



Your Inspection Report

Ontario
Sarnia, ON



PREPARED FOR:
BLUEWATER HOME INSPECTION

INSPECTION DATE:
Monday, August 13, 2018

PREPARED BY:
George Leenhouts



BLUEWATER PROPERTY CONSULTANTS Inc.
546 North Christina Street, Suite 405
Sarnia, ON N7T 5W6

519-383-1083
Fax: 519-383-0526

www.bluewaterproperty.ca
cahpi1@yahoo.ca



September 16, 2018

Dear Bluewater Home Inspection,

RE: Report No. 1920, v.4
Ontario
Sarnia, ON

Thanks very much for choosing Bluewater Property Consultants to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our Provincial and National Association. This document, which is included at the end of the report for your perusal, defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Sincerely,

George Leenhouts
on behalf of
BLUEWATER PROPERTY CONSULTANTS Inc.

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Summary

Most of the inspected components appear to be in adequate condition, with some minor exceptions. Comparing this house to other houses of this age and type that we have recently inspected, the condition of visible, inspected components appears to be more or less typical.

As is common in any house this age, some components have been replaced and are relatively young. Others could be at or near replacement age. The number and type of repairs and concerns listed in the report is typical for houses this age.

Bear in mind that all homes need repairs of one type or another, even if only minor. Generally, older homes need more repairs. This varies depending on maintenance and upgrading performed over the years.

Some of the reported repairs are of the type that you might be inclined to live with under ordinary circumstances. Buyers and sellers of homes often have different perspectives on this issue.

A few minor repairs and/or adjustments are needed as mentioned in the report. Not all the repairs are urgent, and some of the items you would probably ignore if you were already living in the house.

While we make an effort to identify existing or potential problems, it is not possible for a home inspector to predict the future. It would be advisable to budget perhaps \$ 3,000. to \$ 4,500. a year for unforeseen repairs and maintenance. This would hold true for any house you were considering. (Things will wear out, break down, and fail without warning. This is a fact of home ownership) Please feel free to call at any time if you have any questions. Our goal is to identify potentially significant expenses that would affect a typical purchaser's buying decision. We strive to add significantly to your knowledge of the building, within the scope of the inspection. We will not tell you everything about your property, but our report will put you in a much better position to make your decision. It should be understood that we can only reduce the risk of purchasing; Nobody, including us, can eliminate this risk, nor do we assume it.

The most important concerns include:

- Electrical safety repairs and upgrades. These could be minor in cost, but major in importance.
- Investigate the origin of the feces in the attic, remove and seal possible entry points.
- Correct the moisture intrusion into the basement space, improve the exterior grading and extend the downspouts away from the foundation. This may be considered a major cost or repair.
- Secure the loose hydro mast at the east exterior wall.

Other minor repairs and/or adjustments are needed as mentioned in the report. Not all repairs are urgent, and some of the items you would probably ignore if you were already living in the house.

Possible, future repairs over the next few years include:

Maintenance and Minor Repairs:

- Repair any damaged parging on the interior basement bench footings.
- Repair the upper west exterior damaged stucco.
- Repair (seal) the openings at the chimney top and base in the basement.
- Remove the satellite dish from the chimney.
- Seal the opening at the west foundation wall.
- Repair/replace the moisture-damaged wood at the rear deck.
- Place the A/C condenser fan away from the foundation prior to connecting the compressor to the A/C System.
- Inspect the sloped and flat roof on an annual basis in case repairs or maintenance is required.
- Replace the west garage roof.
- Clean and annually service the furnace by a qualified technician.
- Provide a PVC elbow on the furnace air intake.
- Regrade the east gravel driveway.
- Secure the wood column in the east basement.
- Correct the shower head spray in the upper bathroom.
- Replace the laundry tub.
- Provide an effective exhaust system for the kitchen gas stove.
- Provide a cover for the sump pump.
- Secure the loose ABS waste pipe in the northeast basement.
- Complete the unfinished duct work in the north basement.
- Monitor the insect-damaged wood beam in the northeast basement.
- Provide a discharge tube for the water heater.

- Provide bonding or grounding for the gas piping if necessary.
- Repair or replace the tripping hazards at the various walkways.
- Extend the downspouts away from the foundation.
- Secure the loose upper floor guard rail.
- Provide a hand rail to the basement stairs.
- Repair the upper windows which are painted shut.
- Repair the loose/damaged fascia, wood trim and soffit at the west garage.
- It is a possibility, not a certainty that these components will need repairs or replacement.

Regular maintenance is needed on the entire house, but there are always some places in every house which need specific attention:

- Eavetroughs (gutters) must be kept clean and functioning.
- The bottom tracks of the horizontal sliding windows and doors should be kept clean and lubricated.
- Exterior wood window and door trims need to be sanded, primed, painted, glazing putty replaced and caulked as required.

[Priority Maintenance Items](#)

Roofing

General

- Roofing repairs should be completed by a qualified and competent roofing contractor.

SLOPED ROOFING \ Asphalt shingles

Condition: • Inspect annually

Implication(s): Chance of moisture intrusion, interior damage.

Location: Sloped and flat roof

Task: Inspect annually

Time: Regular maintenance

Condition: • [Near end of life expectancy](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: East Garage

Task: Replace

Time: Unpredictable

Exterior

General

• Minor adjustment is needed every few years to the grading of the soil around the house to direct the flow of water away from the house. Proper grading of soil near the house is important to prevent water from accumulating near the foundation. In many instances, this has the potential to cause soil swelling and shrinking which can cause cracking in the exterior walls.

A typical 2,000 square foot roof can produce almost 1,250 gallons of water during just one inch of rainfall. If the rainfall is steady and prolonged, the opportunity for the roof water runoff to soak into the ground next to the foundation wall is significantly increased.

We recommend providing top soil (prior to the A/C condenser fan installation) sloped to direct water away from the foundation. Extending the downspouts a minimum of 6 feet away from the foundation may help to minimize water entering the basement.

Implication(s): Water entering the basement.

Location: East Yard

Task: Improve

Time: Unpredictable

ROOF DRAINAGE \ Gutters

Condition: • [Missing](#)

We suggest providing gutters and downspouts to direct roof water away from the foundation.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: East Garage

Task: Provide

Time: Discretionary

ROOF DRAINAGE \ Downspouts

Condition: • [Should discharge 6 feet from building](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout Exterior

Task: Improve

Time: Unpredictable

WALLS \ Soffits and fascia

Condition: • [Loose or missing pieces](#)

We suggest replacing the damaged and loose fascia and soffits. Priming and painting the wood trim with exterior-grade paints and possibly cladding with aluminum may be completed.

Implication(s): Chance of water damage to contents, finishes and/or structure | Chance of pests entering building

Location: East Garage

Task: Repair

Time: Regular maintenance

EXTERIOR GLASS/WINDOWS \ Exterior trim

Condition: • [Paint or stain needed](#)

We recommend priming and painting the wood-framed window to extend its' service life. Removal of the old, loose paint should be completed first and exterior-grade primer and painting applied per the manufacturers' instructions.

Moisture-damaged wood may be repaired using epoxy or wood stabilizers prior to priming and painting.

Replacement of the exterior caulking and glazing putty is also suggested.

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Throughout Basement

Task: Service

Time: Regular maintenance

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Floors

Condition: • [Rot or insect damage](#)

Implication(s): Weakened structure | Chance of movement | Material deterioration

Location: West Deck

Task: Replace

Time: Regular maintenance

LANDSCAPING \ Walkway

Condition: • [Uneven \(trip hazard\)](#)

We suggest monitoring the condition in case additional settling is observed in the future and either raising or "jacking" the concrete rather than replacing the concrete.

Implication(s): Physical injury

Location: Northeast Yard

Task: Repair or replace

Time: Unpredictable

Condition: • [Uneven \(trip hazard\)](#)

We suggest leveling the uneven flag stones.

Implication(s): Physical injury

Location: Front Yard

Task: Repair

Time: Unpredictable

Structure

FOUNDATIONS \ General

Condition: • Unsealed openings

We suggest sealing the exterior wall with "Wraptite" putty-like exterior sealant.

Implication(s): Chance of entry by vermin, interior damage.

Location: East Basement

Task: Correct

Time: Regular maintenance

FLOORS \ Columns or piers

Condition: • [Poorly secured at top or bottom](#)

We recommend a qualified and competent framer or carpenter complete any necessary repairs.

Implication(s): Weakened structure | Chance of structural movement

Location: East Basement

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Task: Improve**Time:** Unpredictable**FLOORS \ Beams****Condition:** • [Rot, insect or fire damage](#)

We recommend a qualified and licensed carpenter to complete any necessary repairs.

Implication(s): Weakened structure | Chance of structural movement**Location:** East Basement**Task:** Monitor**Time:** Unpredictable**Electrical****General**

• All electrical work including repairs, renovations, upgrades, etc. should be completed by a qualified electrician licensed to practice in Ontario.

• GFCI protection

Implication(s): Shock hazard.**Location:** First Floor Bathroom**Task:** Upgrade**Time:** Discretionary

• GFCI protection

Implication(s): Shock hazard.**Location:** Kitchen**Task:** Upgrade**Time:** Discretionary**SERVICE DROP AND SERVICE ENTRANCE \ Service drop****Condition:** • The service mast is not well secured to the exterior wall. We recommend properly securing the mast.**Implication(s):** Loss of hydro, chance of fire hazard.**Location:** East Exterior Wall**Task:** Repair**Time:** Unpredictable**SERVICE BOX, GROUNDING AND PANEL \ System grounding****Condition:** • [Wire attached to abandoned pipe](#)**Implication(s):** Electric shock**Location:** Northeast Basement**Task:** Further evaluation**Time:** Unknown**SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers****Condition:** • A double breaker was taped. The reason and condition is unknown**Implication(s):** Unknown.

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Location: West Basement**Task:** Further evaluation**Time:** Unknown**SERVICE BOX, GROUNDING AND PANEL \ Panel wires****Condition:** • [Double taps](#)**Implication(s):** Fire hazard**Location:** West Basement**Task:** Repair**Time:** Unpredictable**Condition:** • [Double taps](#)**Implication(s):** Fire hazard**Location:** West Garage**Task:** Repair**Time:** Unpredictable**DISTRIBUTION SYSTEM \ Wiring - installation****Condition:** • [Not well secured](#)**Implication(s):** Electric shock | Fire hazard**Location:** Throughout Basement**Task:** Correct**Time:** Unpredictable**Condition:** • [Wrong type](#)

Adjacent to the kitchen sink drain.

Implication(s): Electric shock | Fire hazard**Location:** Kitchen**Task:** Replace**Time:** If necessary**DISTRIBUTION SYSTEM \ Wiring - damaged or exposed****Condition:** • [Exposed on walls or ceilings](#)**Implication(s):** Electric shock**Location:** Throughout Basement**Task:** Correct**Time:** Unpredictable**DISTRIBUTION SYSTEM \ Junction boxes****Condition:** • [Missing, loose](#)**Implication(s):** Electric shock | Fire hazard**Location:** Center Basement**Task:** Repair**Time:** Unpredictable

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DISTRIBUTION SYSTEM \ Outlets (receptacles)**Condition:** • Missing cover plate.**Location:** East Second Floor Bedroom**Task:** Replace**Time:** Unpredictable**Condition:** • Missing cover plate.**Location:** Center Basement**Task:** Replace**Time:** Unpredictable**Condition:** • [Open neutral](#)**Implication(s):** Electric shock**Location:** First Floor (west) Hall**Task:** Repair**Time:** Unpredictable**Condition:** • [Loose](#)**Implication(s):** Electric shock | Fire hazard**Location:** Basement**Task:** Repair**Time:** Unpredictable**DISTRIBUTION SYSTEM \ Lights****Condition:** • [Loose](#)**Implication(s):** Electric shock | Fire hazard**Location:** Second Floor Hallway**Task:** Repair**Time:** Regular maintenance**Condition:** • [Missing](#)**Implication(s):** Inadequate lighting**Location:** West Exterior Wall**Task:** Replace**Time:** Regular maintenance**DISTRIBUTION SYSTEM \ Smoke detectors**

Condition: • Smoke and Carbon Monoxide (CO) Detectors Smoke and carbon monoxide detectors should be provided at every floor level of every home, including basements and crawl spaces. (Even if they are present during the inspection, we recommend replacing detectors.) Smoke detectors should be close to sleeping areas, and carbon monoxide detectors should be in any room with a wood-burning stove or fireplace. These devices are not tested as part of a home inspection. Once you take possession of the home, detectors should be tested regularly, and replaced every 10 years. If unsure of the age of a smoke detector, it should be replaced. Smoke detector batteries should be replaced annually.

Implication(s): Life Safety Issue**Location:** Throughout interior**Task:** Provide and/or replace.

Time: Unpredictable

Heating

RECOMMENDATIONS \ Overview

Condition: • PLEASE NOTE: Our summary of the heating appliances and related components is strictly visual. We do not dismantle parts of these units because that should only be done by licensed HVAC technicians. If a furnace has a serious deficiency such as a cracked heat exchanger, we might or we might not see it because these parts are not usually readily visible. Our job is to verify that the heating units (furnaces, boilers, heat pumps, etc.) are performing their intended function. Beyond that, we advise you to have these appliances checked by a licensed HVAC technician prior to closing the house deal. We also recommend that any furnace older than fifteen years should have a thorough examination by a licensed HVAC before closing and each year thereafter.

Implication(s): Non-functioning furnace.

Location: Furnace

Task: Service annually

Time: Regular maintenance

GAS FURNACE \ Combustion air

Condition: • We recommend providing a PVC elbow to the furnace air intake.

Implication(s): Chance of entry by vermin or debris, non-functioning furnace.

Location: East Exterior Wall

Task: Provide

Time: Regular maintenance

GAS FURNACE \ Ducts, registers and grilles

Condition: • [Disconnected ducts](#)

Implication(s): Increased heating costs | Reduced comfort

Location: North Basement

Task: Correct

Time: If necessary

Condition: • [Poor location](#)

We suggest capping or removing the return air vent as the upper floors may be "short-circuited" by reduced heat exchange or cooling.

Implication(s): Increased heating costs | Reduced comfort

Location: Basement

Task: Correct

Time: If necessary

CHIMNEY AND VENT \ Masonry chimney

Condition: • The flue which is open at the top of the chimney is also open in the basement and should be sealed to prevent entry by vermin or water.

Implication(s): Seal opening with metal.

Location: Basement

Task: Improve

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Time: Unpredictable**Condition:** • We recommend removing the satellite dishes from the chimney.**Implication(s):** Damaged masonry.**Location:** Chimney**Task:** Remove**Time:** Unpredictable**CHIMNEY AND VENT \ Metal cap****Condition:** • The top of the chimney was not sealed which may allow vermin or moisture entering the chimney and causing interior damage. We recommend either a qualified and licensed mason or other related specialist complete any necessary repairs.**Implication(s):** Chance of interior damage.**Location:** Chimney top**Task:** Correct**Time:** Unpredictable

Cooling & Heat Pump

AIR CONDITIONING \ Compressor**Condition:** • The current location of the condenser fan is considered too close to the exterior wall and should be located farther for proper airflow and cleaning of the fins.**Implication(s):** Reduced system efficiency, cleaning of fins not possible.**Location:** East Exterior**Task:** Correct**Time:** Unpredictable

Plumbing

RECOMMENDATIONS \ Overview**Condition:** • Plumbing repairs and maintenance should be completed by qualified and insured plumbers.**WATER HEATER \ Temperature/pressure relief valve****Condition:** • [Discharge tube missing](#)**Implication(s):** Scalding**Location:** Basement**Task:** Provide**Time:** Unpredictable**WASTE PLUMBING \ Drain piping - installation****Condition:** • [Poor support](#)**Implication(s):** Chance of water damage to contents, finishes and/or structure | Sewage entering the building**Location:** Northeast Basement**Task:** Improve**Time:** Unpredictable

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WASTE PLUMBING \ Sump pump**Condition:** • [Lid missing, rotted or not secure](#)

We recommend providing a cover to help prevent debris from falling into the pit and preventing the pump from operating and allowing water spill into the basement.

Implication(s): Trip or fall hazard**Location:** Northeast Basement Laundry Area**Task:** Provide**Time:** Unpredictable**FIXTURES AND FAUCETS \ Basin, sink and laundry tub****Condition:** • The laundry tub appeared to be damaged and may require replacement.**Implication(s):** Inoperable or leaking.**Location:** Basement Laundry Area**Task:** Replace**Time:** If necessary**FIXTURES AND FAUCETS \ Shower stall****Condition:** • The showerhead sprays water onto the wood window sill and wall and may eventually damage the surfaces.**Implication(s):** Chance of spore growth (mould) or damaged window trim or frame.**Location:** Second Floor Bathroom**Task:** Correct**Time:** Unpredictable**Interior****General**

- We operate a random number of doors and windows.

It is important to understand that the seals in thermal pane windows can be bad without having a visible amount of condensation built up internally. In some instances we might not be able to disclose this condition, particularly if the windows are dirty. Thermal expansion and contraction of the home due to temperature changes can cause the seals to go bad at any time. Replacement from time to time should be expected. Fogged panels do no structural harm; however, they are not functioning as intended. If you want to see through the panels, and if you want the higher insulation value of double-pane glass, the fogged panels should be replaced. Fogged window panels are a very common problem with double-glazed windows. The windows fog when the seal breaks between the two panes of glass. This can happen instantaneously, without warning. Although we make an effort to locate and note fogged panels, fogging often is not clearly visible under some lighting conditions.

Track cleaning and hardware lubrication, annually.

RECOMMENDATIONS \ Overview

Condition: • Minor cracks are found on interior surfaces in all buildings and are typically cosmetic in nature. This type of cracking is usually caused by settlement and/or shrinkage of building components. Small cracks of this type are not mentioned in the report. The condition of floors underneath carpet and other coverings cannot be determined and is excluded from the inspection and report.

Condition: • A FEW WORDS ABOUT ENVIRONMENTAL RISKS: BLUEWATER PROPERTY CONSULTANTS will employ a certified subcontractor to perform Radon screenings (for an extra charge) at the customer's request.

If there is good reason to suspect that a furnace might produce Carbon Monoxide in the house, we recommend further investigation by a qualified technician. We strongly recommend that you purchase and install one or more carbon monoxide detectors, so carbon monoxide can be continuously monitored.

Some of our clients are concerned about the presence of Urea Formaldehyde Foam and spores (moulds, fungi) in their new houses. At their request and expense, we will investigate, and arrange professional analysis if any suspicious samples are uncovered.

Other than the above tests, no screening for toxins, spores (moulds, bacteria and fungi), carcinogens, or other health hazards (chemical pollutants such as gases, vapours and particles such as ozone, volatile organic compounds, lead, nitrogen dioxide and radiological substances such as radon) are offered, and none is conducted during the inspection. We may comment on the visible existence of stained or moisture-damaged surfaces. Laboratory analysis of samples of the stained or moisture-damaged materials is the sole method of verification of any suspect spores, stained or damaged materials.

The following information might help to put this all in perspective:

Many, but not all, pre-1980 houses have lead-based paint on interior and exterior surfaces. Lead-laced dust is sometimes created in renovation or repainting projects. It is also possible that some lead dust could be created by moving parts such as windows sashes.

Lead might also be present in tap water, particularly in houses built before 1960. Consult your local water utility or a private lab regarding a lead test for tap water. Breathing or ingesting lead can lead to lead poisoning. Children are particularly subject to lead poisoning, and if pregnant women inhale or ingest lead, their fetus could be harmed. Risks of lead poisoning in houses is a subject of significant social, political, and medical debate. Some people are inordinately alarmed; others are unnecessarily cavalier. Common sense dictates that pregnant women stay away from lead dust, and that children should have their blood lead levels tested. This is an inexpensive test.....consult your physician.

Many, but not all, pre-1980 houses contain Asbestos. We do not perform any tests or screenings to confirm or rule out the presence of asbestos. Many older building products, including, but not limited to insulation, flooring products, patching plaster, window putty, roofing products, exterior siding and interior fiberboard finishes contained asbestos. If you suspect the presence of asbestos in any material, do not disturb the material. Consult with an environmental engineer or asbestos remediation contractor to confirm or rule out the presence of asbestos, and for advice on how best to deal with any asbestos which might be present.

Notwithstanding the above, please bear in mind that everyday activities, such as driving a car, generally pose much more risk to health and life than things such as lead or asbestos.

Unknown feces was present in the south knee wall space. We recommend a specialist (Possibly Orkin or other professional pest control company) review the condition, remove the feces and seal all possible entry points for the vermin to enter the interior space.

Implication(s): Possible health issue.

Location: Front Knee wall

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REFERENCE**Task:** Further evaluation**Time:** Unknown**Condition:** • No interior recommendations are offered as a result of this inspection.**WINDOWS \ General****Condition:** • Painted shut

The wood-framed windows were painted shut. We suggest servicing the windows to again operate as intended.

Implication(s): Nuisance | Equipment inoperative**Location:** East & West Second Floor Bedroom**Task:** Correct**Time:** Regular maintenance**DOORS \ Doors and frames****Condition:** • [Damage](#)

The door did not functional well and appeared to have been repaired in the past.

Implication(s): Material deterioration | Increased heating and cooling costs | Reduced comfort**Location:** East Garage (east wall)**Task:** Repair or replace**Time:** Regular maintenance**STAIRS \ Handrails and guards****Condition:** • [Missing](#)**Implication(s):** Fall hazard**Location:** Basement**Task:** Provide**Time:** Unpredictable**STAIRS \ Guardrails****Condition:** • [Loose](#)

We recommend a qualified and competent trim carpenter or building specialist complete the repairs.

Implication(s): Fall hazard**Location:** Second Floor**Task:** Repair**Time:** Unpredictable**EXHAUST FANS \ Kitchen range exhaust system****Condition:** • We recommend providing and exhaust system which expels the air from the kitchen directly outdoors due to the presence of the gas stove.**Implication(s):** CO2 gases remaining in the home.**Location:** Kitchen**Task:** Improve**Time:** Unpredictable**APPLIANCES \ Dryer****Condition:** • Damage

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We suggest replacing the vent to help prevent entry by debris or vermin and chance of interior damage or non-functioning dryer.

Implication(s): Reduced operability

Location: East Exterior Wall

Task: Replace

Time: Regular maintenance

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

Description

General: • Summary

Note: The house roof shingles are approximately 5 years old and appeared in adequate condition. The estimated remaining service life may be 4-5 years, weather and maintenance dependent. *Note:* Typical expected service lives of multiple layers of roofs is shorter than single layered shingled roofs.

The west garage roof shingles are at the end of their service life and require replacement as they are unpredictable.

The east garage roof appeared to be 1-3 years old and appeared in adequate condition. The estimated remaining service life may be 10-12 years, weather and maintenance dependent.

The single-ply modified flat roof material appears to be approximately 5 years old and inadequate condition. The estimated remaining service life may be 5-10 years, weather and maintenance dependent.

General: • Comments: The primary purpose of a roof is to keep the building and its occupants protected from rain, snow, sun, wind, and all the combinations of these. Roofs may also add to or detract from the appearance of a building. Roofs provide some mechanical protection against falling objects, although anyone who has seen the damage done by a large tree falling on a house, knows their strength is limited. Contrary to what many think, roof coverings are not intended to keep out the cold. The majority of roofs are extremely poor insulators.

General: • The report is not intended to be conclusive regarding the lifespan of the roofing system or how long it will remain watertight in the future. The inspection and report are based on visible and apparent conditions at the time of the inspection. Conclusions made by the inspector do not constitute a warranty, guaranty, or policy of insurance. The client is advised to ask the seller about the presence of any roof leaks. Any repairs needed should be carried out by licensed personnel. All roofs require periodic maintenance to achieve typical lifespans and should be inspected annually. Expect minor repairs.

Sloped roofing material: • Metal drip edge.

Sloped roofing material: • Two layers

Sloped roofing material: • Chimney



1. Chimney

Sloped roofing material:

- [Asphalt shingles](#)

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Ontario, Sarnia, ON August 13, 2018

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2. Asphalt shingles



3. Asphalt shingles



4. Asphalt shingles



5. Asphalt shingles

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6. Asphalt shingles - west garage



7. Asphalt shingles - east garage



8. Asphalt shingles



9. Asphalt shingles

Sloped roof flashing material: • Neoprene.

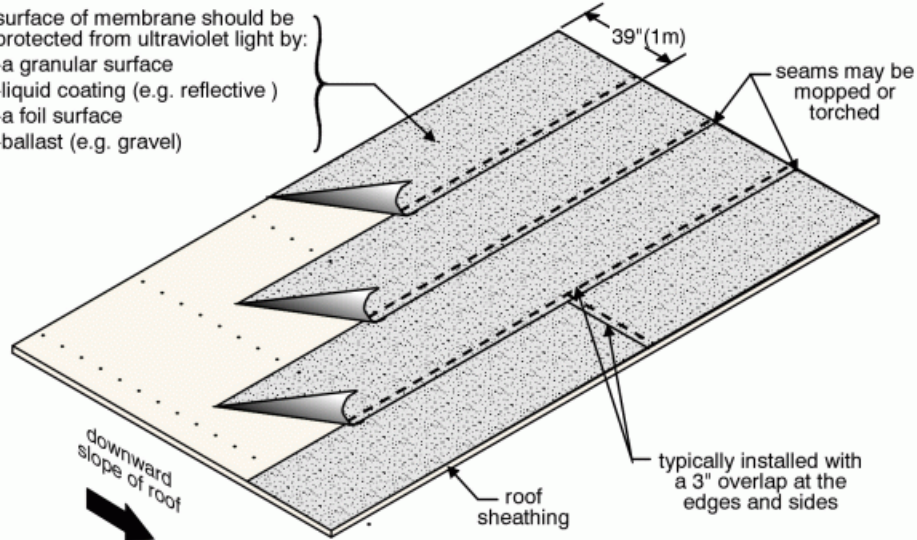
Flat roofing material:

- [Modified bitumen membrane](#)

Single ply modified bitumen roof

surface of membrane should be protected from ultraviolet light by:

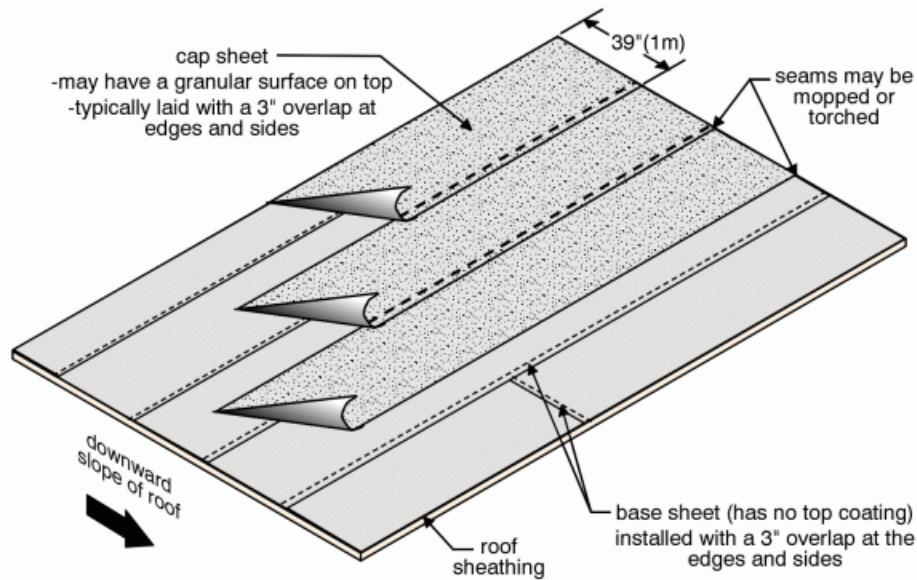
- a granular surface
- liquid coating (e.g. reflective)
- a foil surface
- ballast (e.g. gravel)



Two-ply modified bitumen roof

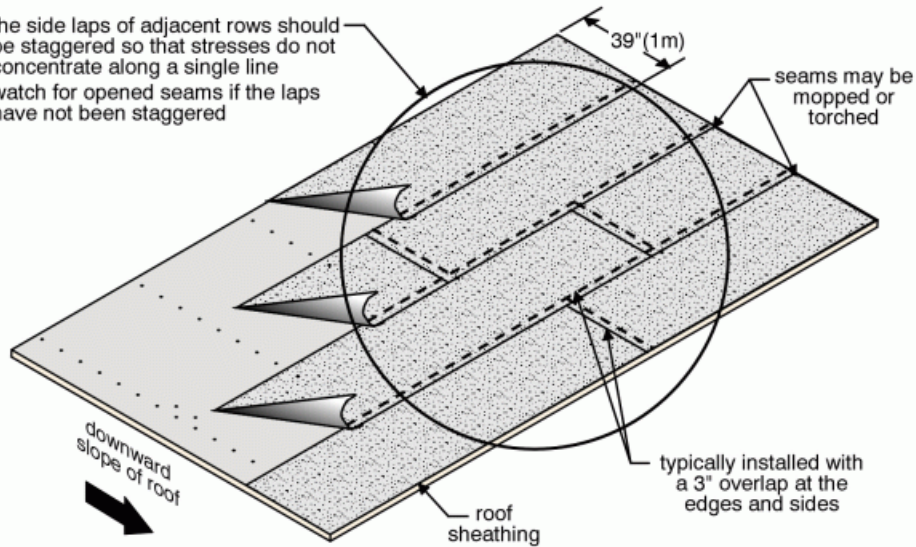
cap sheet

- may have a granular surface on top
- typically laid with a 3" overlap at edges and sides



Staggering side laps in single ply modified bitumen roofs

the side laps of adjacent rows should be staggered so that stresses do not concentrate along a single line watch for opened seams if the laps have not been staggered



10. Modified bitumen

Flat roof flashing material: • Metal

Limitations

Roof inspection limited/prevented by: • Lack of access (too high/steep)

Inspection performed:

- By walking on roof
- Rear upper and flat (house).
- From roof edge
- From the ground

Recommendations

General

1. • Roofing repairs should be completed by a qualified and competent roofing contractor.

SLOPED ROOFING \ Asphalt shingles

2. **Condition:** • Inspect annually

Implication(s): Chance of moisture intrusion, interior damage.

Location: Sloped and flat roof

Task: Inspect annually

Time: Regular maintenance

3. **Condition:** • [Near end of life expectancy](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: East Garage

Task: Replace

Time: Unpredictable

Description

General: • Weather Conditions

Note: Outdoor temperature 45 degrees F., raining.

General: • Maintenance and Minor Repairs

As with any house of any age, there are always some minor deficiencies, defects, damage, or adjustments to be made. Normal maintenance and care are also needed at all times. We have listed a number of these throughout the report, and we will itemize some of them here as well. They are not in any particular order. The reason for a Home Inspection is to identify major problems which could influence a decision to purchase, or which could mean unexpected expenses after the purchase.

Minor problems are just that...minor. Our inspection and report are meant to try to protect you from major, unforeseen expenses. Some less important deficiencies may be discovered while looking for major items, but this is not an all-inclusive list of minor building flaws. You will no doubt find more challenges of varying magnitude since you live in the house all day every day, but this list will at least give you a starting point. Some of these are suggestions only.

General: • Home approximate age:

Note: 76 years.

Gutter & downspout material:

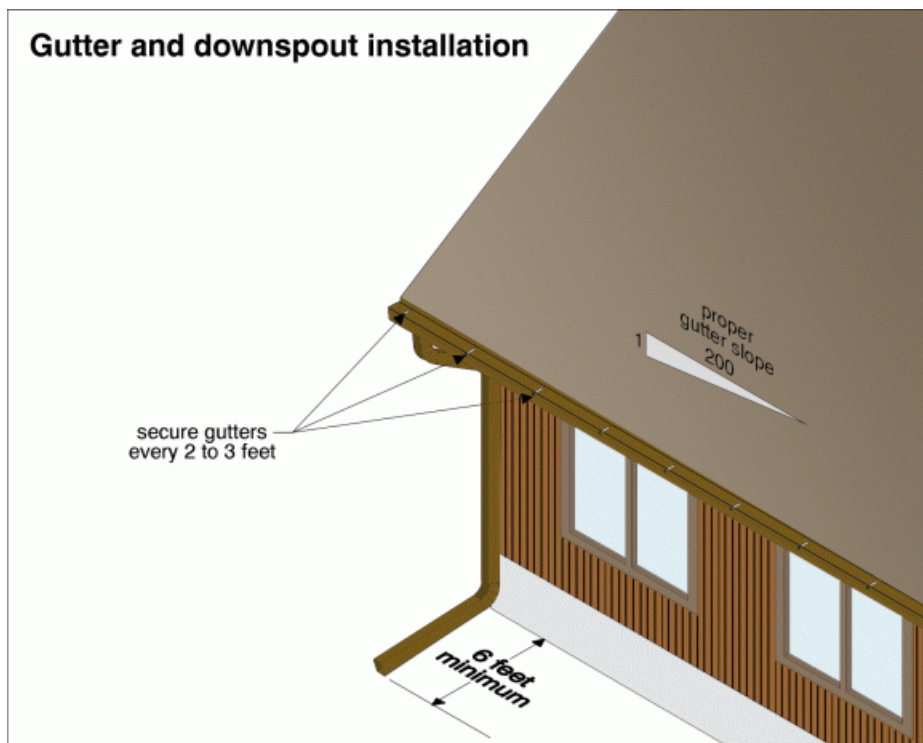
- [Aluminum](#)

Aluminum and vinyl soffits.

Gutter & downspout type: • [Eave mounted](#)

Downspout discharge:

- [Above grade](#)



EXTERIOR

Ontario, Sarnia, ON August 13, 2018

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BLUEWATER

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

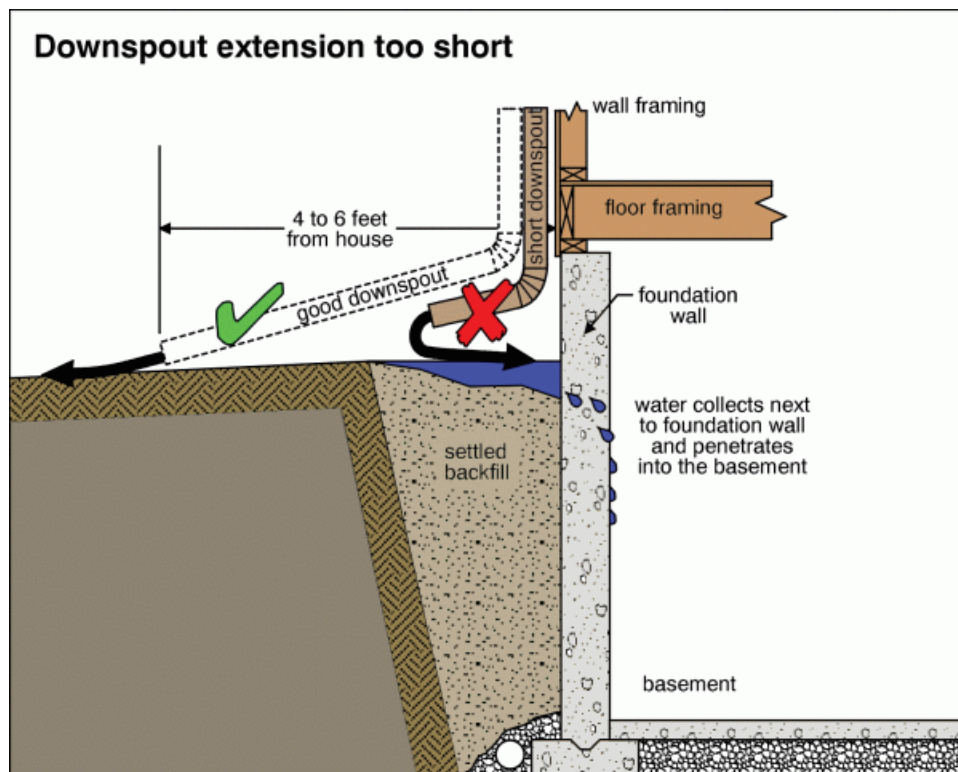
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



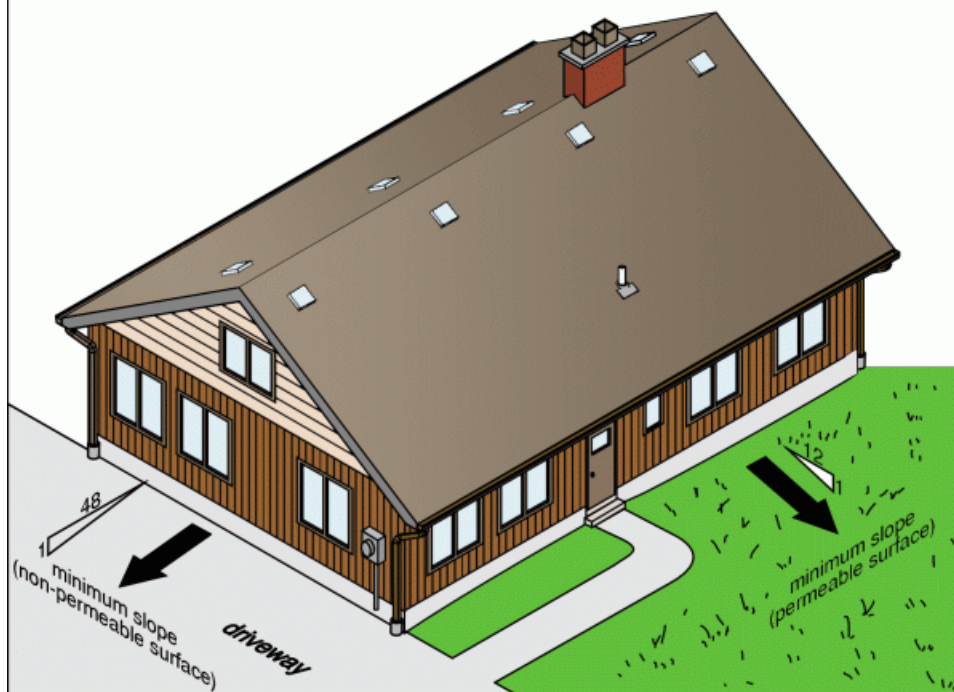
11. Above grade

Lot slope:

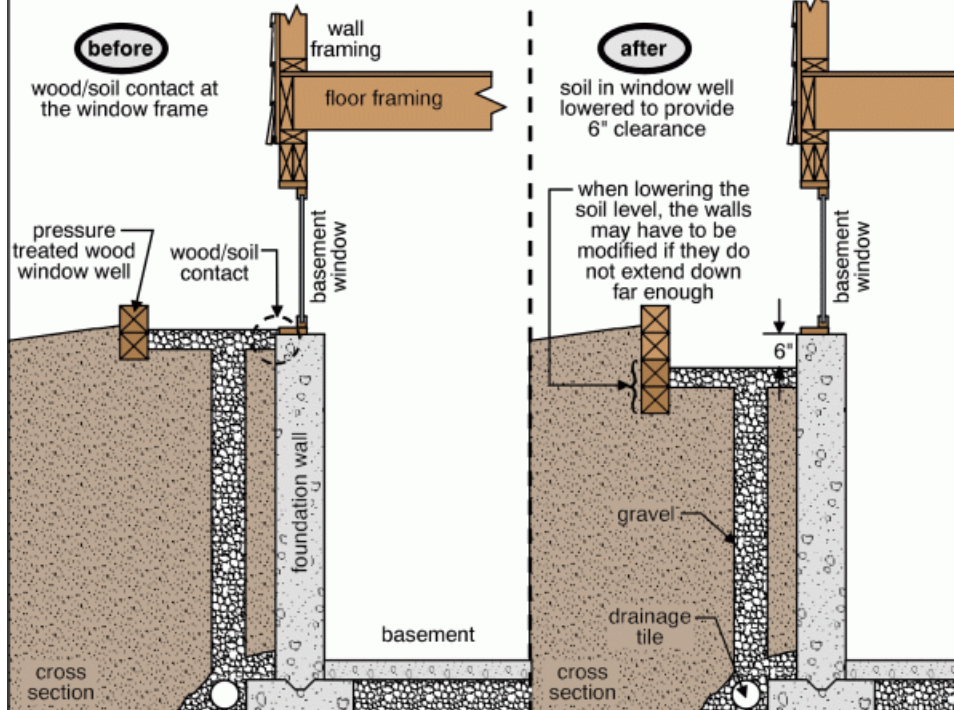
- [Away from building](#)

Rear.

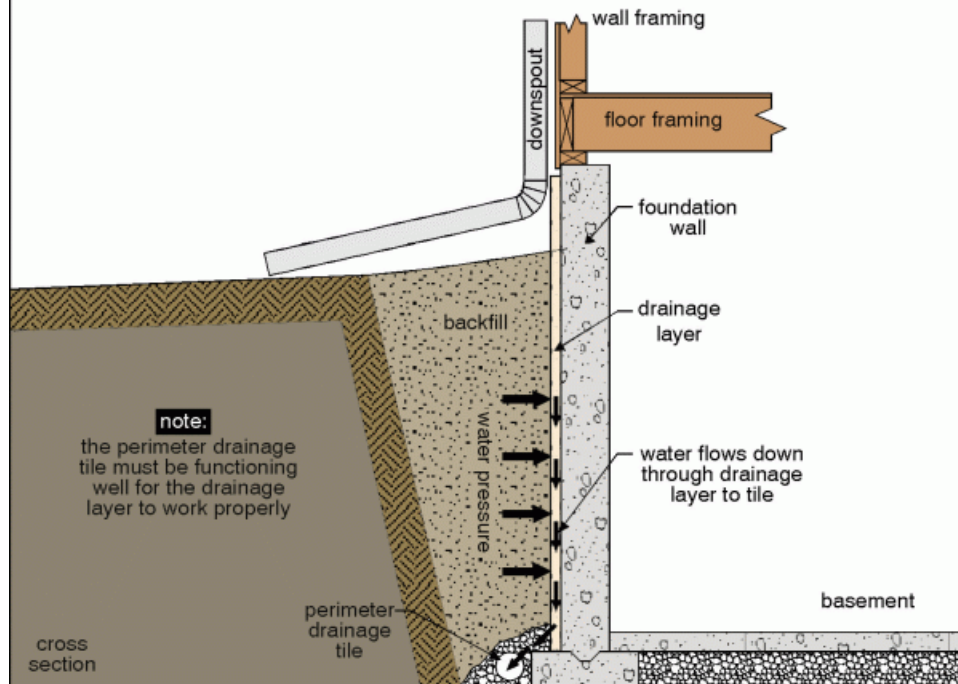
Recommended grading slopes



Wood soil contact

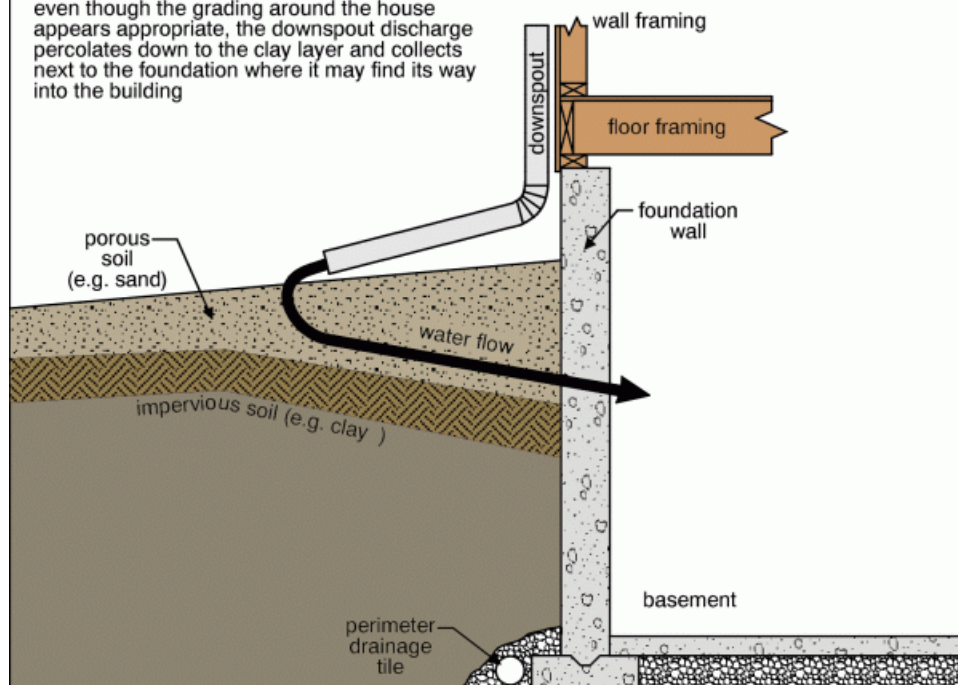


Drainage layer



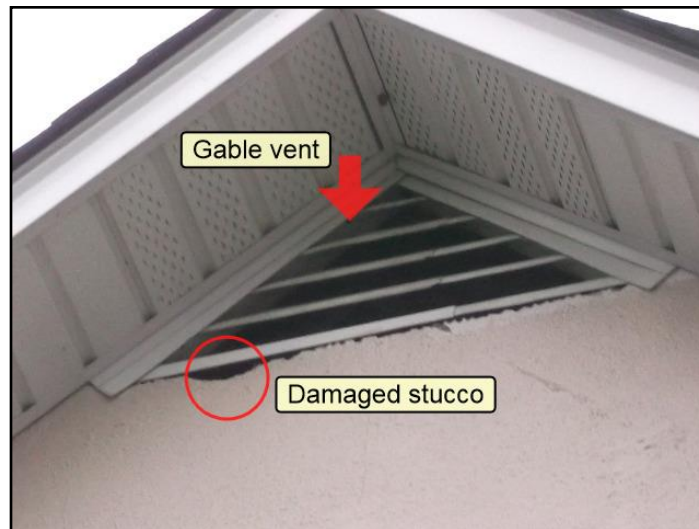
Water penetration due to subgrade soil conditions

even though the grading around the house appears appropriate, the downspout discharge percolates down to the clay layer and collects next to the foundation where it may find its way into the building



- [Flat](#)
Front.

Soffit and fascia: • Soffit and fascia.



12. Soffit and fascia.

Soffit and fascia: • [Aluminum](#)

Wall surfaces and trim: • Vinyl Siding Comment: Vinyl siding is particularly popular because it adds to the value and beauty of the home, it simulates the appearance of wood, and is the most durable, practical and efficient siding on the market.

Vinyl siding is manufactured from polyvinyl chloride (PVC), a revolutionary building material that has replaced metal as the prime material for many industrial, commercial and consumer products. PVC has many years of successful performance as a construction material, providing impact-resistance, rigidity and strength.

It can be applied with assurance that it will not promote rotting, moisture or termite infestation. Indeed, the siding itself is impervious to rotting, and does not attract insects. It is designed to allow for proper ventilation. Pre-punched weep-holes along the bottom butt edge of the siding allow condensation to drain out.

Wall surfaces and trim: • Exterior cladding.



13. Exterior cladding.



14. Exterior cladding.

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15. Exterior cladding.



16. Exterior cladding.



17. Exterior cladding.

Wall surfaces and trim:

- [Vinyl siding](#)

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COOLING

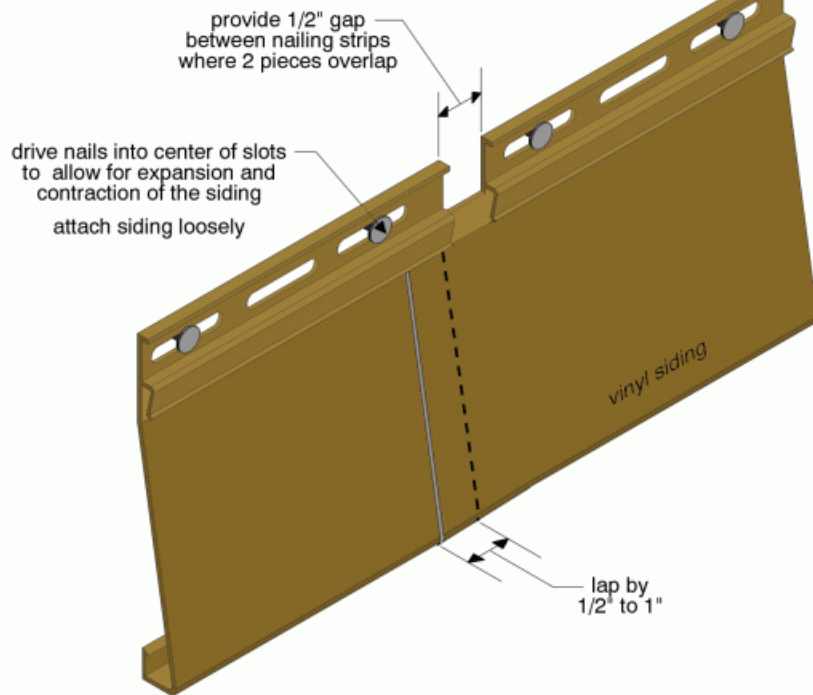
INSULATION

PLUMBING

INTERIOR

REFERENCE

Nailing too tightly



Driveway: • Driveway

Note: 2 driveways were present.



18. Driveway



19. Driveway

Driveway: • Gravel

Walkway: • Condition:

Note: The front flagstone walkway has settled providing tripping hazards. The northeast walkway has settled and

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COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

cracked providing tripping hazards. The rear yard patio stones are uneven providing a fall or tripping hazard.

Walkway: • Walkways



20. Walkways



21. Walkways



22. Northeast Walkway



23. Walkways

Walkway: • Patio Stones

Walkway: • Concrete • Flagstone

Deck: • Condition

Note: Sections of the pressure-treated wood is moisture-damaged and may require replacement.

Deck: • Deck

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INTERIOR

REFERENCE



24. Deck



25. Deck



26. Deck

Deck: • Pressure-treated wood deck

Deck: • Composite

Porch: • Wood columns

Porch: • Wood railings and guards.

Porch: • Front porch

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PLUMBING

INTERIOR

REFERENCE



27. Front porch

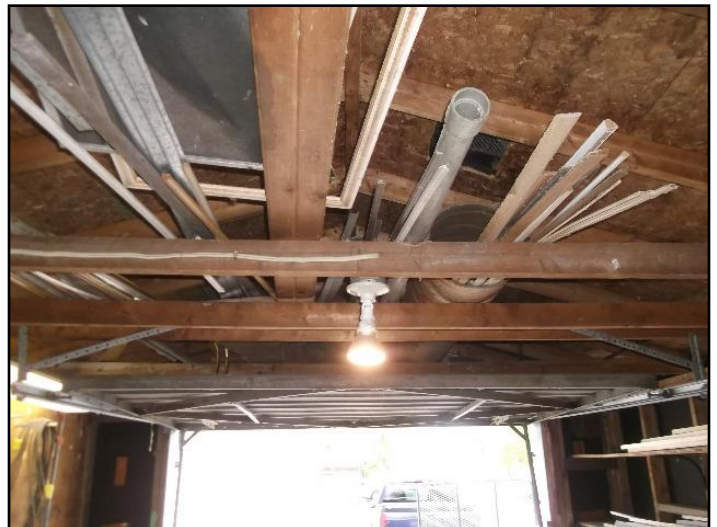
Porch: • Composite • No performance issues were noted.

Garage: • Garage

Note: West garage



28. Garage



29. Garage

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INTERIOR

REFERENCE



30. Garage

Garage: • Garage

Note: East garage



31. Garage



32. Garage



33. Garage



34. Garage

Garage: • Condition:

Note: Repairs are required on the west garage exterior.

Limitations

Upper floors inspected from: • Lower roof.

Upper floors inspected from: • Ground level

Exterior inspected from: • Lower roof.

Exterior inspected from: • Ground level

Recommendations

General

4. • Minor adjustment is needed every few years to the grading of the soil around the house to direct the flow of water away from the house. Proper grading of soil near the house is important to prevent water from accumulating near the foundation. In many instances, this has the potential to cause soil swelling and shrinking which can cause cracking in the exterior walls.

A typical 2,000 square foot roof can produce almost 1,250 gallons of water during just one inch of rainfall. If the rainfall is steady and prolonged, the opportunity for the roof water runoff to soak into the ground next to the foundation wall is significantly increased.

We recommend providing top soil (prior to the A/C condenser fan installation) sloped to direct water away from the foundation. Extending the downspouts a minimum of 6 feet away from the foundation may help to minimize water entering the basement.

Implication(s): Water entering the basement.

Location: East Yard

Task: Improve

Time: Unpredictable

ROOF DRAINAGE \ Gutters

5. Condition: • [Missing](#)

We suggest providing gutters and downspouts to direct roof water away from the foundation.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: East Garage

Task: Provide

Time: Discretionary

ROOF DRAINAGE \ Downspouts

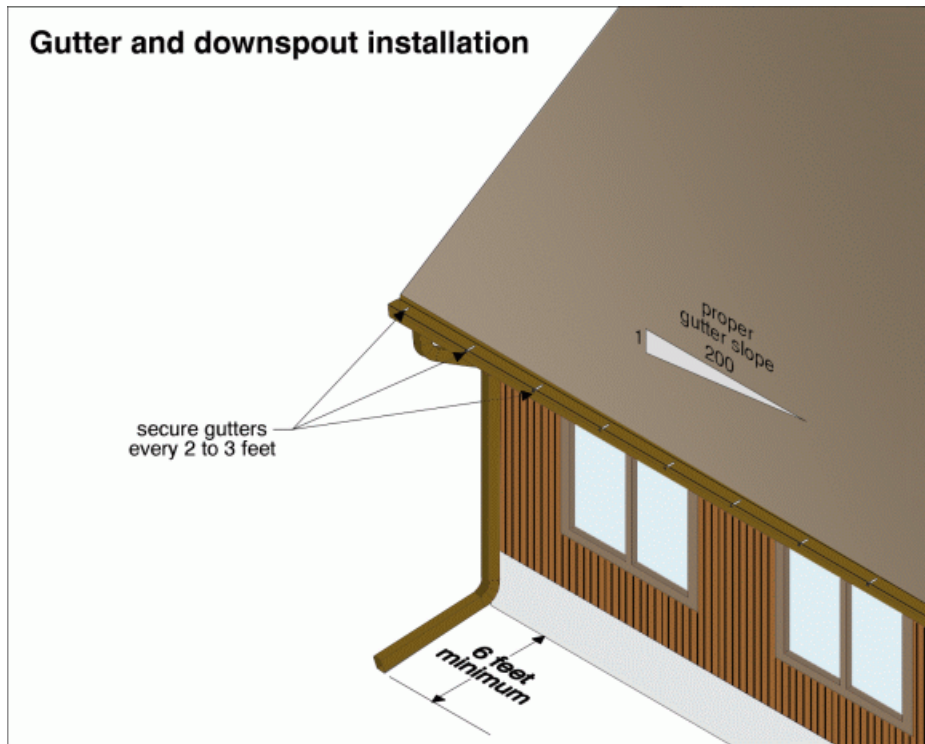
6. Condition: • [Should discharge 6 feet from building](#)

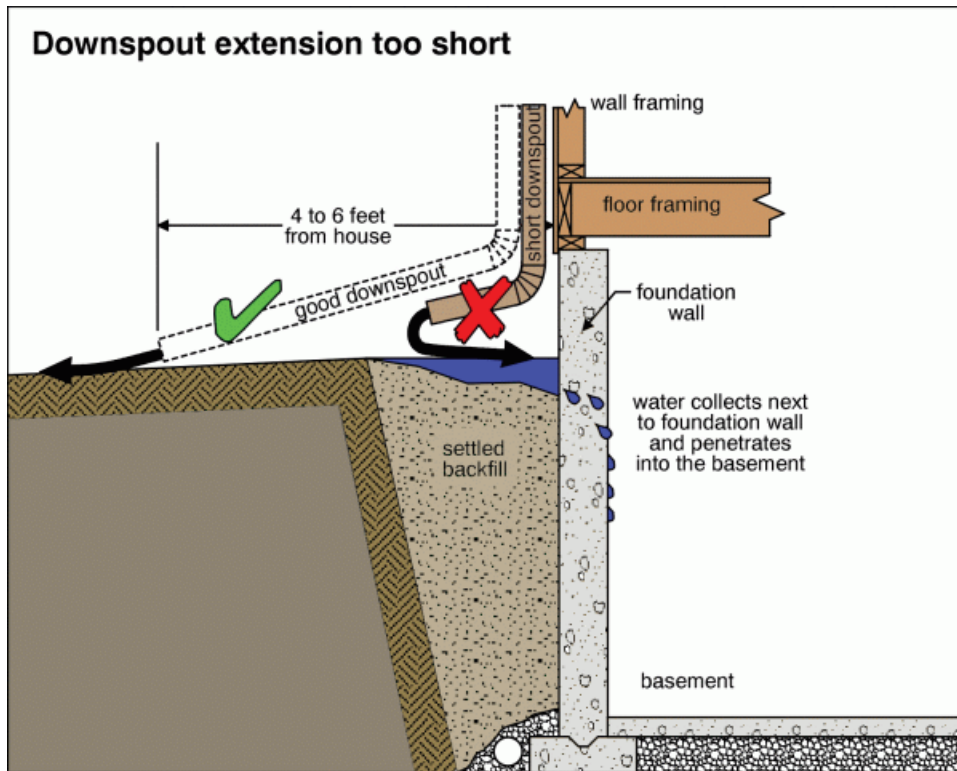
Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout Exterior

Task: Improve

Time: Unpredictable





WALLS \ Soffits and fascia

7. Condition: • [Loose or missing pieces](#)

We suggest replacing the damaged and loose fascia and soffits. Priming and painting the wood trim with exterior-grade paints and possibly cladding with aluminum may be completed.

Implication(s): Chance of water damage to contents, finishes and/or structure | Chance of pests entering building

Location: East Garage

Task: Repair

Time: Regular maintenance

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EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

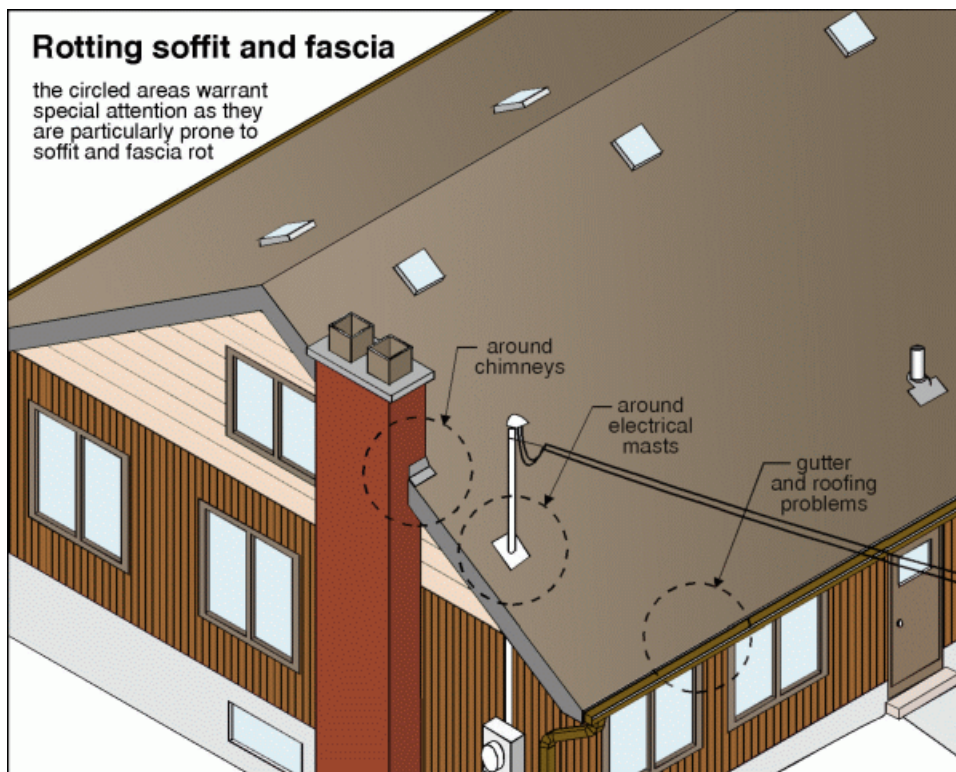
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



35. Loose or missing pieces



36. Loose or missing pieces

EXTERIOR GLASS/WINDOWS \ Exterior trim

8. Condition: • [Paint or stain needed](#)

We recommend priming and painting the wood-framed window to extend its' service life. Removal of the old, loose paint should be completed first and exterior-grade primer and painting applied per the manufacturers' instructions.

Moisture-damaged wood may be repaired using epoxy or wood stabilizers prior to priming and painting.

Replacement of the exterior caulking and glazing putty is also suggested.

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

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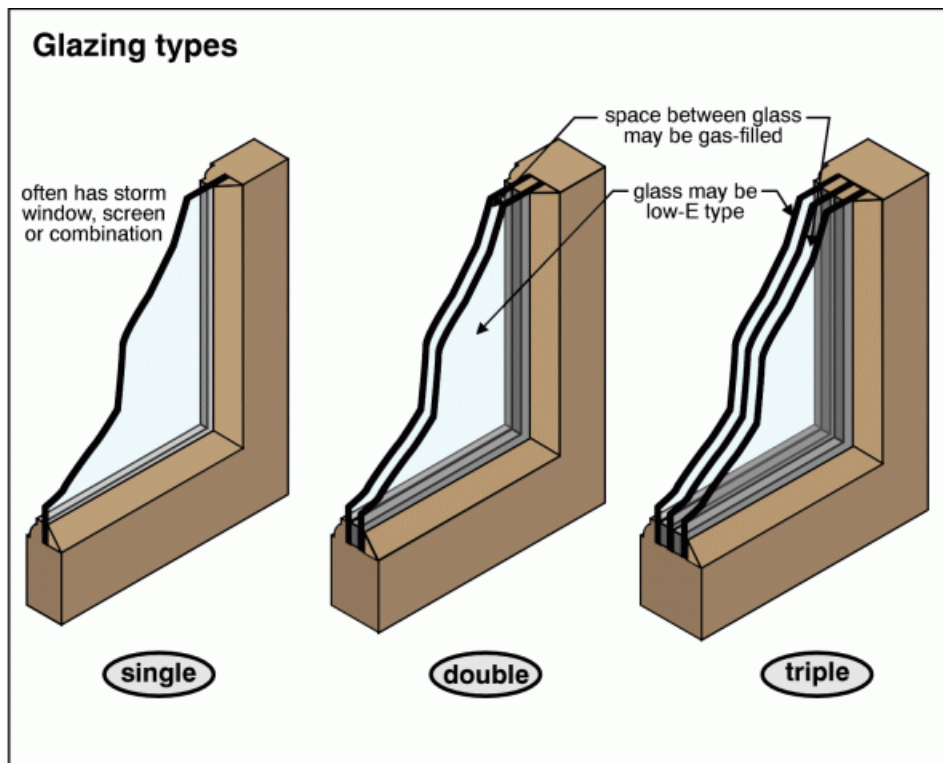
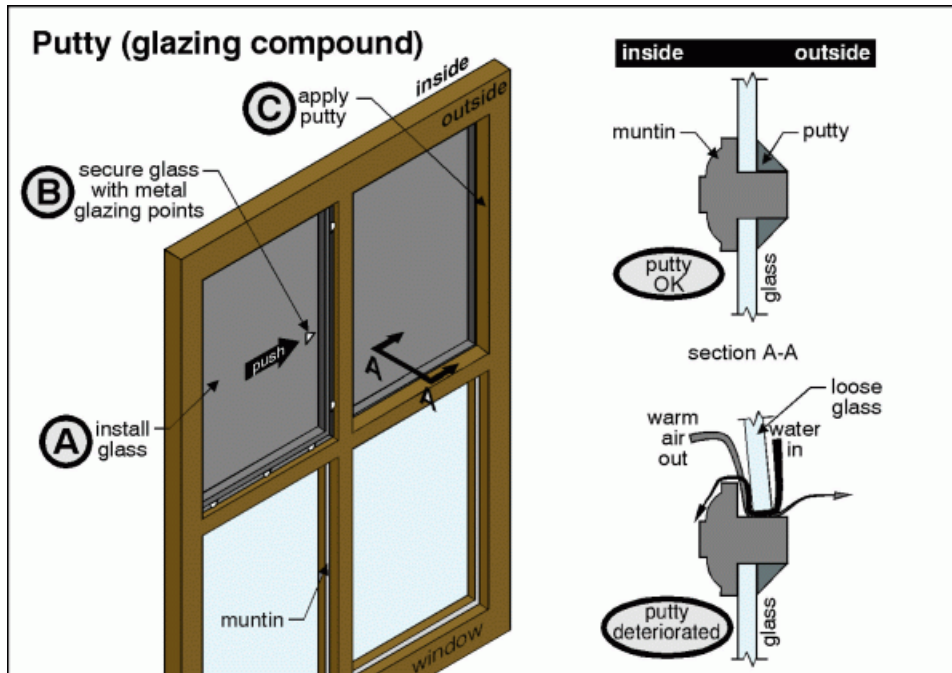
INTERIOR

REFERENCE

Location: Throughout Basement

Task: Service

Time: Regular maintenance



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INTERIOR

REFERENCE



37. Moisture Damage

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Floors

9. Condition: • [Rot or insect damage](#)

Implication(s): Weakened structure | Chance of movement | Material deterioration

Location: West Deck

Task: Replace

Time: Regular maintenance



38. Rot or insect damage

LANDSCAPING \ Walkway

10. Condition: • [Uneven \(trip hazard\)](#)

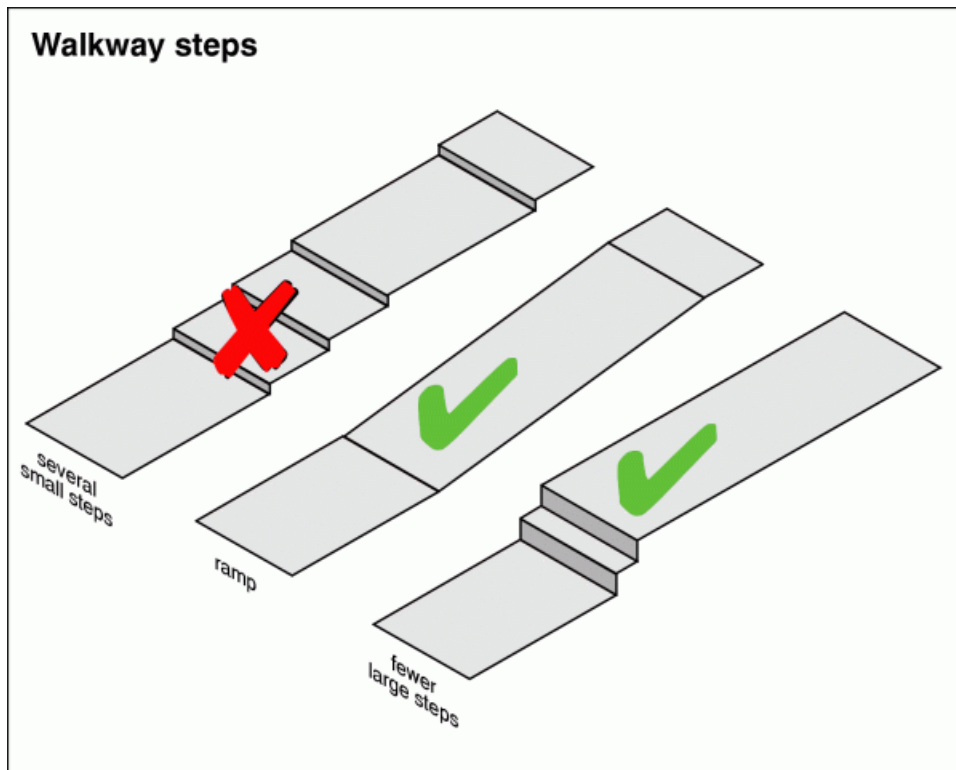
We suggest monitoring the condition in case additional settling is observed in the future and either raising or "jacking" the concrete rather than replacing the concrete.

Implication(s): Physical injury

Location: Northeast Yard

Task: Repair or replace

Time: Unpredictable



11. Condition: • [Uneven \(trip hazard\)](#)

We suggest leveling the uneven flag stones.

Implication(s): Physical injury

Location: Front Yard

Task: Repair

Time: Unpredictable

Description

General: • Vinyl siding is particularly popular because it adds to the value and beauty of the home, it simulates the appearance of wood, and is the most durable, practical and efficient siding on the market.

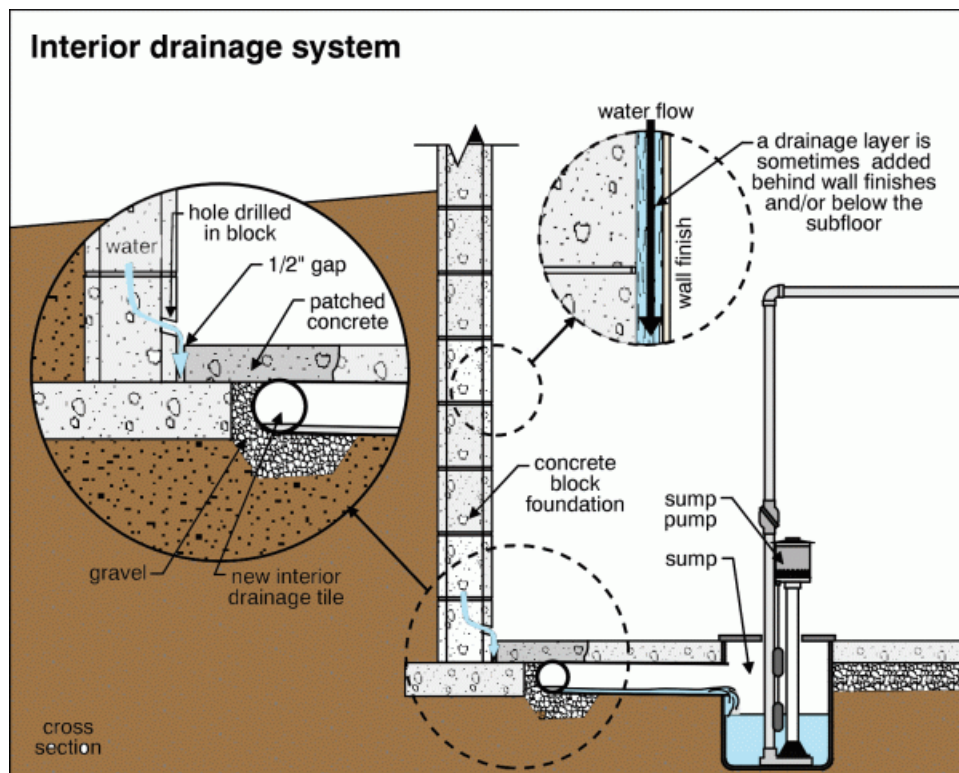
Vinyl siding is manufactured from polyvinylchloride chloride (PVC), a revolutionary building material that has replaced metal as the prime material for many industrial, commercial and consumer products. PVC has many years of successful performance as a construction material, providing impact-resistance, rigidity and strength. It can be applied with assurance that it will not promote rotting, moisture or termite infestation. Indeed, the siding itself is impervious to rotting, and does not attract insects. It is designed to allow for proper ventilation. Pre-punched weep-holes along the bottom butt edge of the siding allow condensation to drain out.

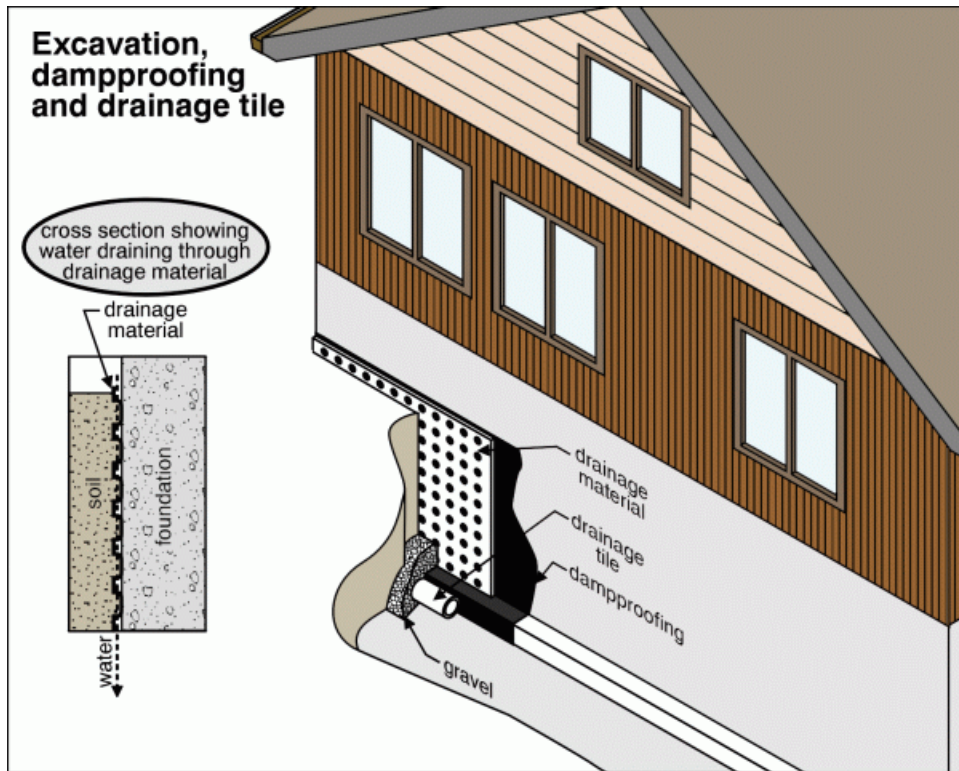
General: • Basement Moisture comment:

Note: Moisture was present in the south east basement possibly due to poor grading. Cracks and staining in the parging of the east and south bench footing was also present possibly due to moisture intrusion. We recommend a basement contractor specializing in waterproofing or interior drainage systems is consulted in case improvements and repairs are required to help prevent future moisture intrusion and interior damage. Examples of such contractors are Advanced Basement Systems, Basement Boss, Melo Concrete, Never Leak.

Depending on the degree of corrective work this may be considered a major cost.

Note: The grading beneath the front porch may require improving also.





39. Basement Moisture comment:

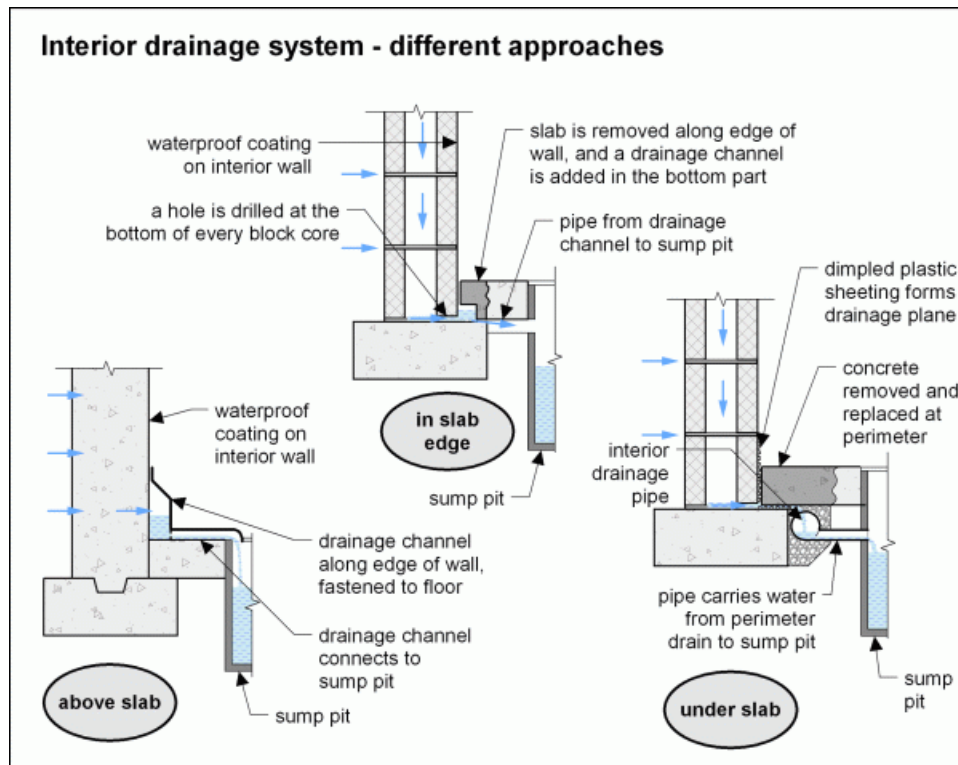


40. Basement Moisture comment:



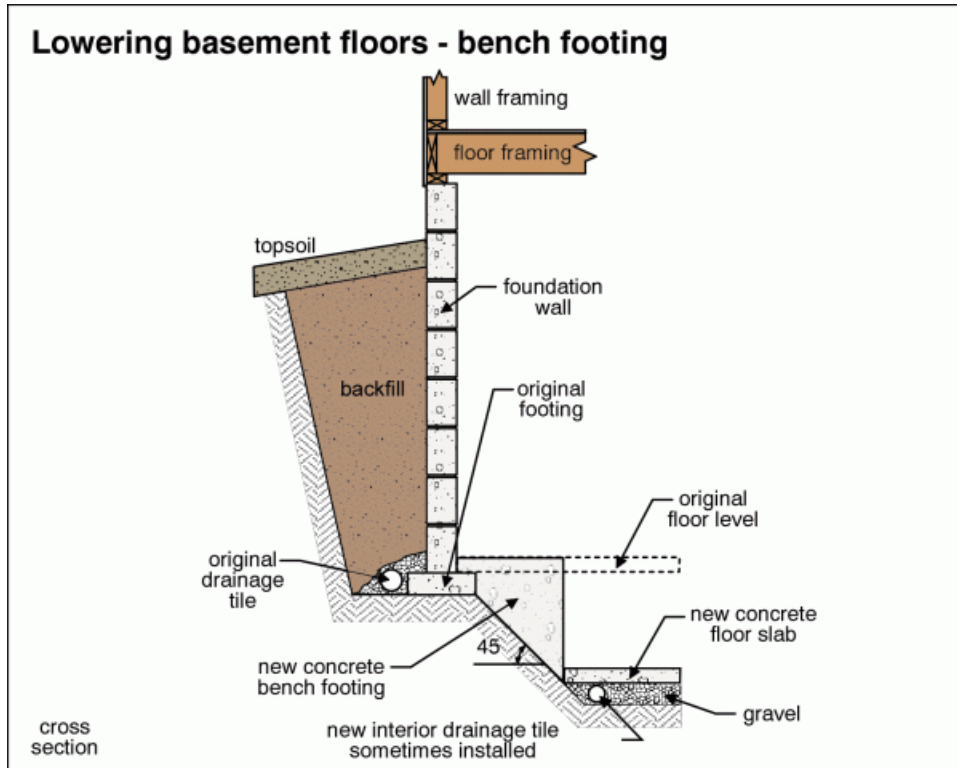
41.

General: • Basement Moisture Comment: Usually, basement water problems are uppermost on the list of things buyers are most worried about. Foundation leaks are a major concern, but an even greater problem can be damage caused by frost. The cause of frost is a lot like that of basement water problems. When saturated soil freezes, it expands greatly, and adheres to anything nearby, including foundations. This frozen mass (frost) then heaves and lifts at will, and can cause anything from minor concrete cracking to major structural damage.



Configuration: • [Basement](#)

Foundation material: • Bench footings. Bench footings may also be provided to stabilize foundation walls.



Foundation material: • Concrete footers were not visible.

Foundation material: • [Masonry block](#)

Floor construction: • Condition:

Note: A single wood column located at the east basement is not secured at the top or bottom possibly allowing shifting to occur. A wood beam which is located at the east basement, though well supported, appears to have been damaged from wood-boring insects.



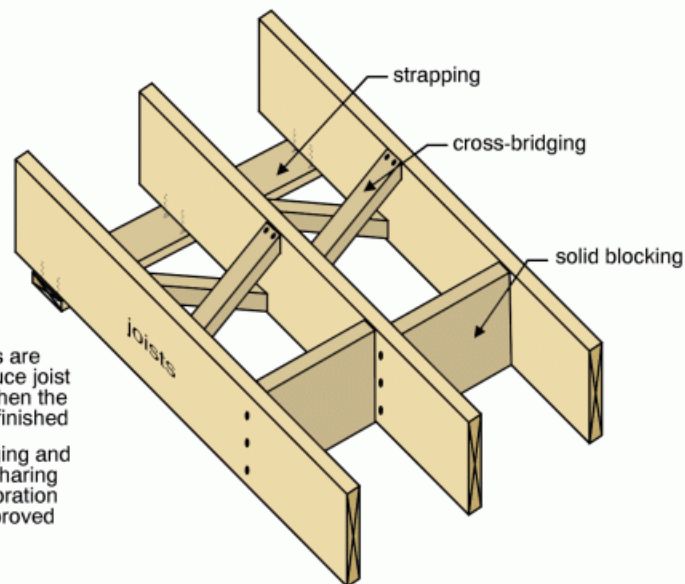
42. Unsecured wood column



43. Damaged wood beam

Floor construction: • Solid blocking and/or 2x2 cross-bridging.

Strapping, bridging and blocking



all of these methods are commonly used to reduce joist twisting and rotating when the ceilings below are not finished

another benefit of bridging and blocking is that load sharing between joists and vibration damping are also improved

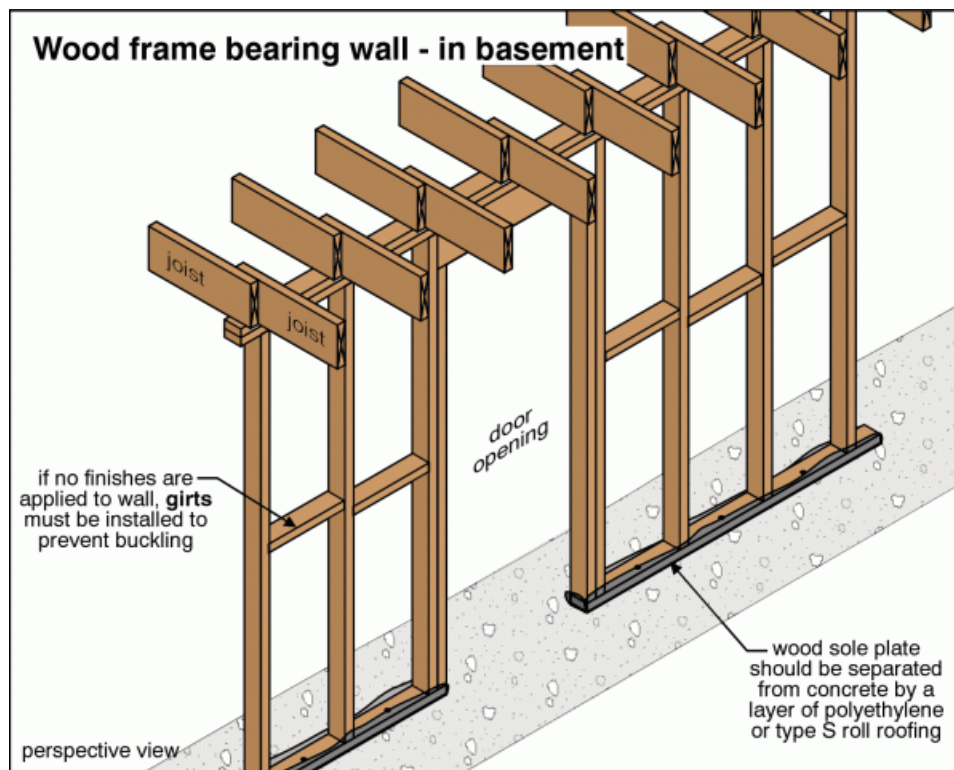
perspective

Floor construction: • Floor structure



44. Floor structure

Floor construction: • 2x4 stud bearing partition with double 2x4 top plate.



Floor construction: • Masonry walls

Floor construction: • [Joists](#) • Steel columns • Wood columns • Wood beams • Subfloor - plank

Exterior wall construction: • Wood frame with exterior veneers

Roof and ceiling framing: • Rafters.

Roof and ceiling framing: • Roof structure



45. Roof structure



46. Roof structure



47. Roof structure kneewall

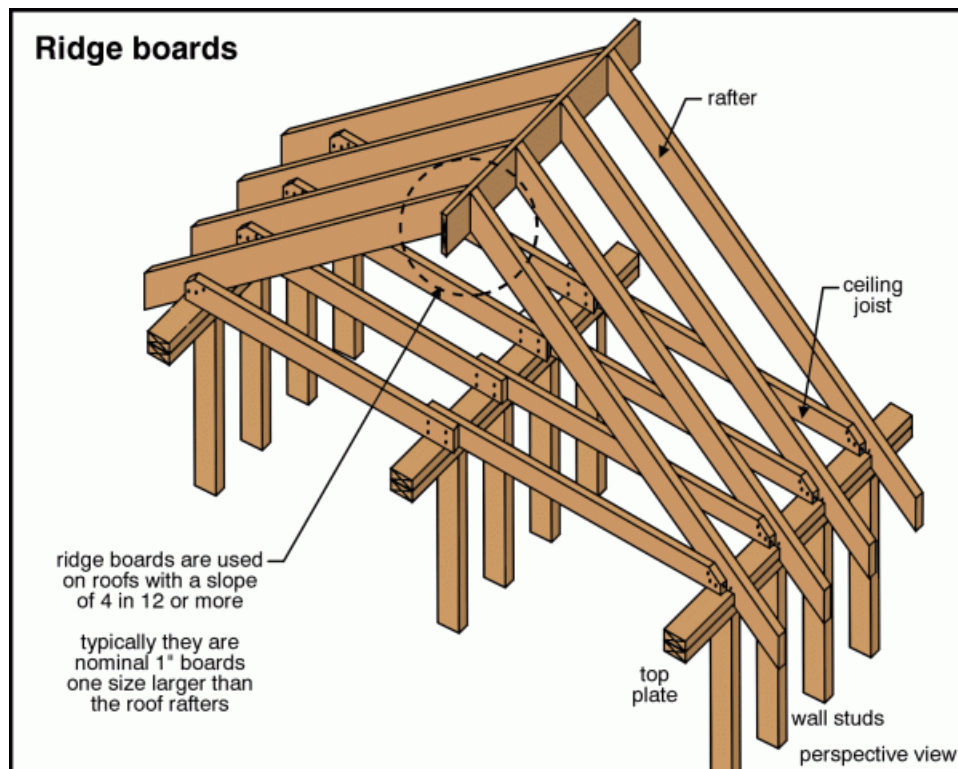


48. Roof structure



49. Roof structure

Roof and ceiling framing: • Wood ridge board



Roof and ceiling framing: • No performance issues were noted.

Roof and ceiling framing: • [Plank sheathing](#)

Limitations

General: • Unless a basement or crawlspace is wet during the time of the inspection, its resistance to water infiltration cannot usually be ascertained and leakage may occur after heavy rains.

For your further protection, please obtain a completed Seller Property Information Statement (SPIS) from the vendor.

Attic/roof space: • Inspected from access hatch

Knee wall areas: • Inspected from access hatch

Recommendations

FOUNDATIONS \ General

12. Condition: • Unsealed openings

We suggest sealing the exterior wall with "Wraptite" putty-like exterior sealant.

Implication(s): Chance of entry by vermin, interior damage.

Location: East Basement

Task: Correct

Time: Regular maintenance



50. Unsealed openings

FLOORS \ Columns or piers

13. Condition: • [Poorly secured at top or bottom](#)

We recommend a qualified and competent framer or carpenter complete any necessary repairs.

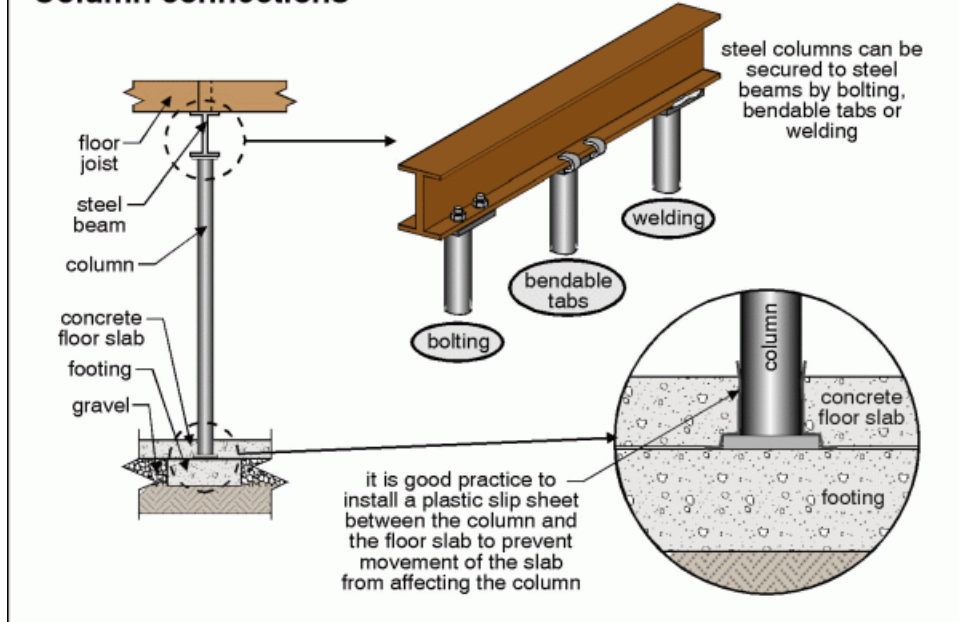
Implication(s): Weakened structure | Chance of structural movement

Location: East Basement

Task: Improve

Time: Unpredictable

Column connections



FLOORS \ Beams

14. Condition: • [Rot, insect or fire damage](#)

We recommend a qualified and licensed carpenter to complete any necessary repairs.

Implication(s): Weakened structure | Chance of structural movement

Location: East Basement

Task: Monitor

Time: Unpredictable

Description

General: • The east garage did not appear to contain an electrical supply.

General: • The cover was removed and the electrical wiring and connections appeared adequate. No cracks, scorching or other defects were viewed.

General: • Inspection Findings Statement: The inspection does not include low voltage systems, telephone wiring, intercoms, alarm systems, cable TV wiring, timers or smoke detectors. If the building has no smoke detectors, the Inspector strongly urges their installation. Smoke detectors should be checked periodically to be sure they are working. A ground fault circuit interrupter is a modern electrical device, either a receptacle or a circuit breaker, which is designed to protect people from electric shock. They are now required in wet or damp environments. In the event of a fault in an appliance that you are touching, the current that passes through your body to ground is detected and the circuit is shut off, protecting you from potentially fatal shocks. The Inspector recommends that all receptacles located in the kitchen, baths, garage, at spas, hot tubs, fountains, pools, crawl spaces and outdoors be upgraded to the Ground Fault Circuit Interrupter type by a licensed electrician.

General: • Comments: Electrical: The actual ampacity of the electrical system is sometimes difficult to determine, since there are many different ways to calculate it. For this reason, we defer to a licensed, qualified electrician to provide the definitive answer. We have attempted to determine the correct service size, and although we are usually correct, there are often circumstances to change what the naked eye sees.

General: • Electrical System Power Comment: The main switch or breaker is not normally shut off during a home inspection, since it would shut down the entire house. This can disrupt clocks, timers, and computers, for example, and can result in damage to some motors and compressors. However, once a homeowner takes possession, he or she should ensure that it does operate properly.

General: • Fuse Panels.

Note: Fuse Panels

The biggest problem with fuse panels is the relentless use of fuses that are too big.

Fuses too big in panel:

If a fuse keeps blowing, you need to pay attention. It is a red flag that there is a real problem. Either there is something faulty on the line and that fuse is protecting you from it, or there is too heavy of a load for the wiring and the fuse is letting you know you are *past your electrical limit* for that wire. If the load on that wire is too much the fuse is supposed to blow and shut off the power to that wire. If it does not blow, (because someone has screwed in an oversized fuse) the wire overheats and puts the home at risk of a fire.

Fuses controlling *LIGHTS AND PLUGS* are never to have a fuse bigger than *15 amps*.

BASEBOARD HEATING CIRCUITS AND HOT WATER TANKS typically use *20 amp*

fuses.

AIR CONDITIONING UNITS AND DRYERS typically use *30 amp* fuses.

ELECTRIC STOVES use *40 amp* fuses. (available in cartridge style only)

One solution is to use fuse rejectors. *Fuse rejectors* are inserts that go into your fuse panel to block a larger amperage fuse from being installed where a smaller one is required.

15 and 20 amp fuse rejectors avoid inadvertent overfusing with larger fuses

15 and 20 amp fuse rejectors avoid inadvertent overfusing with larger fuses

A 15 amp fuse rejector will only allow 15 amp fuses to be screwed in to them. Nothing bigger will fit.

A 20 amp fuse rejector will only allow 20 amp and 15 amp fuses to be screwed in to them. Nothing bigger will fit.

* **Fuse rejectors must never be installed without the main power to the house being off. *

It is NOT A Do It Yourself PROJECT.

Service entrance cable and location:

- [Overhead](#)



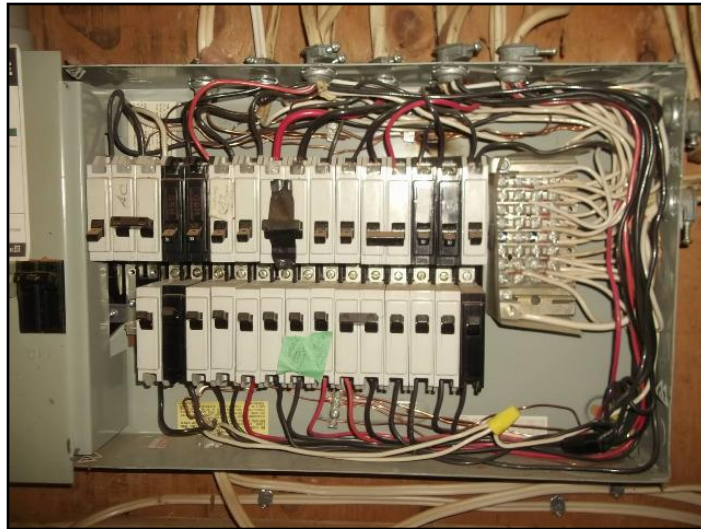
51. Overhead

Service size: • [100 Amps \(240 Volts\)](#)

Main disconnect/service box rating: • [100 Amps](#)

Main disconnect/service box type and location:

- [Breakers - basement](#)



52. Breakers - basement

System grounding material and type: • [Copper - water pipe](#)

Auxiliary panel (subpanel) type and location:

- [Fuses - garage](#)

West garage.



53. Fuses - garage

Distribution wire material and type: • [Copper - non-metallic sheathed](#) • [Copper - metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded - upgraded](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • GFCI- Laundry Area.

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • No GFCI in bathroom

Note: Main floor bathroom.

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • GFCI -Tested

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):

- [GFCI - bathroom](#)

Second floor bathroom.

- [GFCI - exterior](#)

- No AFCI

Limitations

General: • System Not Shut Down: The main switch or breaker is not normally shut off during a home inspection, since it would

shut down the entire house. This can disrupt clocks, timers, and computers, for example, and

can result in damage to some motors and compressors. However, once a homeowner takes possession, he or she should ensure that it does operate properly.

Circuit labels: • The accuracy of the circuit index (labels) was not verified.

Recommendations

General

15. • All electrical work including repairs, renovations, upgrades, etc. should be completed by a qualified electrician licensed to practice in Ontario.

16. • GFCI protection

Implication(s): Shock hazard.

Location: First Floor Bathroom

Task: Upgrade

Time: Discretionary

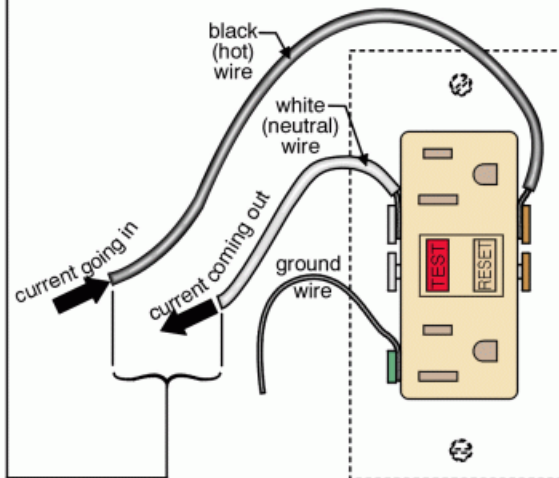
Ground fault interrupter

the GFI circuitry within the outlet checks constantly for a difference between the current in the black and white wires

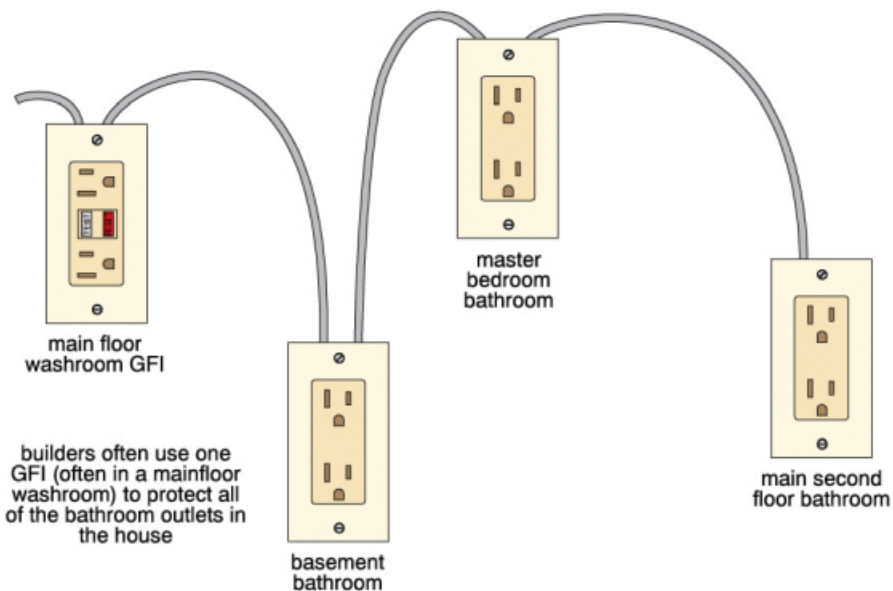
if there is a difference (even as little as 5 milliamps), there is a current leak (possibly through your body) and the GFI shuts down the receptacle and other receptacles downstream

note:

if the GFI is in the panel, the entire circuit will be shut down



GFIs can protect ordinary outlets downstream



17. • GFCI protection

Implication(s): Shock hazard.

Location: Kitchen

Task: Upgrade

Time: Discretionary

SERVICE DROP AND SERVICE ENTRANCE \ Service drop

18. Condition: • The service mast is not well secured to the exterior wall. We recommend properly securing the mast.

Implication(s): Loss of hydro, chance of fire hazard.

Location: East Exterior Wall

Task: Repair

Time: Unpredictable



54.

SERVICE BOX, GROUNDING AND PANEL \ System grounding

19. Condition: • [Wire attached to abandoned pipe](#)

Implication(s): Electric shock

Location: Northeast Basement

Task: Further evaluation

Time: Unknown



55. Wire attached to abandoned pipe

SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers

20. Condition: • A double breaker was taped. The reason and condition is unknown

Implication(s): Unknown.

Location: West Basement

Task: Further evaluation

Time: Unknown



56.

SERVICE BOX, GROUNDING AND PANEL \ Panel wires

21. Condition: • [Double taps](#)

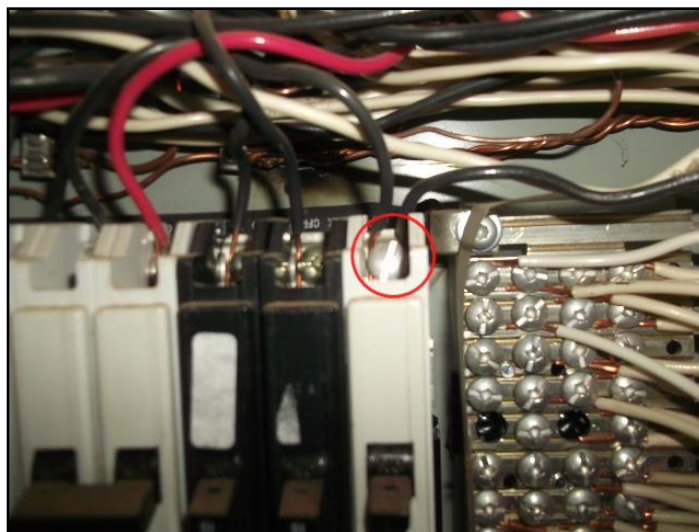
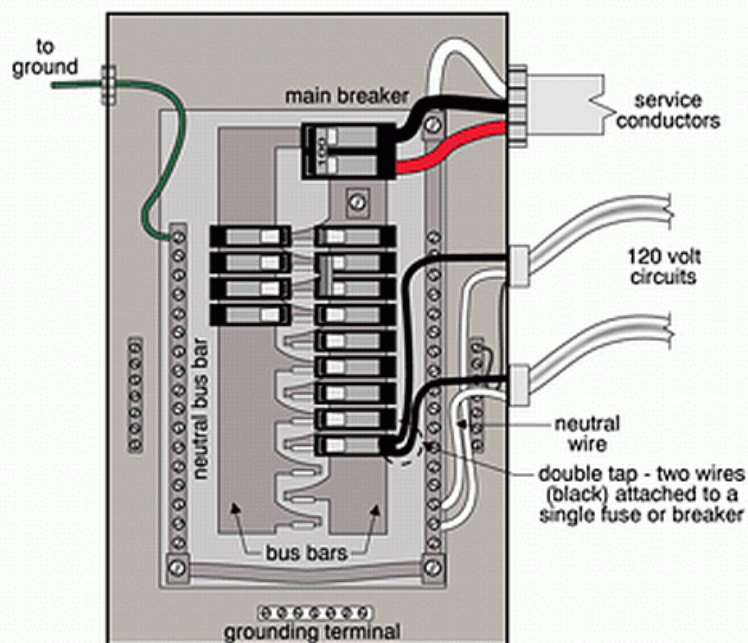
Implication(s): Fire hazard

Location: West Basement

Task: Repair

Time: Unpredictable

Double tapping (double lugging)



57. Double taps

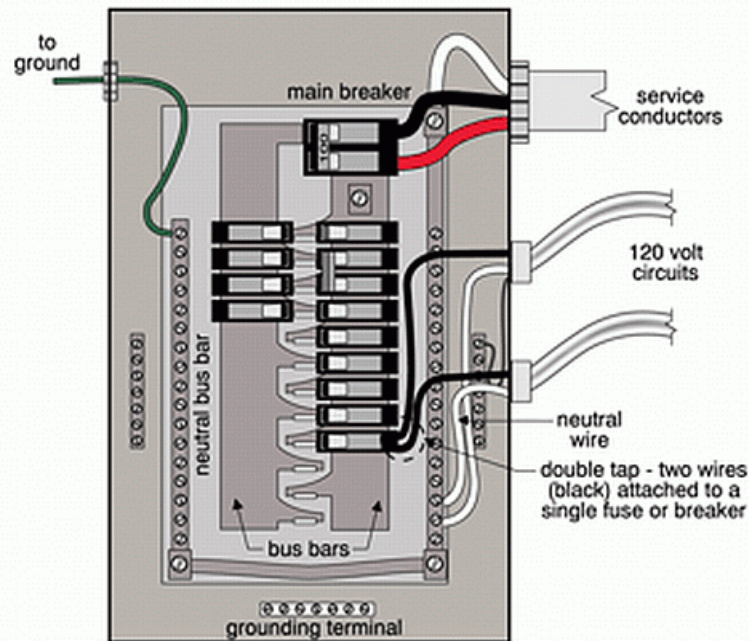
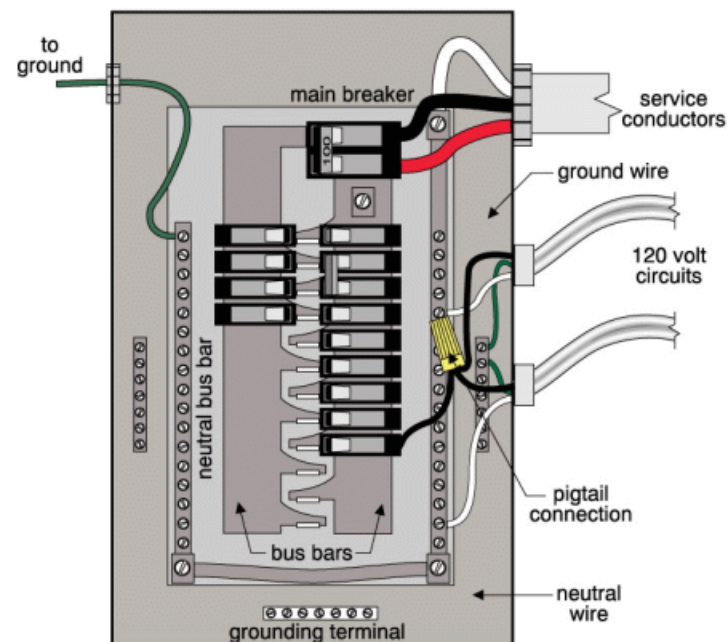
22. Condition: • [Double taps](#)

Implication(s): Fire hazard

Location: West Garage

Task: Repair

Time: Unpredictable

Double tapping (double lugging)**Pigtail to avoid double taps**

DISTRIBUTION SYSTEM \ Wiring - installation

23. Condition: • [Not well secured](#)

Implication(s): Electric shock | Fire hazard

Location: Throughout Basement

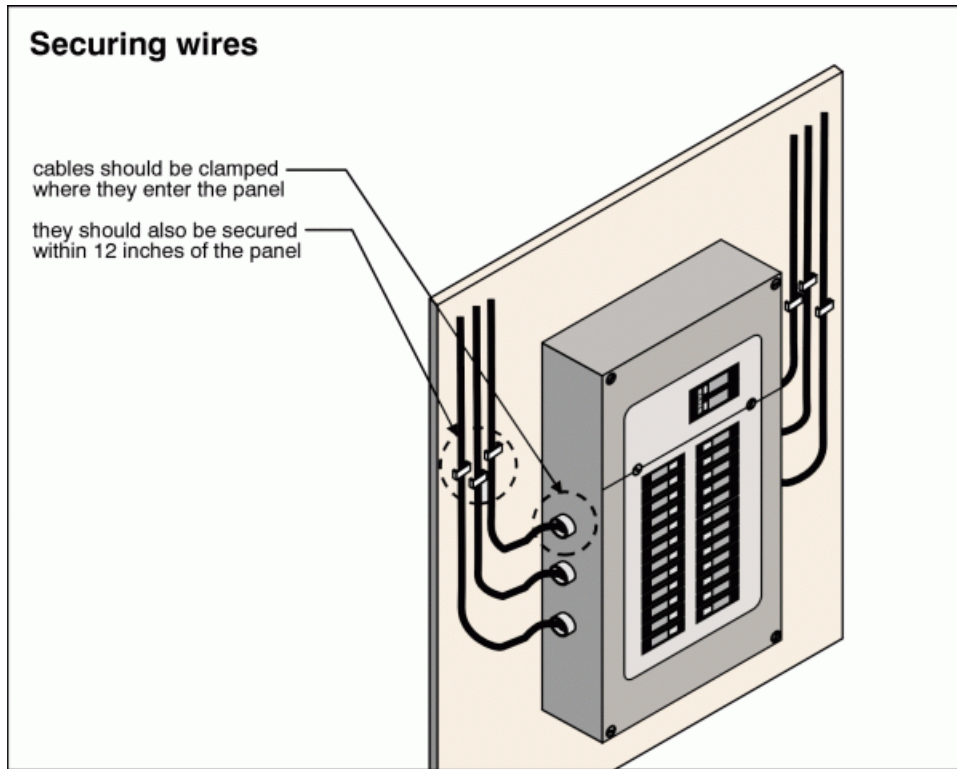
Task: Correct

Time: Unpredictable

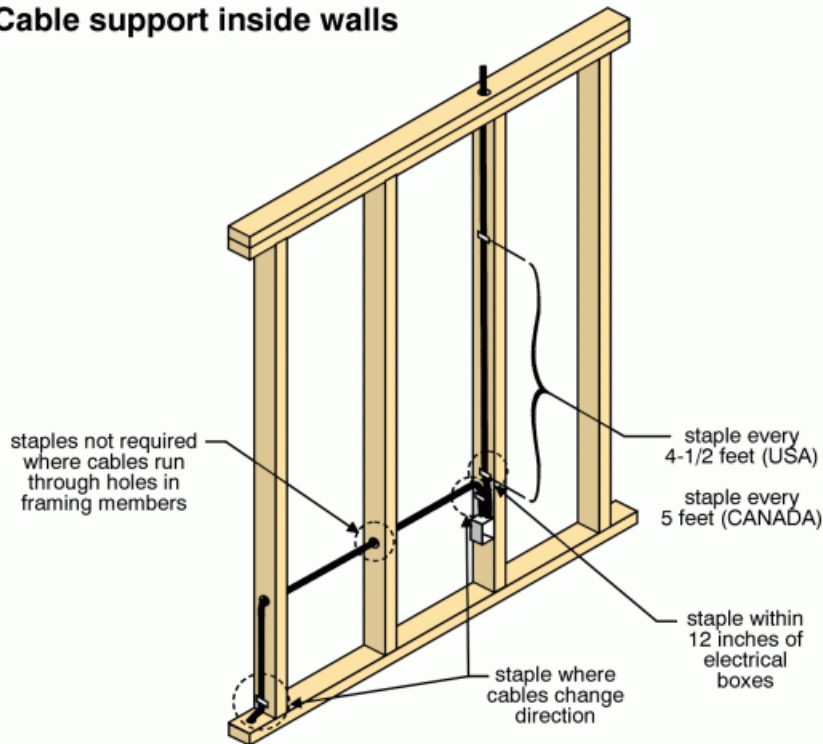
Securing wires

cables should be clamped
where they enter the panel

they should also be secured
within 12 inches of the panel



Cable support inside walls



58. Not well secured



59. Not well secured

24. Condition: • [Wrong type](#)

Adjacent to the kitchen sink drain.

Implication(s): Electric shock | Fire hazard

Location: Kitchen

Task: Replace

Time: If necessary

Common household wire and fuse sizes

14 AWG copper wire



common uses:

most circuits for lighting and receptacles, electric baseboard heaters

typical fuse/breaker size:

15 amps

10 AWG copper wire



common uses:

electric clothes dryers, air conditioners, water heaters

typical fuse/breaker size:

30 amps

12 AWG copper wire



common uses:

some receptacles, electric baseboard heaters, small air conditioners

typical fuse/breaker size:

20 amps

8 AWG copper wire



common uses:

electric stoves and ovens

typical fuse/breaker size:

40 amps

DISTRIBUTION SYSTEM \ Wiring - damaged or exposed

25. Condition: • [Exposed on walls or ceilings](#)

Implication(s): Electric shock

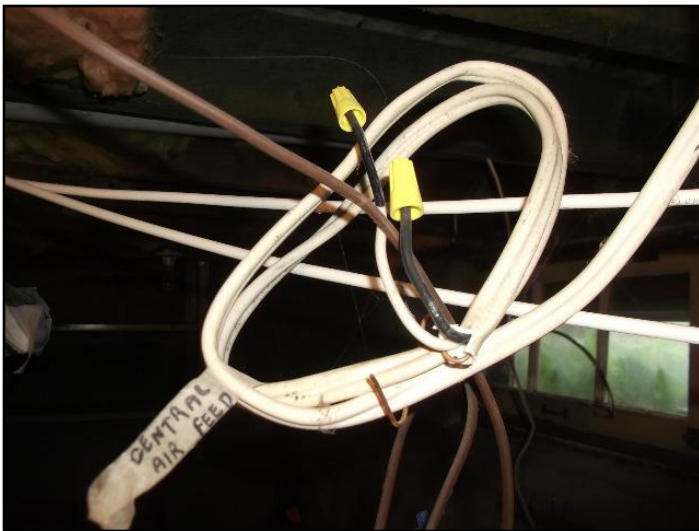
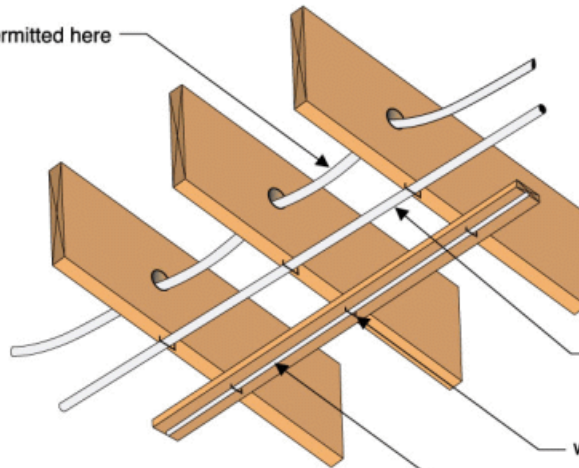
Location: Throughout Basement

Task: Correct

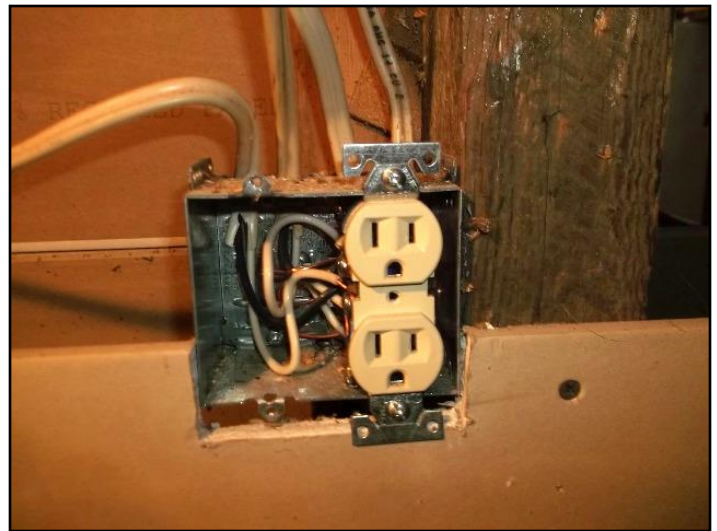
Time: Unpredictable

Wire installations below floors

all wires permitted here



60. Exposed on walls or ceilings



61. Exposed on walls or ceilings

DISTRIBUTION SYSTEM \ Junction boxes

26. Condition: • [Missing, loose](#)

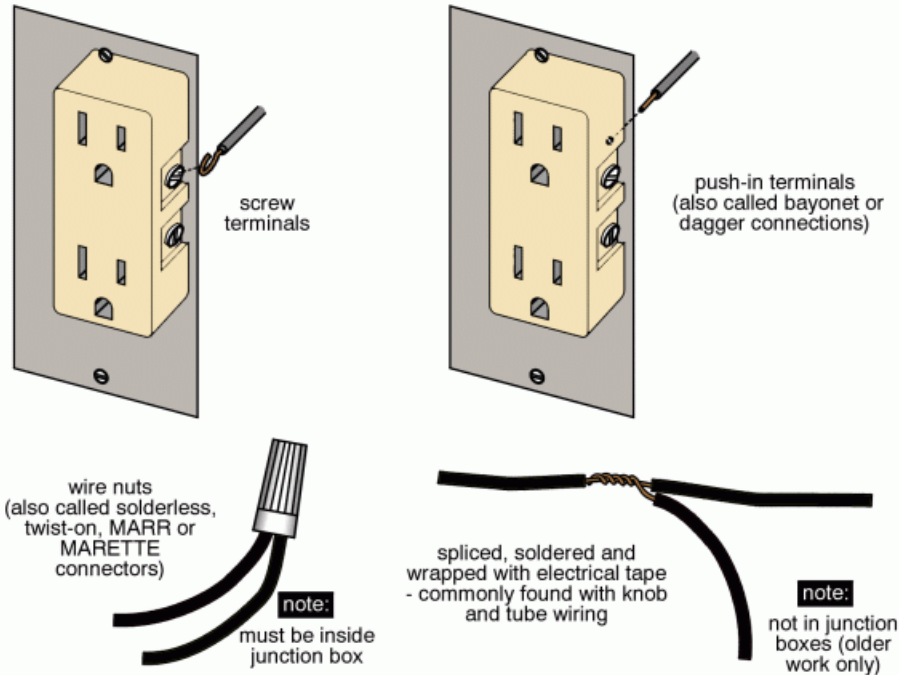
Implication(s): Electric shock | Fire hazard

Location: Center Basement

Task: Repair

Time: Unpredictable

Types of connections



62. Missing, loose

DISTRIBUTION SYSTEM \ Outlets (receptacles)

27. Condition: • Missing cover plate.

Location: East Second Floor Bedroom

Task: Replace

Time: Unpredictable

28. Condition: • Missing cover plate.

Location: Center Basement

Task: Replace

Time: Unpredictable

29. Condition: • [Open neutral](#)

Implication(s): Electric shock

Location: First Floor (west) Hall

Task: Repair

Time: Unpredictable

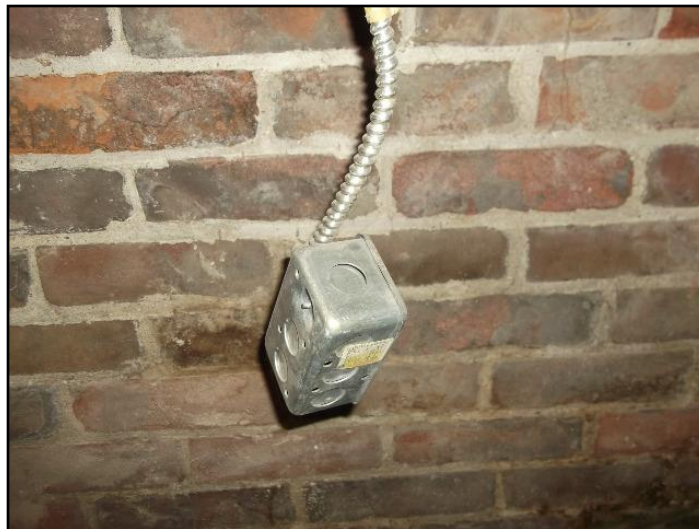
30. Condition: • [Loose](#)

Implication(s): Electric shock | Fire hazard

Location: Basement

Task: Repair

Time: Unpredictable



63. *Loose*

DISTRIBUTION SYSTEM \ Lights

31. Condition: • [Loose](#)

Implication(s): Electric shock | Fire hazard

Location: Second Floor Hallway

Task: Repair

Time: Regular maintenance



64. Loose

32. Condition: • [Missing](#)

Implication(s): Inadequate lighting

Location: West Exterior Wall

Task: Replace

Time: Regular maintenance



65. Missing

DISTRIBUTION SYSTEM \ Smoke detectors

33. Condition: • Smoke and Carbon Monoxide (CO) Detectors Smoke and carbon monoxide detectors should be provided at every floor level of every home, including basements and crawl spaces. (Even if they are present during the inspection, we recommend replacing detectors.) Smoke detectors should be close to sleeping areas, and carbon monoxide detectors should be in any room with a wood-burning stove or fireplace. These devices are not tested as part of a home inspection. Once you take possession of the home, detectors should be tested regularly, and replaced every 10 years. If unsure of the age of a smoke detector, it should be replaced. Smoke detector batteries should be replaced annually.

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Implication(s): Life Safety Issue

Location: Throughout interior

Task: Provide and/or replace.

Time: Unpredictable

Description

General: • Possible damper control for the previous heating system.



66. Upper bedroom (west) closet

General: • Furnace functioned: The furnace was tested and functioned as required.

System type: • Gas Fireplace

Note: The gas (or wood) fireplace in the basement did not appear to be connected to the chimney, possibly the east flue. Two metal flues were present in the chimney. The water heater is connected to the masonry chimney and the previous furnace may have been connected to the chimney also.

System type: • [Furnace](#)

Fuel/energy source: • The summary should not be read as a prediction of the remaining lifespan of the Heating System. Typical lifespans of equipment may range from 8-12 years, but there are many exceptions to this. Replacement of a compressor alone may very costly. We recommend that the client purchase a warranty or service contract to cover replacement or repair. Be advised that defects or failure can occur at any time, and that the inspection in no way lessens the risk or likelihood of repairs or replacements being needed at any time in the future, including the day after the inspection. Any mechanical equipment can fail without warning at any time. No report is made on the lack of regular service in the past. We recommend that all equipment be serviced twice a year according to manufacturers' recommendations. Regular service is very important for efficient operation and to achieve maximum lifespan.

Fuel/energy source: • [Gas](#)

Furnace manufacturer:

• Keeprite

Model number: H9MVX060F12A1 Serial number: A0921585783

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67. *Keeprite*

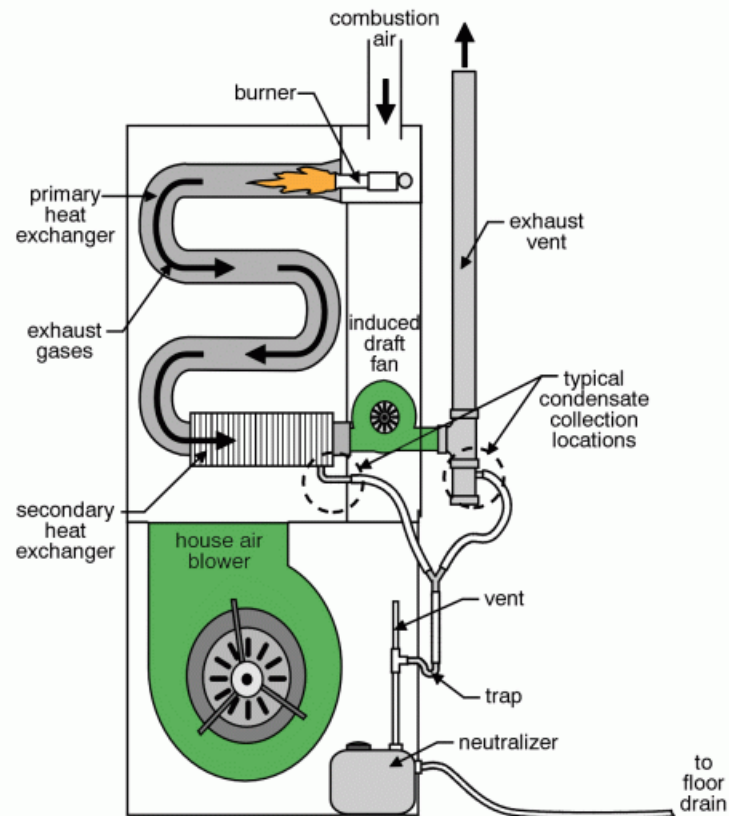
Heat distribution: • [Ducts and registers](#)

Approximate capacity: • [60,000 BTU/hr](#)

Efficiency:

• [High-efficiency](#)

Condensation in high efficiency furnaces



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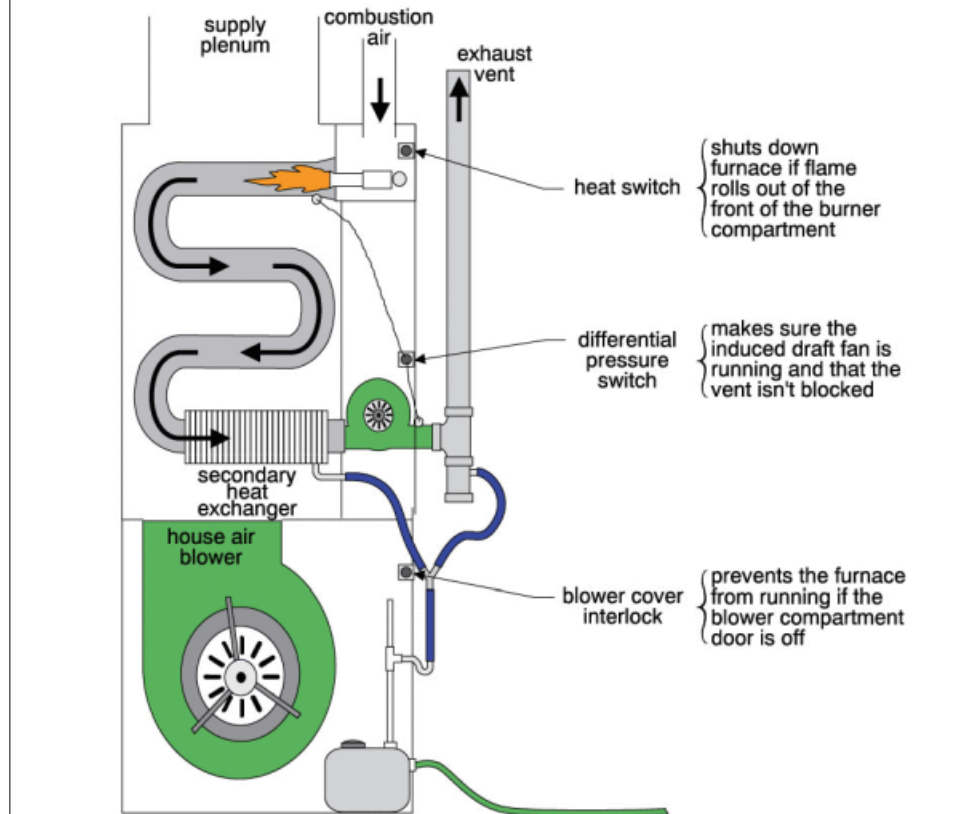
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Safety devices for high-efficiency furnaces



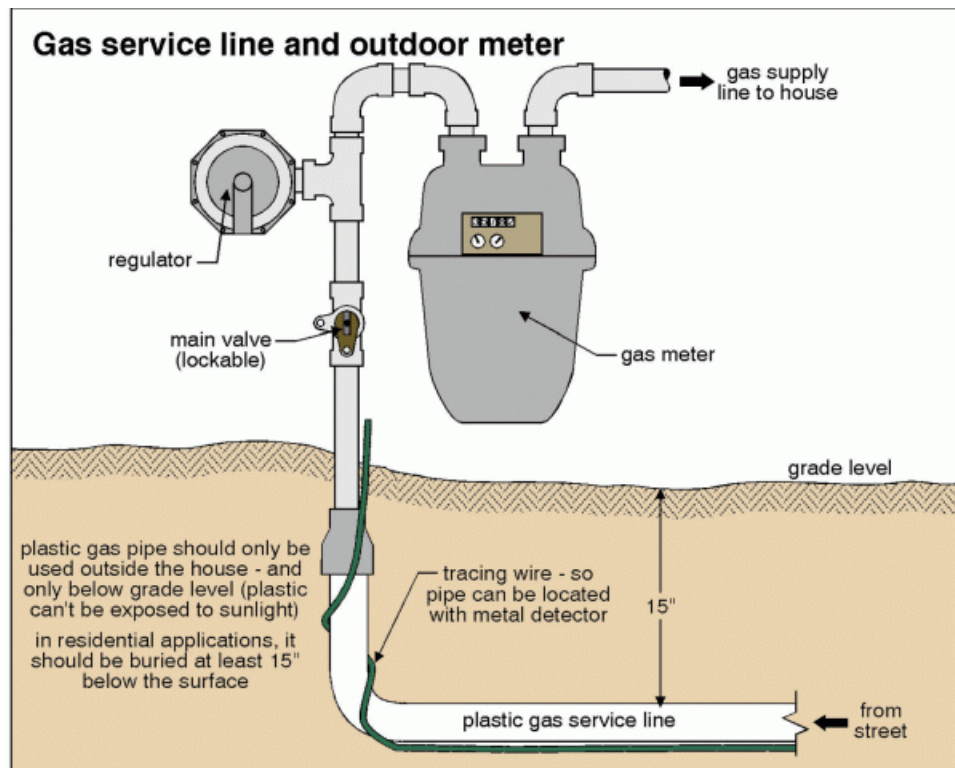
Exhaust venting method: • [Direct vent - sealed combustion](#)

Approximate age: • [7 years](#)

Typical life expectancy: • Furnace (high efficiency) 15 to 20 years

Main fuel shut off at:

- Meter



68. Meter

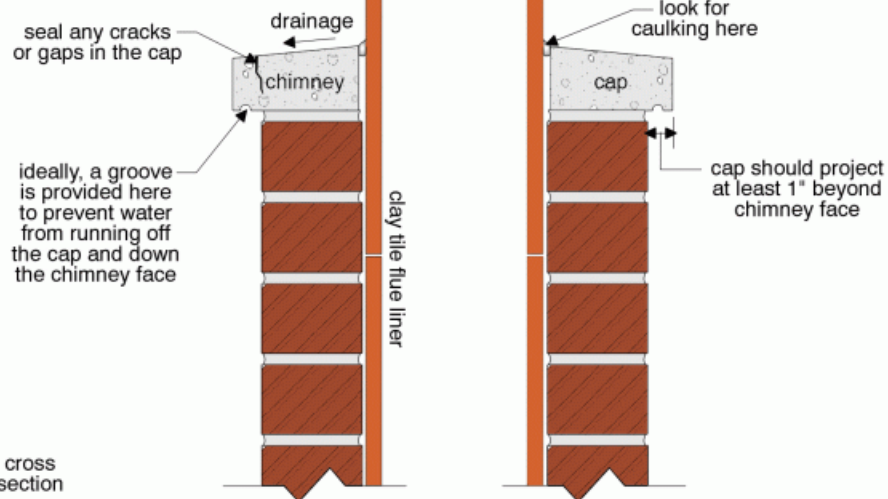
Exhaust pipe (vent connector): • PVC plastic

Chimney/vent: • Chimney clean-outs

Chimney/vent:

- [Masonry](#)

Chimney cap details



69. Masonry

Chimney liner:

- [Metal](#)
- [None](#)

East flue.

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70. None

Combustion air source:

- Outside - sealed combustion



71. Outside - sealed combustion

Humidifiers: • Humidifier



72. Humidifier

Limitations

General: • Humidifiers are not tested as part of a home inspection.

Safety devices: • Not tested as part of a building inspection

Heat exchanger: • Not visible

Recommendations

RECOMMENDATIONS \ Overview

34. Condition: • PLEASE NOTE: Our summary of the heating appliances and related components is strictly visual. We do not dismantle parts of these units because that should only be done by licensed HVAC technicians. If a furnace has a serious deficiency such as a cracked heat exchanger, we might or we might not see it because these parts are not usually readily visible. Our job is to verify that the heating units (furnaces, boilers, heat pumps, etc.) are performing their intended function. Beyond that, we advise you to have these appliances checked by a licensed HVAC technician prior to closing the house deal. We also recommend that any furnace older than fifteen years should have a thorough examination by a licensed HVAC before closing and each year thereafter.

Implication(s): Non-functioning furnace.

Location: Furnace

Task: Service annually

Time: Regular maintenance

GAS FURNACE \ Combustion air

35. Condition: • We recommend providing a PVC elbow to the furnace air intake.

Implication(s): Chance of entry by vermin or debris, non-functioning furnace.

Location: East Exterior Wall

Task: Provide

Time: Regular maintenance

GAS FURNACE \ Ducts, registers and grilles

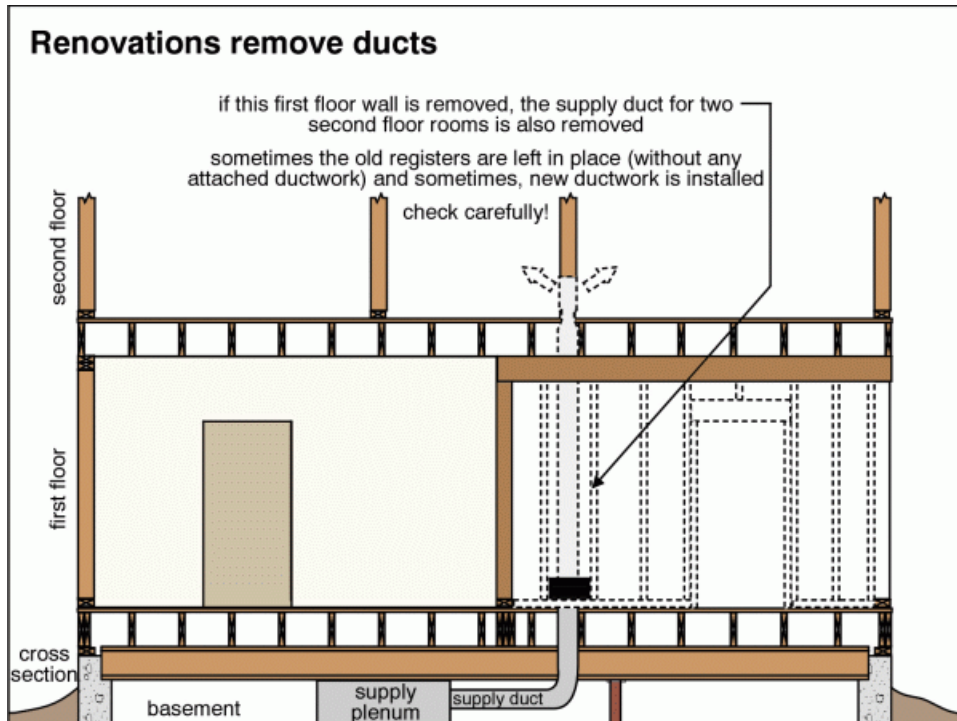
36. Condition: • [Disconnected ducts](#)

Implication(s): Increased heating costs | Reduced comfort

Location: North Basement

Task: Correct

Time: If necessary



73. Disconnected ducts

37. Condition: • [Poor location](#)

We suggest capping or removing the return air vent as the upper floors may be "short-circuited" by reduced

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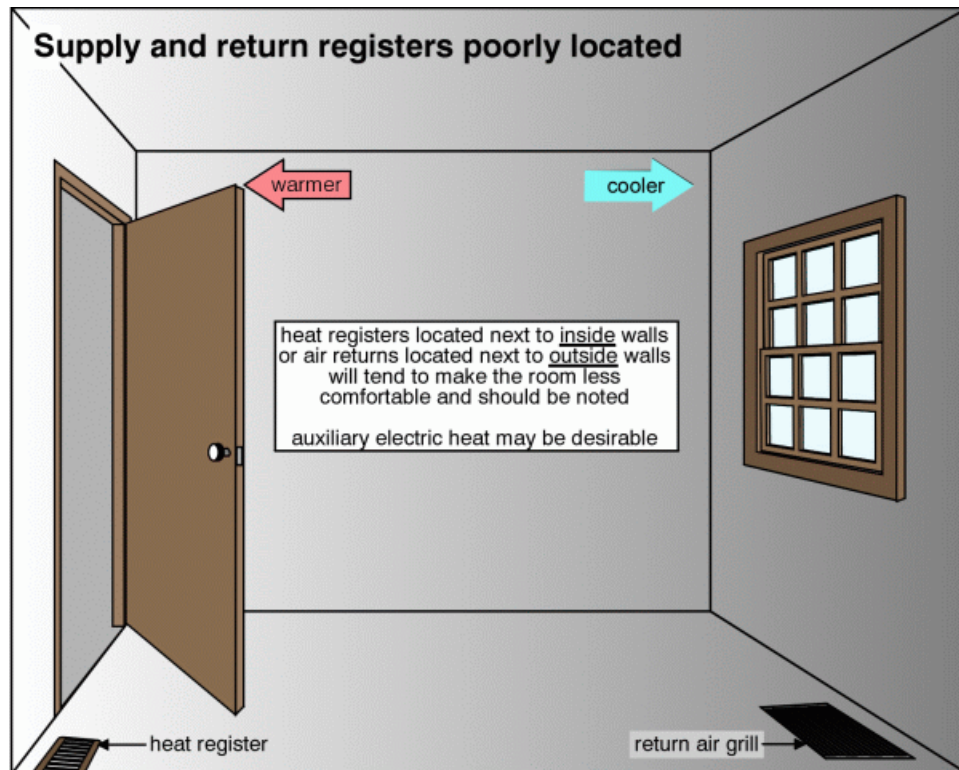
heat exchange or cooling.

Implication(s): Increased heating costs | Reduced comfort

Location: Basement

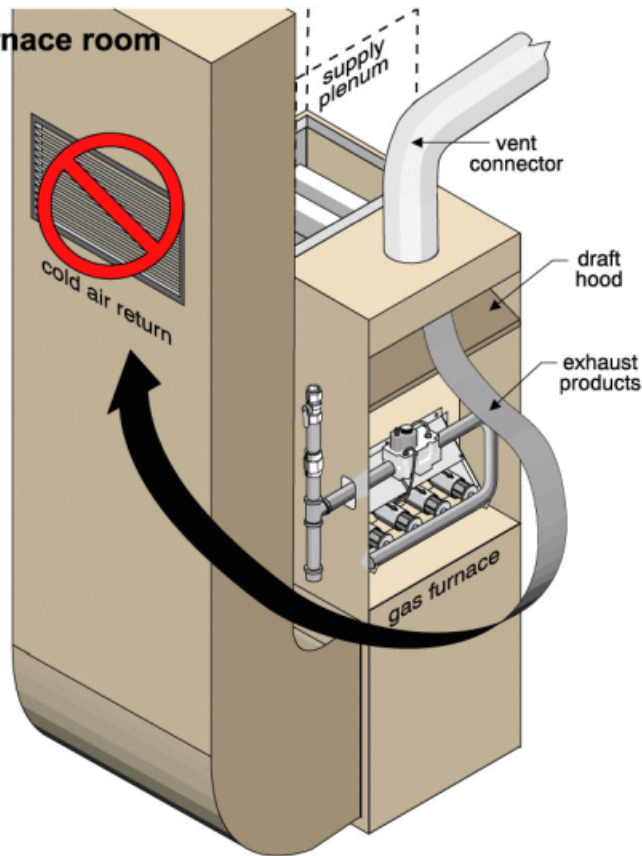
Task: Correct

Time: If necessary

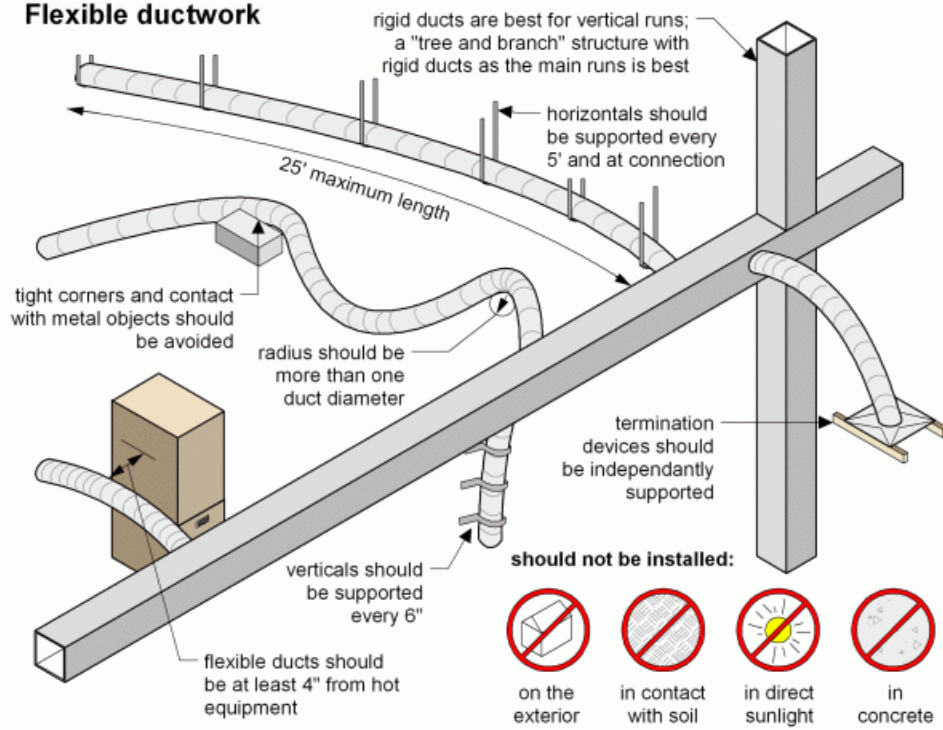


Return grille in furnace room

a return grille in the furnace room can allow the furnace blower to pull exhaust products out of the draft hood into the house air stream
this can be a life safety issue



Flexible ductwork





74. Poor location

CHIMNEY AND VENT \ Masonry chimney

38. Condition: • The flue which is open at the top of the chimney is also open in the basement and should be sealed to prevent entry by vermin or water.

Implication(s): Seal opening with metal.

Location: Basement

Task: Improve

Time: Unpredictable



75. Open chimney flue



76.

39. Condition: • We recommend removing the satellite dishes from the chimney.

Implication(s): Damaged masonry.

Location: Chimney

Task: Remove

Time: Unpredictable

CHIMNEY AND VENT \ Metal cap

40. Condition: • The top of the chimney was not sealed which may allow vermin or moisture entering the chimney and causing interior damage. We recommend either a qualified and licensed mason or other related specialist complete any necessary repairs.

Implication(s): Chance of interior damage.

Location: Chimney top

Task: Correct

Time: Unpredictable



77.

COOLING & HEAT PUMP

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Description

Air conditioning type: • Condensate drain • Supported on pad

Air conditioning type: • [Air cooled](#)

Cooling capacity: • [24,000 BTU/hr](#)

Compressor approximate age: • Keeprite

Model number: C4A424GKD200 Serial number: E090314497



78.

Compressor approximate age: • 7 years

Typical life expectancy: • 12 to 15 years

Limitations

Inspection limited/prevented by: • The condenser fan is not connected to the electrical or A/C systems.

Recommendations

AIR CONDITIONING \ Compressor

41. Condition: • The current location of the condenser fan is considered too close to the exterior wall and should be located farther for proper airflow and cleaning of the fins.

Implication(s): Reduced system efficiency, cleaning of fins not possible.

Location: East Exterior

Task: Correct

Time: Unpredictable

COOLING & HEAT PUMP

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INSULATION AND VENTILATION

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Description

Attic/roof insulation material: • [Glass fiber](#) • [Cellulose](#)

Attic/roof insulation amount/value: • [R-20](#)

Attic/roof air/vapor barrier: • [Not visible](#)

Attic/roof ventilation: • Gable vents.

Attic/roof ventilation:

- [Roof and soffit vents](#)
- Turbine vent



80. Turbine vent

Foundation wall insulation material:

- [Glass fiber](#)

Some areas of the exposed rim joist.

INSULATION AND VENTILATION

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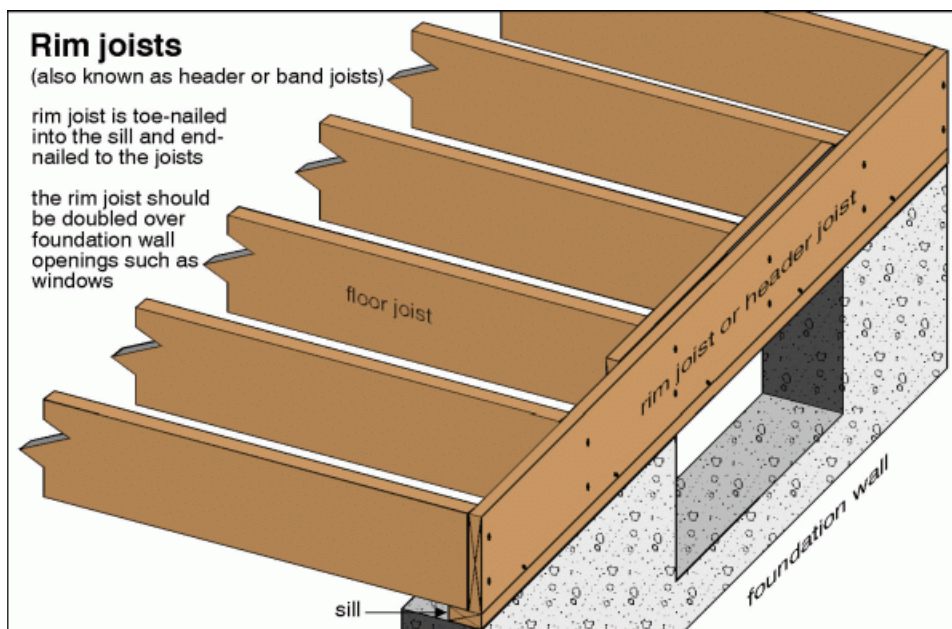
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Foundation wall insulation amount/value:

- [R-12](#)

Estimated value.

Limitations

Attic inspection performed: • From access hatch

Roof space inspection performed: • From access hatch

Roof ventilation system performance: • Adequate

Recommendations

RECOMMENDATIONS \ Overview

42. Condition: • In modern construction, exhaust fans are required in all bathrooms and kitchens. Exhaust fans play an important role in your home's ventilation system by removing moisture which can increase the level of humidity in your house. High humidity levels can damage building materials and cause mold growth which may harm your family's health. We recommend the installation of an exhaust fan in all bathrooms.

NOTE: Exhaust fans should be cleaned seasonally. Dirty exhaust louvers can reduce air flow by more than 50 per cent. Most fans can be cleaned by pulling down the grill, unplugging the fan and removing the fan module. The exterior flaps and dampers should also be cleaned seasonally. Check the duct for nesting materials and make certain the damper or flap in the weather hood is clean and functioning. The damper will reduce the amount of air infiltration. The exhaust fans should be cleaned on an annual basis.

Description

General: • Water was run through all of the plumbing fixtures and all fixtures functioned as required.

General: • Wells, septic systems, sewer lines, water lines outside the house perimeter, and water treatment equipment are not inspected and are expressly excluded from the inspection and report. We recommend that well water be tested by local health authorities. No water testing of any type is performed. If the house has a septic system, inspection and pumping by a septic tank contractor should be done before closing. Septic tanks need regular pumping.

General: • Water temperature:

Note: 128 degrees F.

Water supply source: • Public

Service piping into building: • [Plastic](#)

Supply piping in building:

• [Copper](#)

• [Plastic](#)



81. Plastic

Main water shut off valve at the: • Northeast basement



82.

Water flow and pressure: • [Functional](#)

Water heater type: • [Conventional](#) • Owned

Water heater fuel/energy source: • [Gas](#)

Water heater exhaust venting method:

• Natural draft



83. *Natural draft*

Water heater manufacturer: • Richmond



84.

Tank capacity: • [30 gallons](#)

Water heater approximate age: • 2 years

Typical life expectancy: • 8 to 12 years

Waste disposal system: • [Public](#)

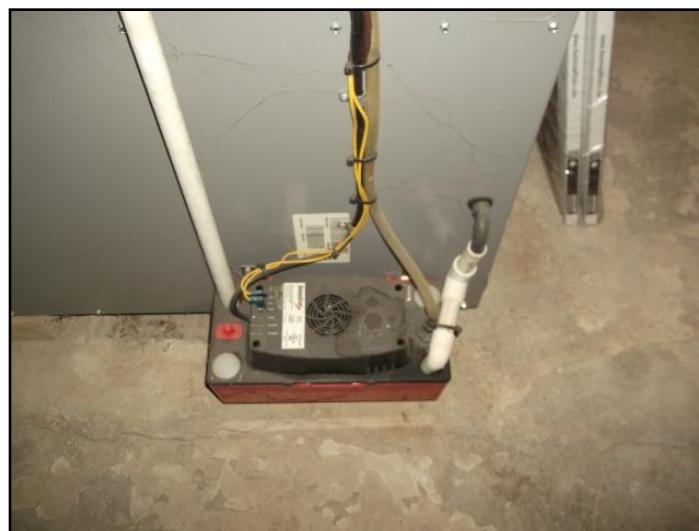
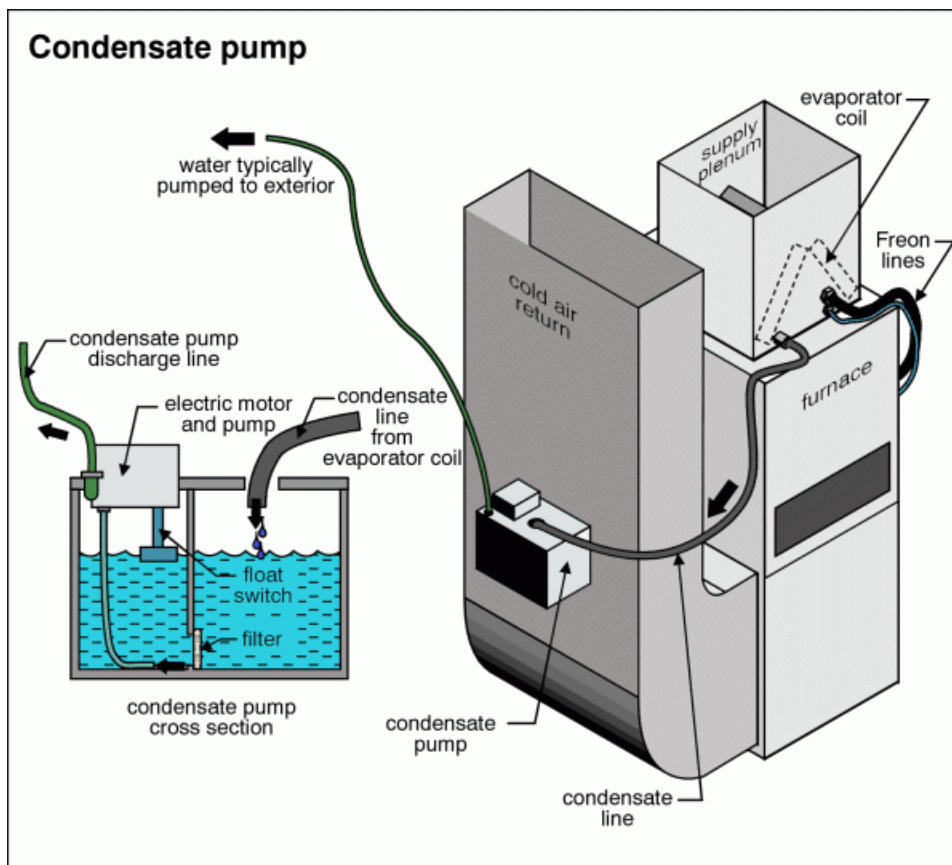
Waste and vent piping in building: • Waste Piping



85. Waste Piping

Waste and vent piping in building: • [ABS plastic](#) • [Cast Iron](#)

Pumps: • Condensate pump for furnace and air-conditioner.



86. Condensate pump for furnace and...

Pumps:

- [Laundry tub pump](#)

The laundry tub did not appear to have the water supply activated. The pump could not be tested.



87. Laundry tub pump

• [Sump pump](#)

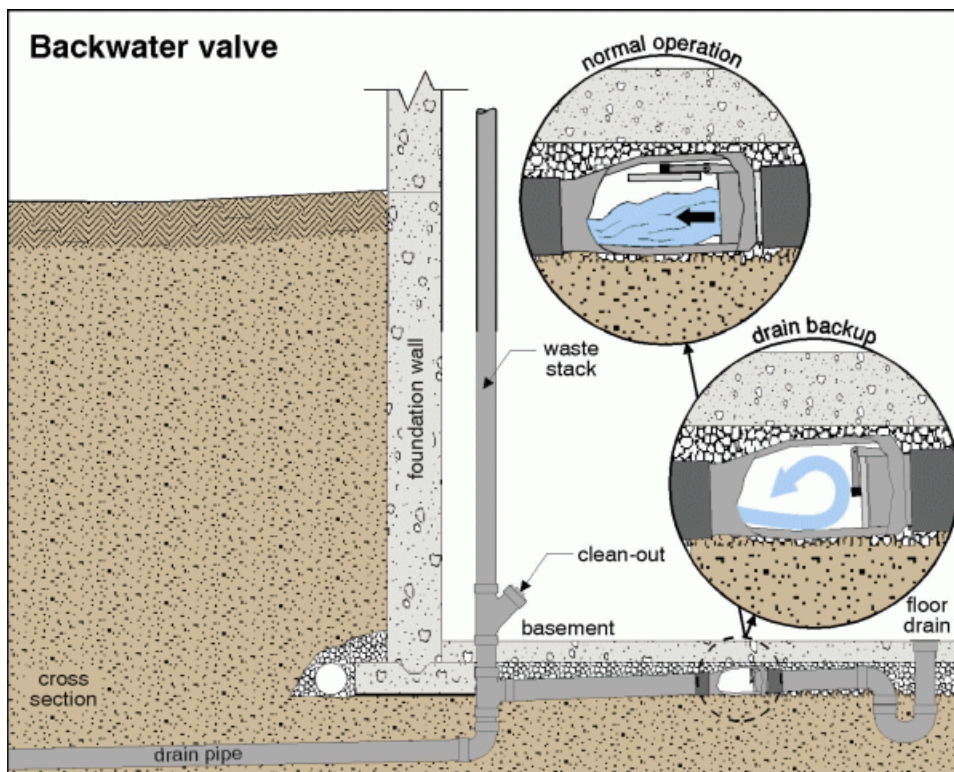
The sump pump operated as required. A check valve was present. A back up system was observed. The cover was missing.



88. Sump pump

Gas piping: • Steel • Copper • CSST (Corrugated Stainless Steel Tubing)

Backwater valve: • Not visible.



Limitations

Fixtures not tested/not in service: • Laundry tub • Outdoor faucet (hose bibs/bibbs) shut off for winter

Items excluded from a building inspection: • Sump-pump backup systems.

Items excluded from a building inspection: • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains

Recommendations

RECOMMENDATIONS \ Overview

43. Condition: • The U.S. Consumer Product Safety Commission (CPSC) estimates that in 1997, there were 16,700 fires, 30 deaths and 430 injuries associated with clothes dryers. Some of these fires occur when lint builds up in the filter or in the exhaust duct. Under certain conditions, when lint blocks the flow of air, excessive heat build-up can cause a fire in some dryers. We recommend the replacement of the existing coiled metal ducting or plastic coiled ducting with smooth metal.

44. Condition: • Plumbing repairs and maintenance should be completed by qualified and insured plumbers.

WATER HEATER \ Temperature/pressure relief valve

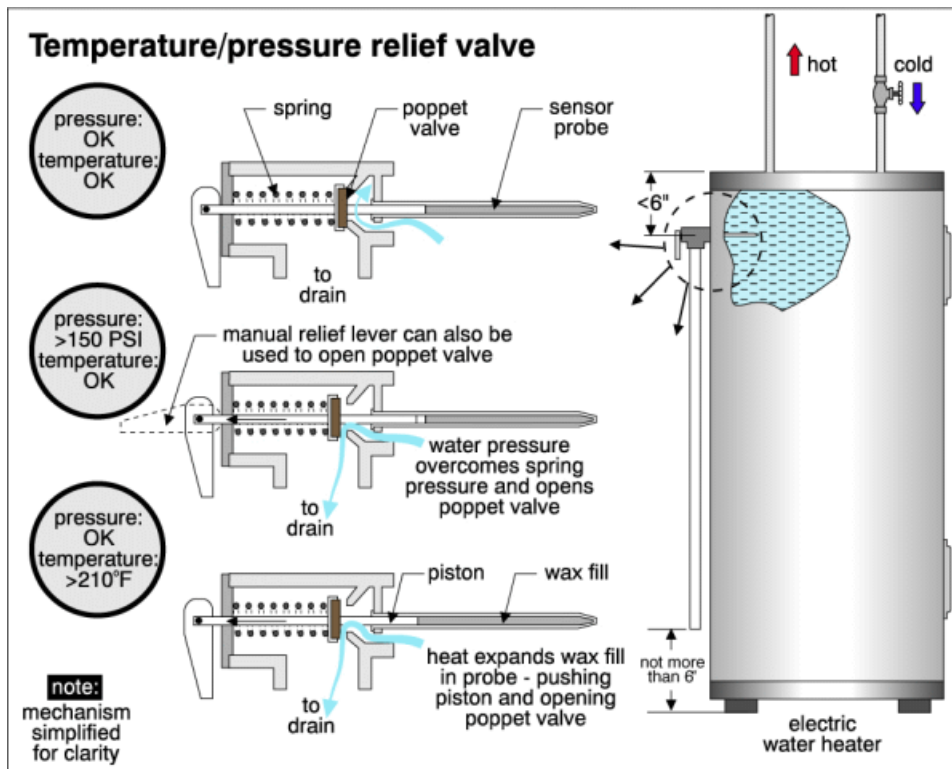
45. Condition: • [Discharge tube missing](#)

Implication(s): Scalding

Location: Basement

Task: Provide

Time: Unpredictable



89. Discharge tube missing

WASTE PLUMBING \ Drain piping - installation

46. Condition: • [Poor support](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Sewage entering the building

Location: Northeast Basement

Task: Improve

Time: Unpredictable



90. Poor support

WASTE PLUMBING \ Sump pump

47. Condition: • [Lid missing, rotted or not secure](#)

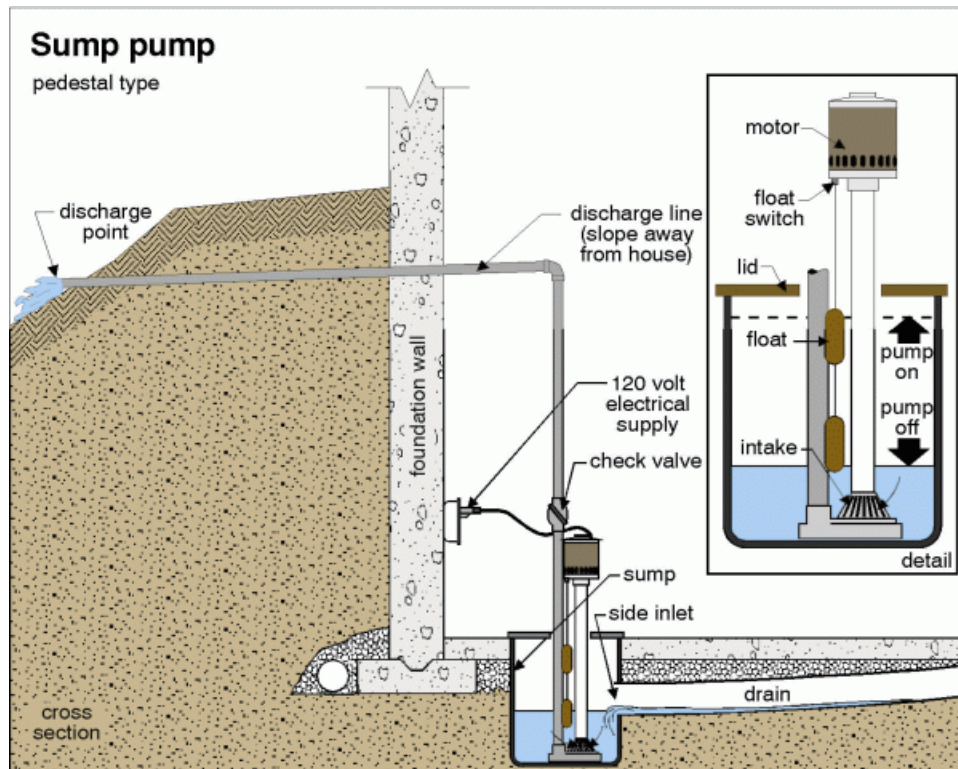
We recommend providing a cover to help prevent debris from falling into the pit and preventing the pump from operating and allowing water spill into the basement.

Implication(s): Trip or fall hazard

Location: Northeast Basement Laundry Area

Task: Provide

Time: Unpredictable



FIXTURES AND FAUCETS \ Basin, sink and laundry tub

48. Condition: • The laundry tub appeared to be damaged and may require replacement.

Implication(s): Inoperable or leaking.

Location: Basement Laundry Area

Task: Replace

Time: If necessary



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FIXTURES AND FAUCETS \ Shower stall

49. Condition: • The showerhead sprays water onto the wood window sill and wall and may eventually damage the surfaces.

Implication(s): Chance of spore growth (mould) or damaged window trim or frame.

Location: Second Floor Bathroom

Task: Correct

Time: Unpredictable

Description

General: • PLEASE READ - THIS IS VERY IMPORTANT

1. The report, issued by the inspector, is prepared with reasonable skill and care within the limitations of a visual inspection on the inspection date.
2. The required repairs to the building include, but are not limited to, what is reported herein due to the limitations of a visual inspection.
3. The inspector's role is principally educational; to provide you with a better understanding of the building.
4. The inspection is partially designed to reduce the risk of buying a pre-owned home; however, we cannot eliminate the risk. The inspection and report are based on visible and apparent conditions at the time of the inspection. Conclusions made by the inspector do not constitute a warranty, guarantee, or policy of insurance.
5. The limitations of this inspection include the allotment of time allowed on the site by others and the restrictive nature of a visual inspection.
6. The inspection does not cover code compliance issues set by governments or other regulatory authorities. Building codes may be referenced herein; however, this report is not, and should not be construed as, a code compliance inspection. Code compliance inspections are available upon arrangement and at additional expense.
7. Notwithstanding the provisions of any applicable statute, the sole and exclusive remedy available to the Client is damages in an amount not to exceed the fees actually paid by the Client for services, and all other remedies, statutory or otherwise, are hereby expressly waived by Client.
8. If a claim is made against Bluewater Property Consultants for any alleged error or omission or other act arising out of the performance of this inspection, and if Client fails to prove such claim, Client agrees to pay all costs and attorney's fees and lost time actually incurred by Bluewater Property Consultants, its principals, agents and employees.

General: • Interior



92. Interior



93. Interior

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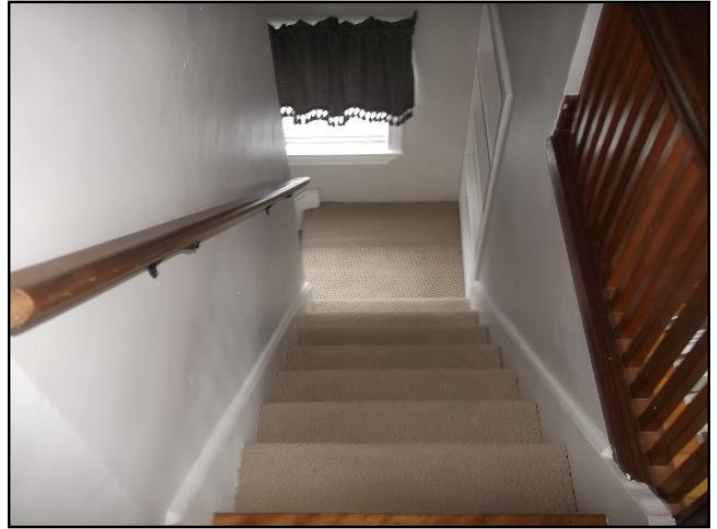
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94. Interior



95. Interior



96. Interior



97. Interior

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98. Interior



99. Interior



100. Interior



101. Interior



102. Interior



103. Interior

Major floor finishes: • [Carpet](#) • [Hardwood](#) • [Concrete](#) • Vinyl

Major wall finishes: • Wallpaper

Major wall finishes: • [Plaster/drywall](#) • [Paneling](#)

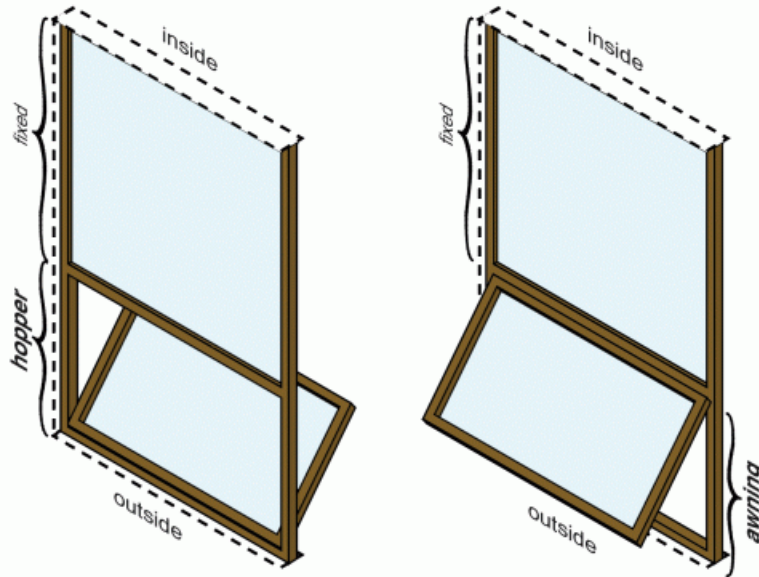
Major ceiling finishes: • [Plaster/drywall](#) • [Stucco/texture/stipple](#) • [Acoustic tile](#)

Windows: • Numerous windows were tested and functioned as required. The older windows will require continual maintenance to maintain their service life. • Sashless. • Aluminum capping trim • Wood frames • Metal storm units

Windows:

- [Fixed](#)
- [Single/double hung](#)
- [Sliders](#)
- [Awning](#)

Awning and hopper windows

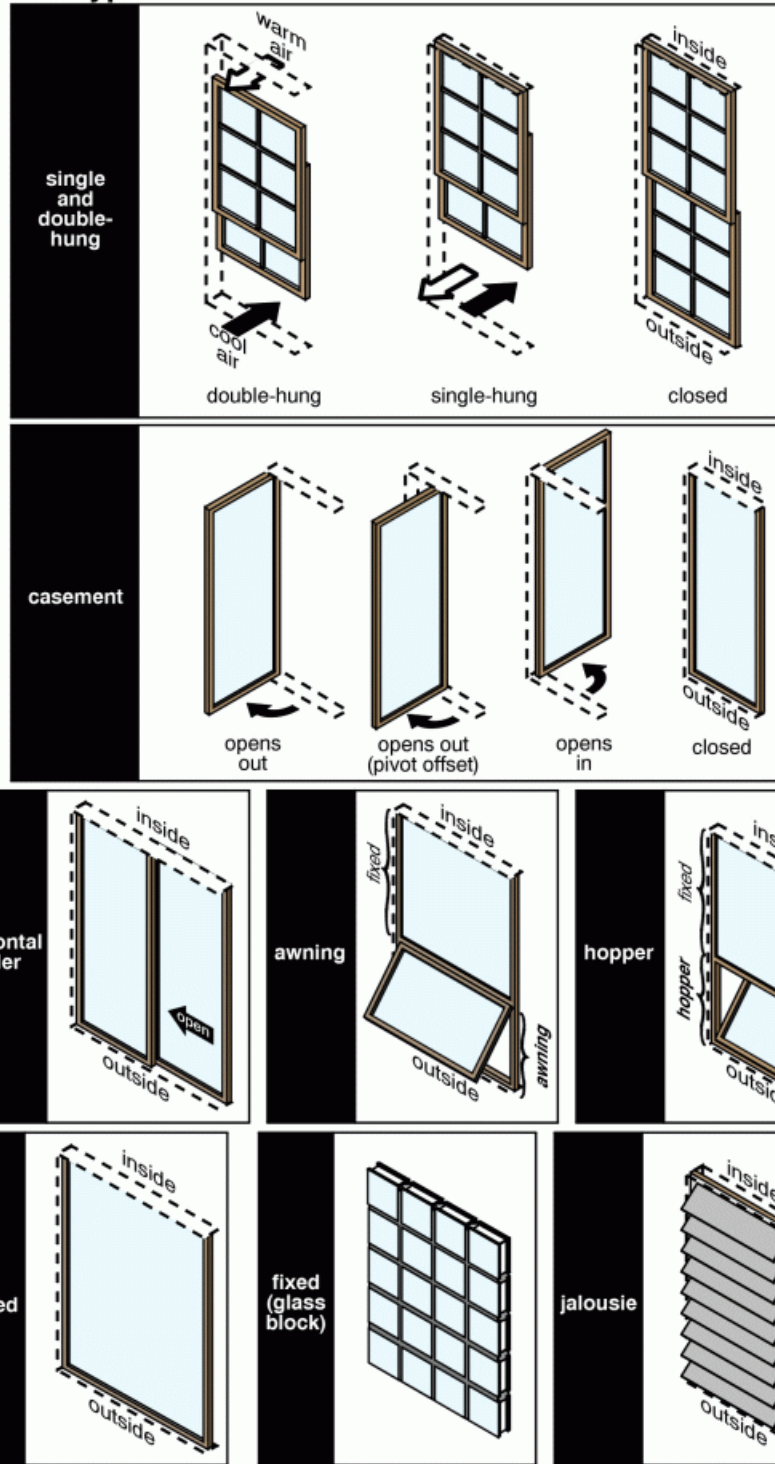


- Wood
- Vinyl

Glazing:

- [Single](#)
- [Double](#)

Window types



Exterior doors - type/material: • Insulated metal • Aluminum capping trim

Exterior doors - type/material: • [Sliding glass](#) • [Wood](#) • Garage door - metal

Doors: • Inspected

Kitchen ventilation: • Microwave

Kitchen ventilation: • Recirculating type

Bathroom ventilation: • None

Counters and cabinets: • Inspected

Stairs and railings: • Inspected

Limitations

Not included as part of a building inspection: • We do not inspect for or comment on the presence or absence of pests such as wood damaging organism, rodents or insects.

Not included as part of a building inspection: • Carbon monoxide detectors, security systems, central vacuum • Central vacuum systems • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any

Recommendations

General

50. • We operate a random number of doors and windows.

It is important to understand that the seals in thermal pane windows can be bad without having a visible amount of condensation built up internally. In some instances we might not be able to disclose this condition, particularly if the windows are dirty. Thermal expansion and contraction of the home due to temperature changes can cause the seals to go bad at any time. Replacement from time to time should be expected. Fogged panels do no structural harm; however, they are not functioning as intended. If you want to see through the panels, and if you want the higher insulation value of double-pane glass, the fogged panels should be replaced. Fogged window panels are a very common problem with double-glazed windows. The windows fog when the seal breaks between the two panes of glass. This can happen instantaneously, without warning. Although we make an effort to locate and note fogged panels, fogging often is not clearly visible under some lighting conditions.

Track cleaning and hardware lubrication, annually.

RECOMMENDATIONS \ Overview

51. Condition: • Minor cracks are found on interior surfaces in all buildings and are typically cosmetic in nature. This type of cracking is usually caused by settlement and/or shrinkage of building components. Small cracks of this type are not mentioned in the report. The condition of floors underneath carpet and other coverings cannot be determined and is excluded from the inspection and report.

52. Condition: • A FEW WORDS ABOUT ENVIRONMENTAL RISKS: BLUEWATER PROPERTY CONSULTANTS will employ a certified subcontractor to perform Radon screenings (for an extra charge) at the customer's request.

If there is good reason to suspect that a furnace might produce Carbon Monoxide in the house, we recommend further investigation by a qualified technician. We strongly recommend that you purchase and install one or more carbon monoxide detectors, so carbon monoxide can be continuously monitored.

Some of our clients are concerned about the presence of Urea Formaldehyde Foam and spores (moulds, fungi) in their new houses. At their request and expense, we will investigate, and arrange professional analysis if any suspicious samples are uncovered.

Other than the above tests, no screening for toxins, spores (moulds, bacteria and fungi), carcinogens, or other health hazards (chemical pollutants such as gases, vapours and particles such as ozone, volatile organic compounds, lead, nitrogen dioxide and radiological substances such as radon) are offered, and none is conducted during the inspection. We may comment on the visible existence of stained or moisture-damaged surfaces. Laboratory analysis of samples of the stained or moisture-damaged materials is the sole method of verification of any suspect spores, stained or damaged materials.

The following information might help to put this all in perspective:

Many, but not all, pre-1980 houses have lead-based paint on interior and exterior surfaces. Lead-laced dust is sometimes created in renovation or repainting projects. It is also possible that some lead dust could be created by moving parts such as windows sashes.

Lead might also be present in tap water, particularly in houses built before 1960. Consult your local water utility or a private lab regarding a lead test for tap water. Breathing or ingesting lead can lead to lead poisoning. Children are particularly subject to lead poisoning, and if pregnant women inhale or ingest lead, their fetus could be harmed. Risks of lead poisoning in houses is a subject of significant social, political, and medical debate. Some people are inordinately alarmed; others are unnecessarily cavalier. Common sense dictates that pregnant women stay away from lead dust, and that children should have their blood lead levels tested. This is an inexpensive test.....consult your physician.

Many, but not all, pre-1980 houses contain Asbestos. We do not perform any tests or screenings to confirm or rule out the presence of asbestos. Many older building products, including, but not limited to insulation, flooring products, patching plaster, window putty, roofing products, exterior siding and interior fiberboard finishes contained asbestos. If you suspect the presence of asbestos in any material, do not disturb the material. Consult with an environmental engineer or asbestos remediation contractor to confirm or rule out the presence of asbestos, and for advice on how best to deal with any asbestos which might be present.

Notwithstanding the above, please bear in mind that everyday activities, such as driving a car, generally pose much more risk to health and life than things such as lead or asbestos.

Unknown feces was present in the south knee wall space. We recommend a specialist (Possibly Orkin or other professional pest control company) review the condition, remove the feces and seal all possible entry points for the vermin to enter the interior space.

Implication(s): Possible health issue.

Location: Front Knee wall

Task: Further evaluation

Time: Unknown



104.

53. Condition: • No interior recommendations are offered as a result of this inspection.

WINDOWS \ General

54. Condition: • Painted shut

The wood-framed windows were painted shut. We suggest servicing the windows to again operate as intended.

Implication(s): Nuisance | Equipment inoperative

Location: East & West Second Floor Bedroom

Task: Correct

Time: Regular maintenance

DOORS \ Doors and frames

55. Condition: • [Damage](#)

The door did not functional well and appeared to have been repaired in the past.

Implication(s): Material deterioration | Increased heating and cooling costs | Reduced comfort

Location: East Garage (east wall)

Task: Repair or replace

Time: Regular maintenance

STAIRS \ Handrails and guards

56. Condition: • [Missing](#)

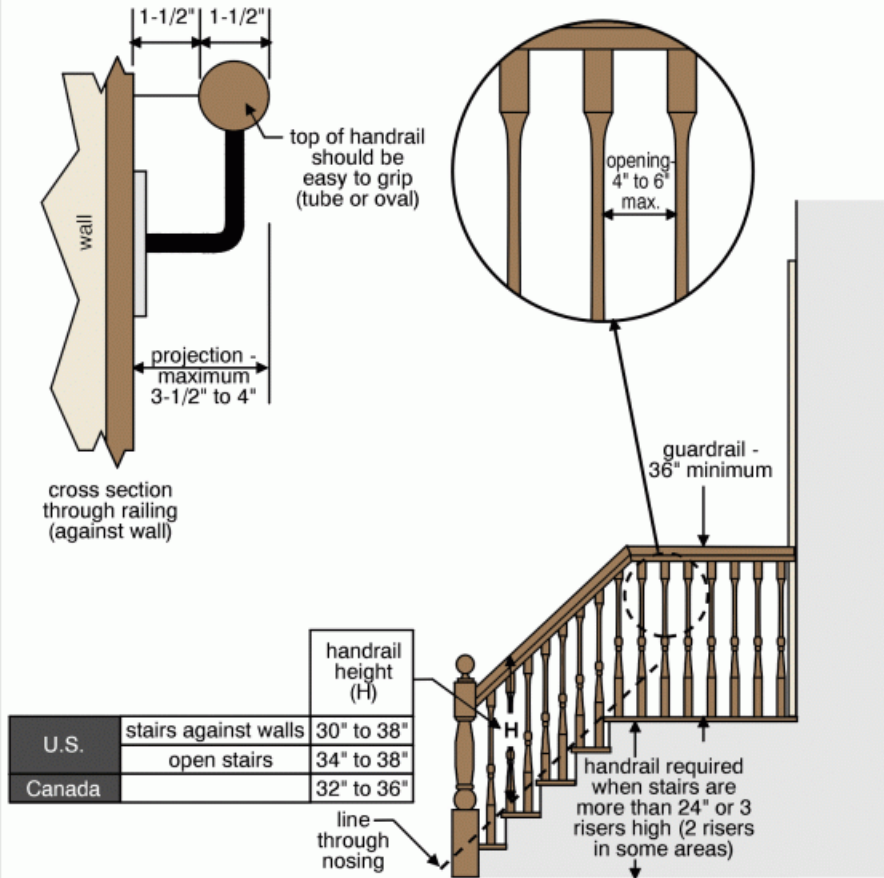
Implication(s): Fall hazard

Location: Basement

Task: Provide

Time: Unpredictable

Handrails and guards



105. Missing

STAIRS \ Guardrails

57. Condition: • [Loose](#)

We recommend a qualified and competent trim carpenter or building specialist complete the repairs.

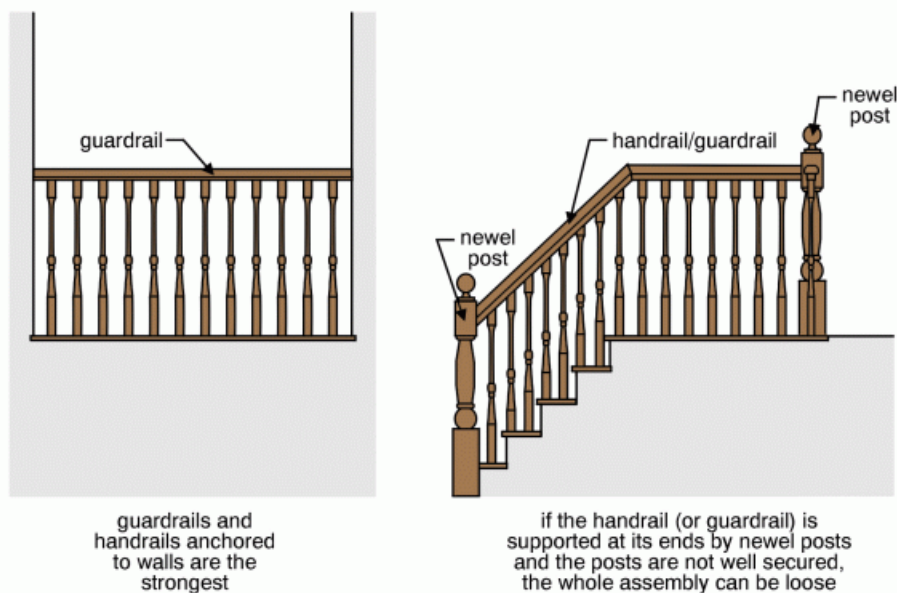
Implication(s): Fall hazard

Location: Second Floor

Task: Repair

Time: Unpredictable

Handrail support



106. Loose

EXHAUST FANS \ Kitchen range exhaust system

58. Condition: • We recommend providing an exhaust system which expels the air from the kitchen directly outdoors due to the presence of the gas stove.

Implication(s): CO2 gases remaining in the home.

Location: Kitchen

Task: Improve

Time: Unpredictable

APPLIANCES \ Dryer

59. Condition: • Damage

We suggest replacing the vent to help prevent entry by debris or vermin and chance of interior damage or non-functioning dryer.

Implication(s): Reduced operability

Location: East Exterior Wall

Task: Replace

Time: Regular maintenance



107. *Damage*

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS