

Time: Regular maintenance / Ongoing

Recommended grading slopes



7. Example

Condition: • During rainfall, walk the exterior to view if any water is draining towards the home. Improve these areas as needed

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Inspection Methods and Limitations

Inspection limited/prevented by: • Car/storage in garage

Upper floors inspected from: • Ground level

Descriptions

Configuration: • [Basement](#)

Foundation material: • [Stone](#)

Floor construction: • [Joists](#)

Exterior wall construction: • [Masonry](#)

Roof and ceiling framing:

• Rafters/ceiling joists

• [Plywood sheathing](#)

ALL NEW COMPONENTS IN ATTIC



8.



9.



10.

Observations and Recommendations

FOUNDATIONS \ General

Condition: • [Typical minor settlement](#)

Location: Various

Task: Monitor

Time: Ongoing

WALLS \ Solid masonry walls

Condition: • [Cracked](#)

Settlement Cracks noted at wall. These are common above and below windows and doors, especially above arches in older homes. We cannot determine from a one time visit how long cracks have been present and if the movement is still active or stable. Our recommendation is to repair the cracks (Tuckpoint mortar and patch bricks) to prevent water entry and/or further damage. Note the date, and monitor for activity. Crack repairs / maintenance can be expected with most homes of this age.

Implication(s): Weakened structure

Location: Rear Exterior Wall

Task: Patch

Time: Regular maintenance

Cost: Regular maintenance item



11.



12.

Condition: • [Mortar deteriorating](#)

Repointing / Tuck-Pointing needed at various areas. This is common maintenance for homes of this age.

Implication(s): Weakened structure | Chance of structural movement

Location: Various Exterior Wall

Task: Improve

Time: Regular maintenance

Cost: Regular maintenance item

WALLS \ Arches

Condition: • [Cracked](#)

Very common to find cracks and settlements at arches above windows. Patch to prevent further damage and/or

movement

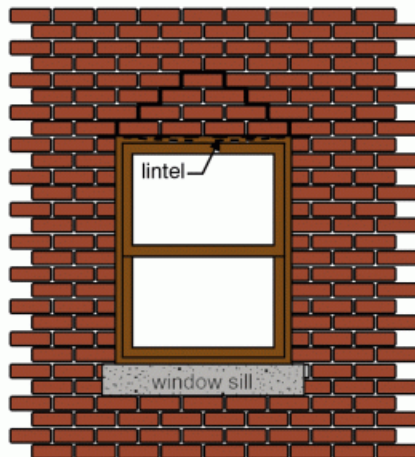
Implication(s): Weakened structure | Chance of structural movement

Location: Rear Exterior Wall

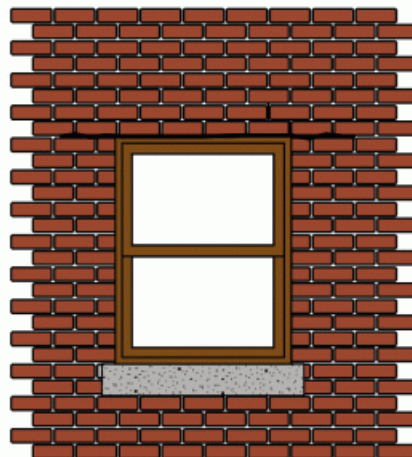
Task: Repair

Time: Regular maintenance

Lintel related wall cracks



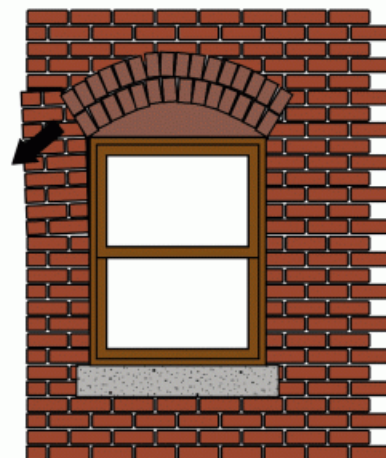
crack pattern commonly associated with sagging lintels due to undersizing or deterioration



horizontal crack is often caused by rusting steel lintels expanding



cracking caused by deterioration of wood lintel



cracking due to insufficient material beside arch to resist lateral thrust

STRUCTURE

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Inspection Methods and Limitations

Inspection limited/prevented by: • Ceiling, wall and floor coverings • Carpet/furnishings • Storage • New finishes/paint

Attic/roof space: • Inspected from access hatch

Percent of foundation not visible: • 99 %

Descriptions

General: • ALL ELECTRICAL CONDITIONS ARE CONSIDERED PRIORITY ITEMS

Service entrance cable and location: • [Overhead - cable type not determined](#)

Service size: • [100 Amps \(240 Volts\)](#)

Main disconnect/service box type and location: • [Breakers - basement](#)

Distribution panel type and location: • [Breakers - basement](#)

Distribution panel rating: • [125 Amps](#)

Distribution wire material and type: • [Copper - non-metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded - upgraded](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom and exterior](#) • [AFCI - panel](#)

Smoke detectors: • [Present](#)

Observations and Recommendations

SERVICE DROP AND SERVICE ENTRANCE \ Service mast and conductors

Condition: • Old Electrical service and conduit abandoned and no longer in use. At some point, should be removed.

Location: Exterior Wall

Task: Remove

Time: Less than 1 year

DISTRIBUTION SYSTEM \ Outdoor wiring

Condition: • Conduit disconnected

Location: Exterior Wall

Task: Improve

Time: Less than 1 year

Cost: Minor



13. Conduit disconnected

DISTRIBUTION SYSTEM \ Cover plates

Condition: • For switch is missing

Location: Basement Furnace Room

Task: Correct

Time: Immediate

Cost: Minor



14. For switch is missing

DISTRIBUTION SYSTEM \ Smoke detectors

Condition: • Smoke and carbon monoxide (CO) detectors should be provided at every floor level of every home. Smoke detectors should be close to sleeping areas, and carbon monoxide detectors should be in any room with a wood-burning stove or fireplace. These devices are not tested as part of a home inspection. Once you take possession of the home, detectors should be tested regularly, and replaced every 10 years. If unsure of the age of a smoke detector, it should be replaced. Smoke detector batteries should be replaced annually.

Inspection Methods and Limitations

System ground: • Quality of ground not determined

HEATING

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Descriptions

System type: • [Furnace](#)

Fuel/energy source: • [Gas](#)

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • Data plate not legible

Efficiency: • [High-efficiency](#)

Approximate age: • [2 years](#)

Typical life expectancy: • Furnace (high efficiency) 15 to 20 years

Fireplace/stove: • [Gas fireplace](#)

Observations and Recommendations

General

• Set up annual service plan which includes coverage for parts and labour.

Location: Basement Furnace Room

Task: Service annually

Time: Ongoing

Cost: Regular maintenance item

CHIMNEY AND VENT \ Masonry chimney

Condition: • Prior Repairs masonry chimney

Task: For Your Information



15.

HEATING

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Inspection Methods and Limitations

Safety devices: • Not tested as part of a building inspection

Heat loss calculations: • Not done as part of a building inspection

Heat exchanger: • Not visible

COOLING & HEAT PUMP

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Descriptions

Air conditioning type: • [Air cooled](#)

Cooling capacity: • [30,000 BTU/hr](#)

Compressor approximate age:

• 2 years



16. Data plate

Typical life expectancy: • 10 to 15 years

Inspection Methods and Limitations

Inspection limited/prevented by: • To reduce risk of damaging the compressor, air conditioning systems are not tested until they have been started up for the season.

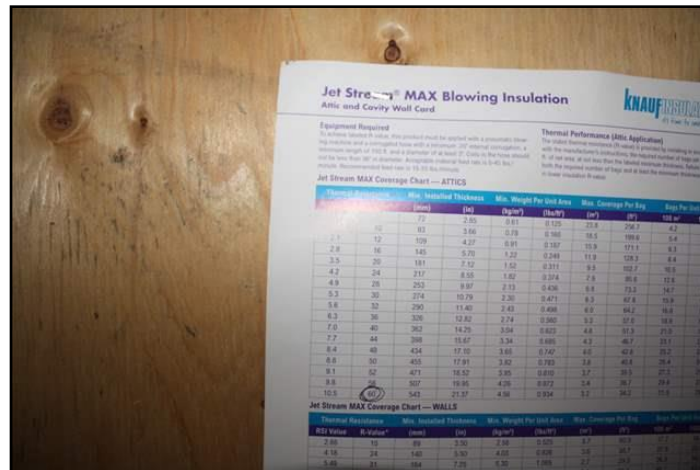
Inspection limited/prevented by: • Low outdoor temperature

Heat gain/loss calculations: • Not done as part of a building inspection

Descriptions

Attic/roof insulation material: • [Glass fiber](#)

Attic/roof insulation amount/value: • R-60. Above modern standards



17.

Attic/roof air/vapor barrier: • Spot Checked Only

Attic/roof air/vapor barrier: • [Plastic](#)

Attic/roof ventilation: • [Roof and soffit vents](#)

Inspection Methods and Limitations

Inspection prevented by no access to: • Walls, which were spot checked only

Attic inspection performed: • From access hatch

Roof ventilation system performance: • Not evaluated

Air/vapor barrier system: • Continuity not verified

Descriptions

Service piping into building: • [Copper](#)

Supply piping in building: • PEX (cross-linked Polyethylene)

Main water shut off valve at the: • Front of the basement

Water flow and pressure: • [Functional](#)

Water heater type: • [Induced draft](#)

Water heater fuel/energy source: • [Gas](#)

Tank capacity: • [40 gallons](#)

Water heater approximate age: • 2 years

Typical life expectancy: • 10 - 15 years

Waste and vent piping in building: • [Plastic](#)

Floor drain location: • Near heating system

Observations and Recommendations

WATER HEATER - GAS BURNER AND VENTING \ Venting system

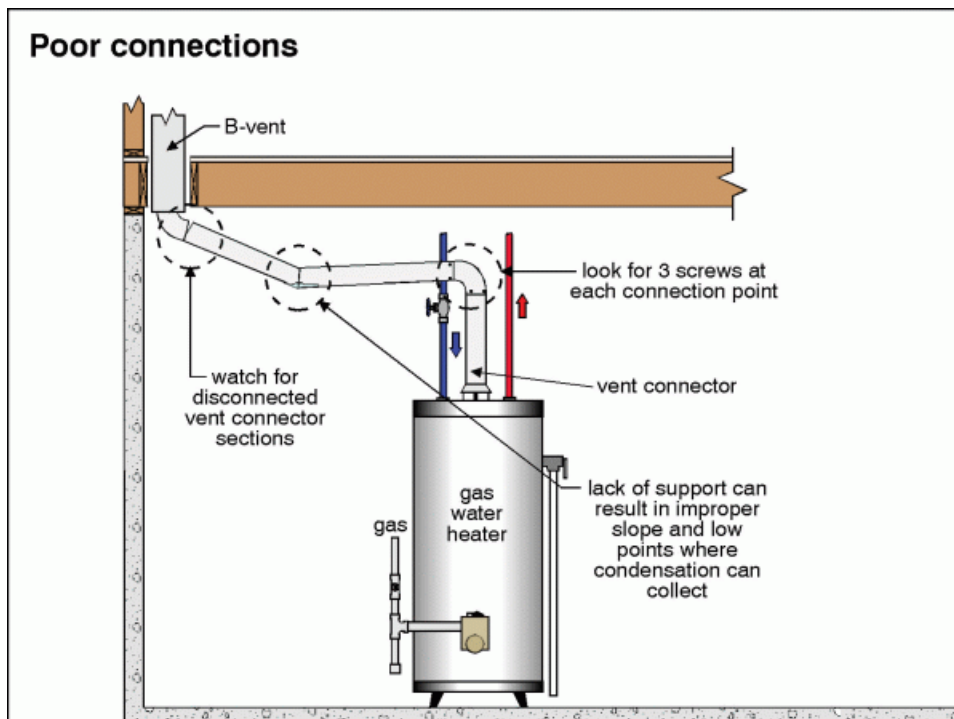
Condition: • [Poor slope](#)

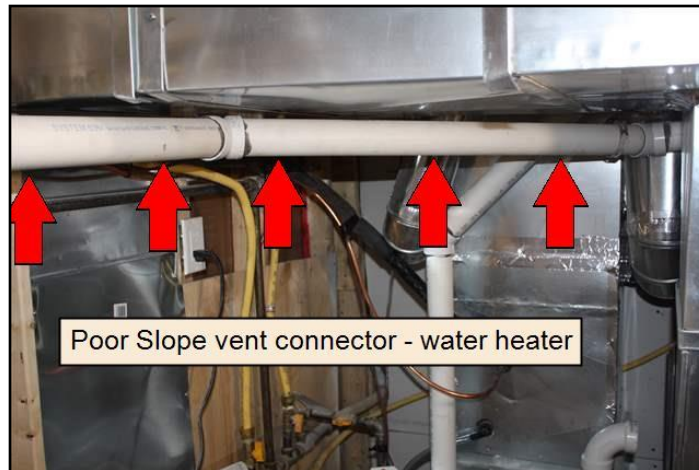
Implication(s): Equipment not operating properly | Hazardous combustion products entering home

Location: Basement Furnace Room

Task: Further evaluation / Correct

Time: As Soon As Possible





18. Poor slope

WASTE PLUMBING \ Drain piping - performance

Condition: • A videoscan of the waste plumbing is recommended to determine whether there are tree roots or other obstructions, and to look for damaged or collapsed pipe. This is common on older properties, especially where there are mature trees nearby. This is a great precautionary measure, although many homeowners wait until there are problems with the drains. The cost may be roughly \$200 to \$400.

We make this recommendation on all homes built prior to 1970

FIXTURES AND FAUCETS \ Bathtub

Condition: • [Caulking loose, missing or deteriorated](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Bathroom

Task: Provide Grout or Caulking

Time: Regular maintenance

Cost: Regular maintenance item



19. Caulking loose, missing or deteriorated

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Inspection Methods and Limitations

Items excluded from a building inspection: • Tub and basin overflows are not tested as part of a home inspection. Leakage at the overflows is a common problem.

Items excluded from a building inspection: • Well • Water quality • Septic system • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Pool • Spa

Descriptions

Major floor finishes: • [Carpet](#) • [Laminate](#)

Major wall and ceiling finishes: • [Plaster/drywall](#)

Windows: • [Fixed](#) • [Casement](#) • [Awning](#)

Glazing: • [Double](#)

Exterior doors - type/material: • Hinged

Observations and Recommendations

General

• Due to a house fire approximately one year prior, the interior of the home and attic have been completely renovated. The systems are new - Interior finishes, Electrical, Plumbing, Furnace, Air Conditioning, and Attic components. Homeowner has documentation if needed.

Task: Request Documentation from homeowner

Time: As Required.

WINDOWS \ Hardware

Condition: • [Inoperative](#)

Does not fully close

Implication(s): System inoperative or difficult to operate

Location: Second Floor Bedroom

Task: Repair

Time: Less than 1 year



20. Does not fully close

DOORS \ Doors and frames

Condition: • [Loose or poor fit](#)

Implication(s): Chance of damage to finishes and structure

Location: Second Floor Master Bathroom

Task: Improve

Time: Regular maintenance

Cost: Regular maintenance item



21. Door rubs top of frame

EXHAUST FANS \ Duct

Condition: • [Not vented to exterior](#)

Implication(s): Chance of condensation damage to finishes and/or structure

Location: Attic

Task: Further evaluation / Remove

Time: As Soon As Possible

Cost: Depends on work needed



22. Not vented to exterior

BASEMENT \ Leakage

Condition: • ***FOR FUTURE REFERENCE*** Basement Leakage 4-step method.

Almost every basement (and crawlspace) leaks under the right conditions. Based on a one-time visit, it's impossible to know how often or severe leaks may be. While we look for evidence of past leakage during our inspection, this is often not a good indicator of current conditions. Exterior conditions such as poorly performing gutters and downspouts, and ground sloping down toward the house often cause basement leakage problems. To summarize, wet

basement issues can be addressed in 4 steps: 1. First, ensure gutters and downspouts carry roof run-off away from the home. (relatively low cost) 2. If problems persist, slope the ground (including walks, patios and driveways) to direct water away from the home. (Low cost if done by homeowner. Higher cost if done by contractor or if driveways, patios and expensive landscaping are disturbed.) 3. If the problem is not resolved and the foundation is poured concrete, seal any leaking cracks and form-tie holes from the inside. (A typical cost is \$300 to \$600 per crack or hole.) 4. As a last resort, dampproof the exterior of the foundation, provide a drainage membrane and add/repair perimeter drainage tile. (High cost)

BASEMENT \ Wet basements - vulnerability

Condition: • Typical of many homes with stone, brick, or block foundations, some moisture can be expected from time to time and is not unusual. Exterior grading and water management improvements are generally effective at reducing basement moisture. A dehumidifier can also be used to keep humidity levels down.

Inspection Methods and Limitations

Inspection limited/prevented by: • Storage/furnishings • New finishes/paint • Storage in closets and cabinets / cupboards

Not included as part of a building inspection: • Carbon monoxide detectors, security systems, central vacuum • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any

Cosmetics: • No comment offered on cosmetic finishes

Appliances: • Appliances are not inspected as part of a building inspection • Appliances are not moved during an inspection

Percent of foundation not visible: • 99 %

Basement leakage: • Cannot predict how often or how badly basement will leak • Storage in basement limited inspection

LINKS

546 Beresford Avenue, Toronto, ON March 23, 2018

Report No. 2247

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

PHOTOS

REFERENCE

Descriptions

General: • [The Inspection Professionals Website](#)

General: • [Low concentrations of CO can go undetected and can contribute to ongoing, unidentified illnesses. At high concentrations, it can be deadly.](#)

General: • [Serious structural problems in houses are not very common, but when they occur they are never cheap to fix.](#) Some cant be fixed at all. This report wont turn you into a home inspector, but it will give you some of the common indicators.

General: • [There are so many home maintenance and repair items that are important; it can be confusing trying to establish which are the most critical.](#)

General: • [\(Life Cycles and Costs\)](#)

General: • [This report will deal with the simpler topic of home repair--basically replacing things that are worn out or fixing things that are broken.](#)

General: • [Common Building Technical Terms Explained](#)

PHOTOS

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Descriptions

General: • pictures taken during inspection

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS