



Your Inspection Report

123 Main Street
Tampa, FL 33619

PREPARED FOR:
SAMPLE CLIENT

INSPECTION DATE:
Wednesday, July 6, 2016

PREPARED BY:
Tom Frey



Florida Building Inspection Group
PO Box 1633
Riverview, FL 33568

(813) 409 3249
Fax: (813) 436-5260
flbigroup.com
Clientcare@FLBIGroup.com

When your building needs to be investigated call the FBI...Group!

SUMMARY

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

flbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Exterior

WALLS \ EIFS and Stucco

Condition: • [Minor cracks](#)

Implication(s): Shortened life expectancy of material



1. Minor cracks



2. Minor cracks



3. Minor cracks



4. Minor cracks

EXTERIOR GLASS/WINDOWS \ Exterior trim

Condition: • [Damage](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

SUMMARY

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

flbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE



5. Damage

EXTERIOR GLASS/WINDOWS \ Storms and screens

Condition: • [Torn or holes](#)

Implication(s): Chance of pests entering building



6. Torn or holes

LANDSCAPING \ General

Condition: • [Trees or shrubs too close to building](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Chance of pests entering building | Material deterioration

SUMMARY

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

flbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

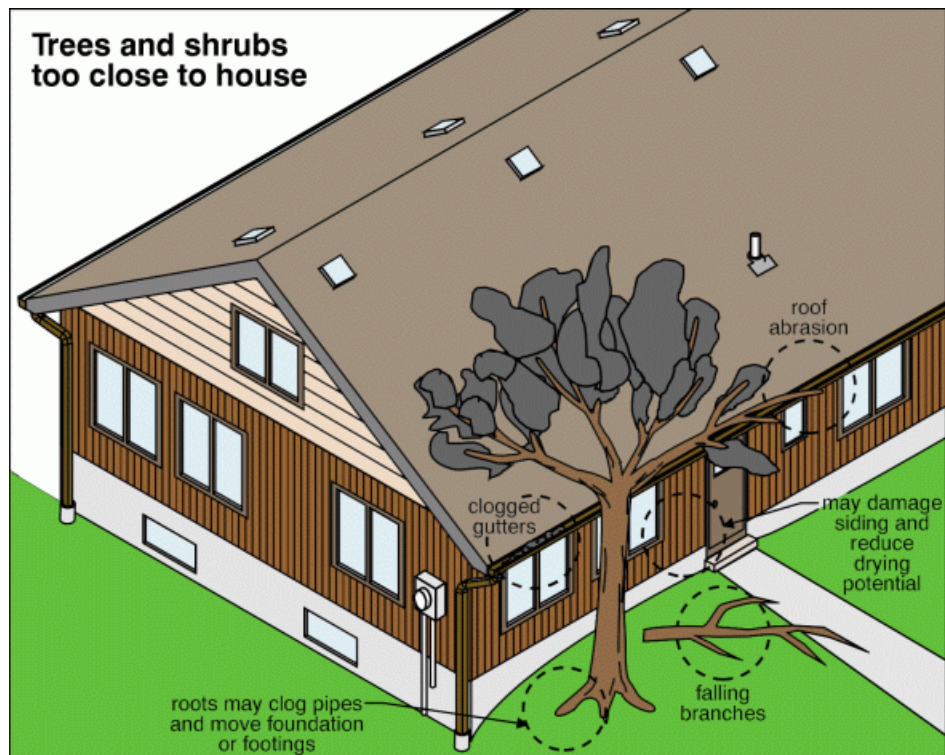
INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE



7. Trees or shrubs too close to building

SUMMARY

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

flbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

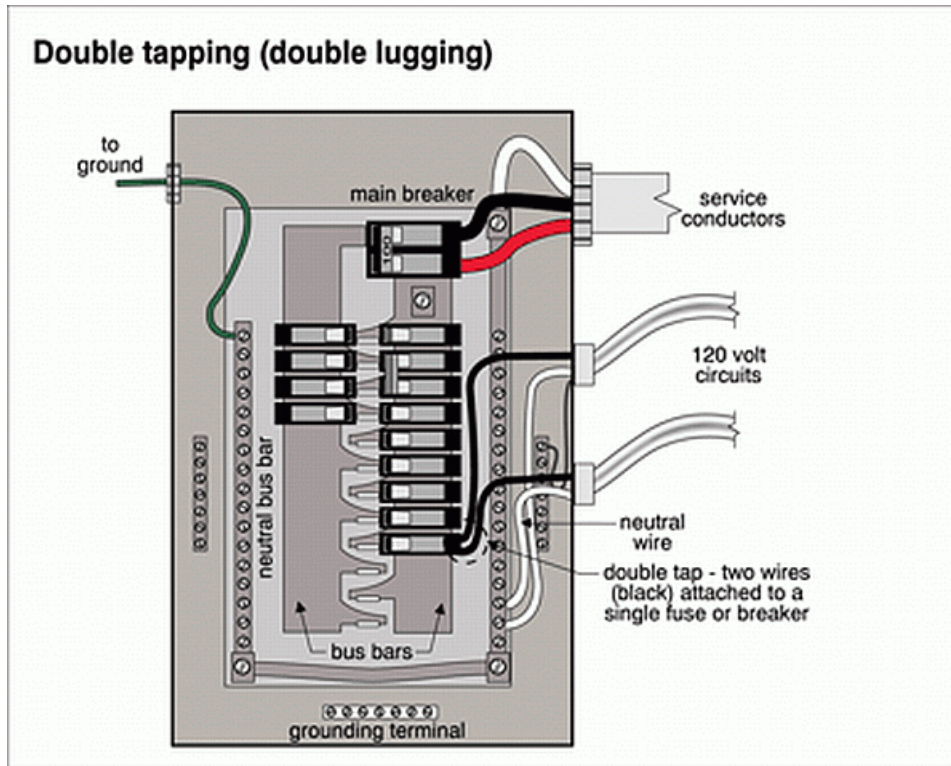
REFERENCE

Electrical

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

Condition: • [Double taps](#)

Implication(s): Fire hazard



8. Double taps

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • [Reversed polarity](#)

SUMMARY

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

flbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

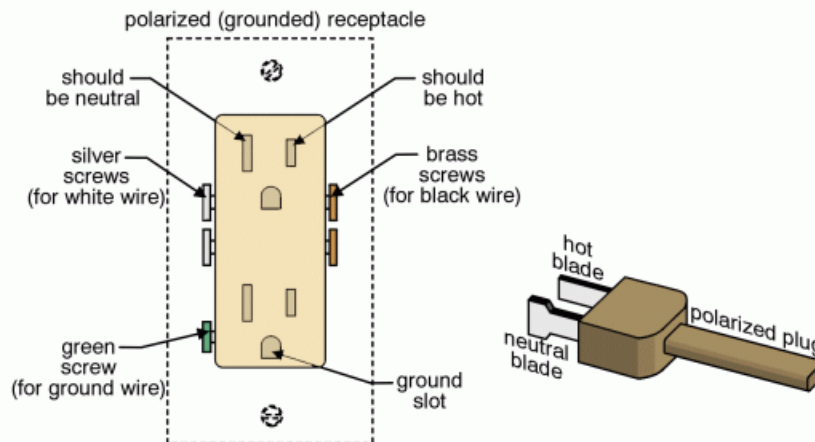
INTERIOR

POOLS & SP

REFERENCE

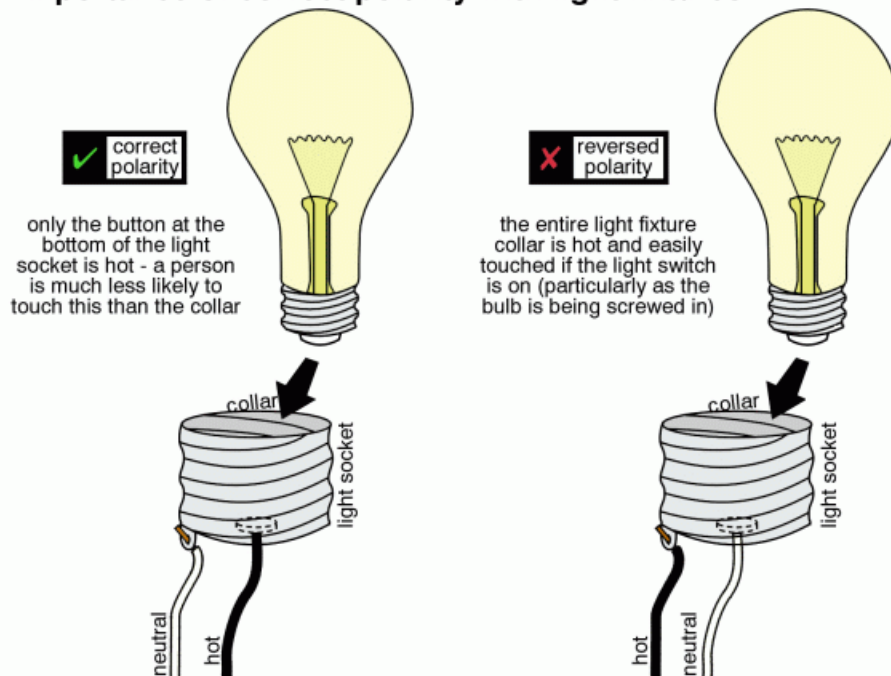
Implication(s): Electric shock

Reversed polarity



when the polarity is reversed, the wide receptacle slot is (incorrectly) hot and the narrow slot is neutral - this is not uncommon when people forget that the black wire should be attached to the receptacle's brass screws

Importance of correct polarity with light fixtures



SUMMARY

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

flbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE



9. Reversed polarity

DISTRIBUTION SYSTEM \ Cover plates

Condition: • Weather protection needed



10. Weather protection needed

Heating

ELECTRIC FURNACE \ Mechanical air filter

Condition: • [Dirty](#)

Implication(s): Increased heating costs | Reduced comfort

SUMMARY

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

flbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

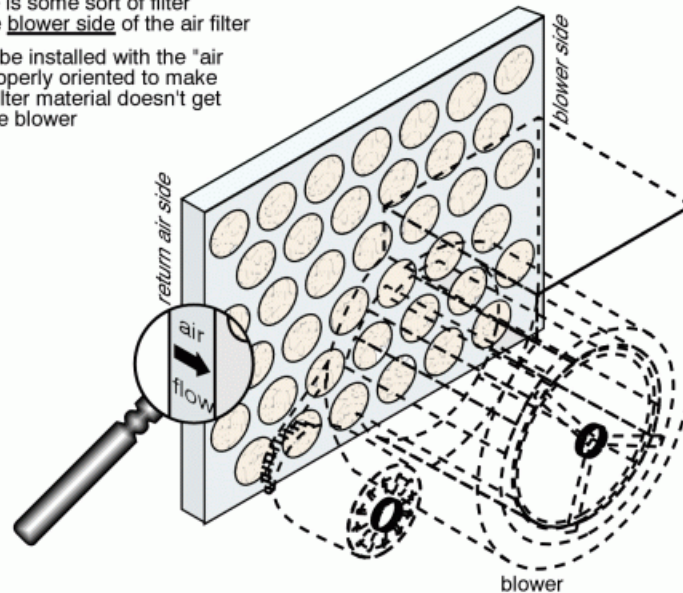
POOLS & SP

REFERENCE

Air filter orientation

typically, there is some sort of filter support on the blower side of the air filter

the filter must be installed with the "air flow" arrow properly oriented to make sure that the filter material doesn't get sucked into the blower



11. Dirty

Cooling & Heat Pump

HEAT PUMP \ General

Condition: • Service heat pump

Heat pump was operating at a marginal level. Recommending a service call by a licensed HVAC professional. Outside air intake noted in attic space. Fresh air intake is bringing in extreme hot attic air. May be the cause of the performance issues.

Implication(s): Reduced system life expectancy | Increased heating costs | Reduced comfort

SUMMARY

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

flbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

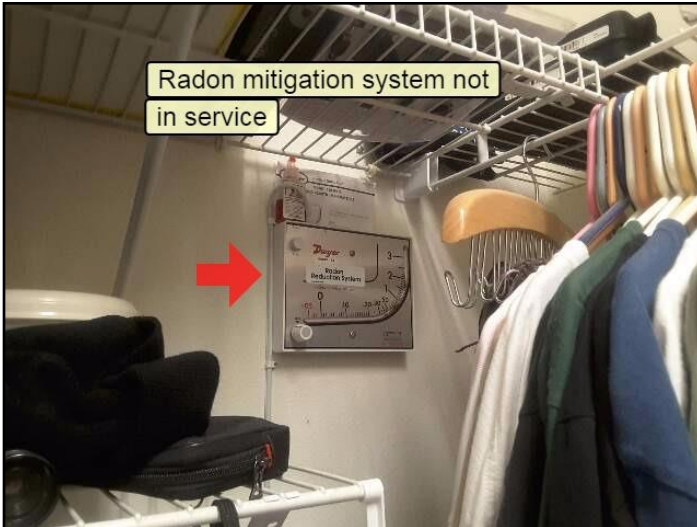
POOLS & SP

REFERENCE

Plumbing

General

- Radon mitigation system noted. Not operating at time of inspection



12.

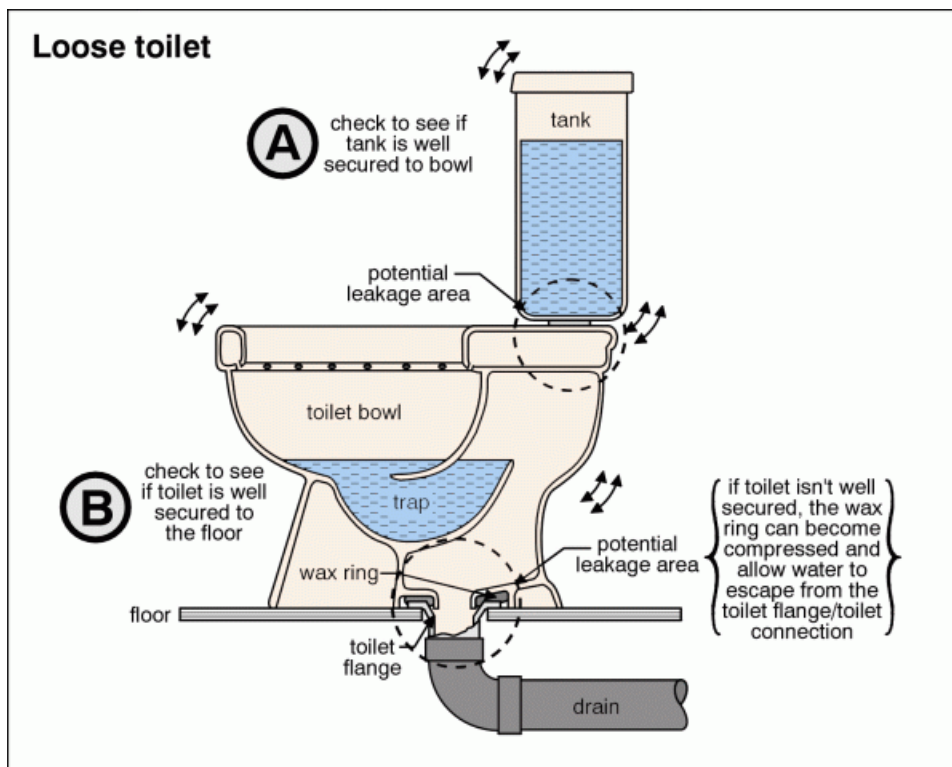


13.

FIXTURES AND FAUCETS \ Toilet

Condition: • [Loose](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Sewage entering the building



SUMMARY

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

flbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE



14. Loose

Interior

CEILINGS \ General

Condition: • Typical flaws

WALLS \ General

Condition: • Typical flaws



15. Typical flaws

WALLS \ Masonry or concrete

Condition: • [Damage](#)

Implication(s): Material deterioration | Damage or physical injury due to falling materials

SUMMARY

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

flbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE



16. Damage

FLOORS \ General

Condition: • Typical flaws

DOORS \ Hardware

Condition: • Adjustment needed



17. Adjustment needed

SUMMARY

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

flbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE

Pools & Spas

General

- Valves broken or inoperable



18. *Valves broken or inoperable*

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

ROOFING

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

fbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

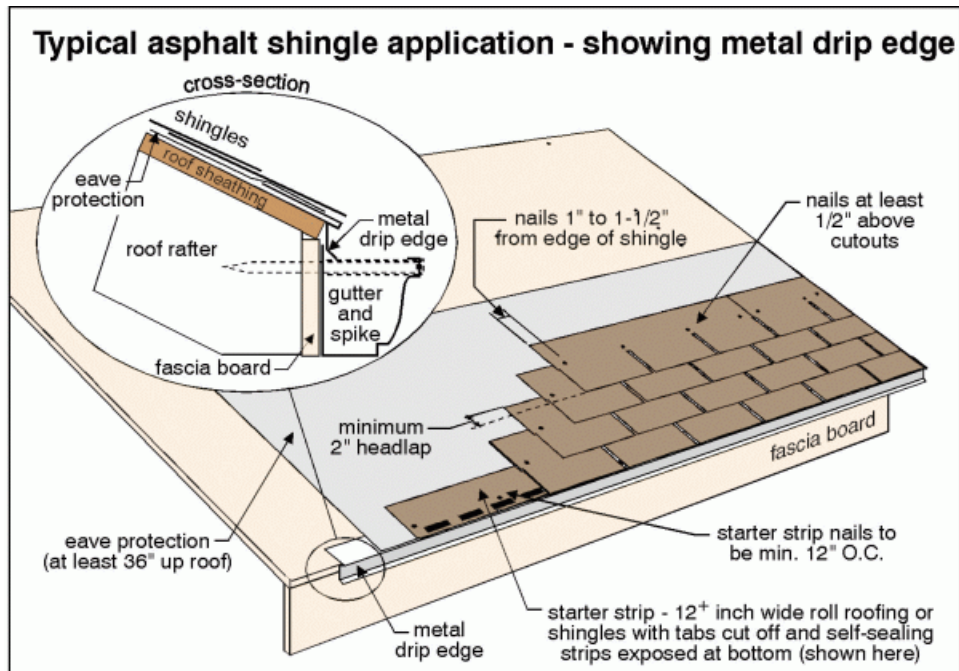
REFERENCE

Description

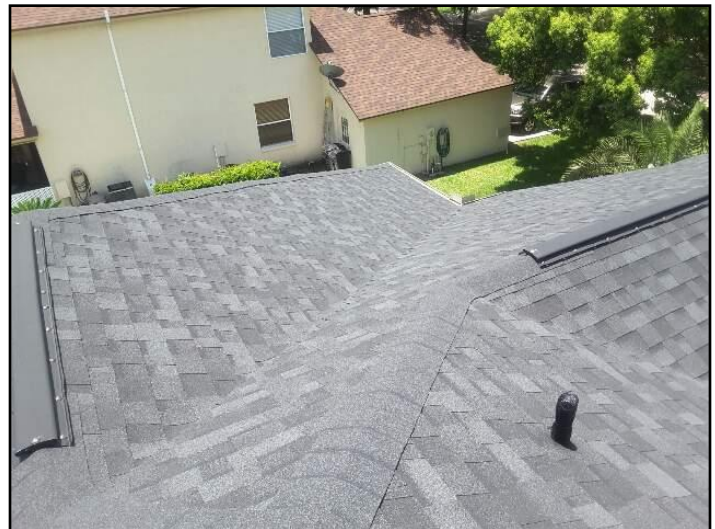
Sloped roofing material:

- [Asphalt shingles](#)

Complete new re-roof 2015, permit #ROF03532



19. Asphalt shingles



20. Asphalt shingles

ROOFING

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

fbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE



21. Asphalt shingles



22. Asphalt shingles



23. Asphalt shingles



24. Asphalt shingles

Sloped roof flashing material: • Aluminum

Probability of leakage: • Low

Limitations

Inspection performed: • By walking on roof

ROOFING

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

flbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE

Recommendations

RECOMMENDATIONS \ Overview

1. **Condition:** • No roofing recommendations are offered as a result of this inspection.

EXTERIOR

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

flbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE

Description

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout type: • [Eave mounted](#)

Gutter & downspout discharge: • [Above grade](#)

Lot slope: • [Away from building](#)

Soffit and fascia:

• [Wood](#)

Fascia only

• [Aluminum](#)

Soffit only

Wall surfaces and trim: • [Stucco](#)

Driveway: • Concrete • No performance issues were noted.

Walkway: • Concrete • No performance issues were noted.

Patio: • Pool Deck

Patio: • No performance issues were noted.

Fence: • Metal

Limitations

Upper floors inspected from: • Ground level

Exterior inspected from: • Ground level

Recommendations

WALLS \ EIFS and Stucco

2. Condition: • [Minor cracks](#)

Implication(s): Shortened life expectancy of material

EXTERIOR

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

flbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE



25. Minor cracks



26. Minor cracks



27. Minor cracks



28. Minor cracks

EXTERIOR GLASS/WINDOWS \ Exterior trim

3. Condition: • [Damage](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

EXTERIOR

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

flbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE



29. Damage

EXTERIOR GLASS/WINDOWS \ Storms and screens

4. Condition: • [Torn or holes](#)

Implication(s): Chance of pests entering building



30. Torn or holes

LANDSCAPING \ General

5. Condition: • [Trees or shrubs too close to building](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Chance of pests entering building | Material deterioration

EXTERIOR

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

flbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

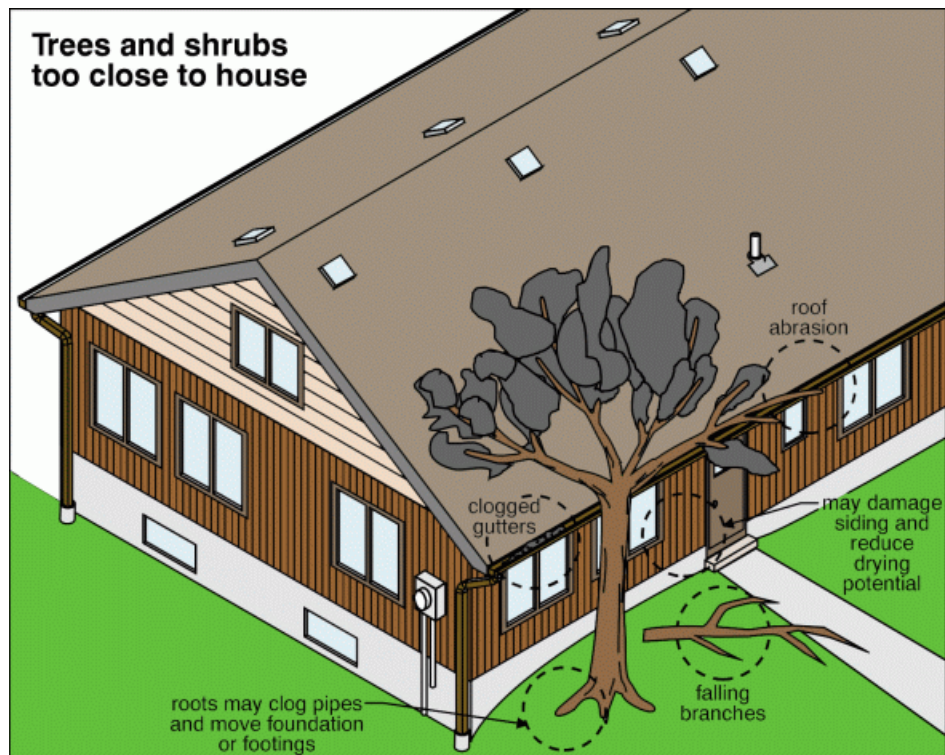
INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE



31. Trees or shrubs too close to building

IRRIGATION / SPRINKLER SYSTEM \ Observations

6. Condition: • Irrigation system was tested & was operating properly at time of inspection. Minor adjustments to sprinkler heads may be required.

STRUCTURE

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

flbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE

Description

Configuration: • [Slab-on-grade](#)

Foundation material: • [Poured concrete](#)

Floor construction: • [Concrete](#)

Exterior wall construction: • [Masonry](#)

Roof and ceiling framing: • [Trusses](#) • [Oriented Strand Board \(OSB\) sheathing](#)

Limitations

Inspection limited/prevented by: • Ceiling, wall and floor coverings • Carpet/furnishings

Attic/roof space: • Entered but access was limited

Recommendations

RECOMMENDATIONS \ Overview

7. Condition: • No structure recommendations are offered as a result of this inspection.

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE

Description

Service entrance cable and location: • [Underground aluminum](#)

Service size: • [200 Amps \(240 Volts\)](#)

Main disconnect/service box rating: • [200 Amps](#)

Main disconnect/service box type and location:

• [Breakers - garage](#)



32. Breakers - garage



33. Breakers - garage

System grounding material and type: • [Copper - other](#)

Distribution panel type and location:

• [Breakers - garage](#)



34. Breakers - garage

Distribution panel rating: • [200 Amps](#)

Number of circuits installed: • 25

Distribution wire material and type:

• [Copper - non-metallic sheathed](#)



35. Copper - non-metallic sheathed

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom and exterior](#) • [GFCI - garage](#) • GFCI - kitchen • No AFCI

Smoke detectors: • [Present](#)

Carbon monoxide (CO) detectors: • None noted

Limitations

System ground: • Quality of ground not determined

Circuit labels: • The accuracy of the circuit index (labels) was not verified.

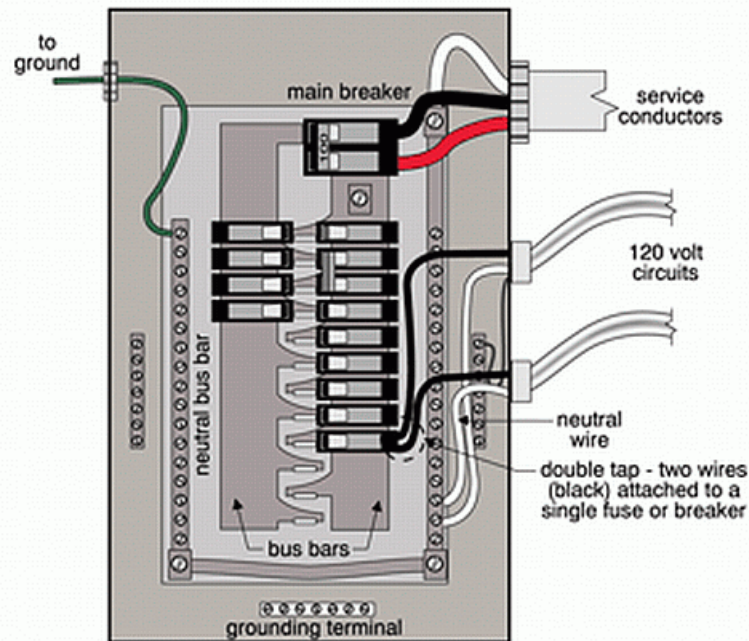
Recommendations

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

8. Condition: • [Double taps](#)

Implication(s): Fire hazard

Double tapping (double lugging)



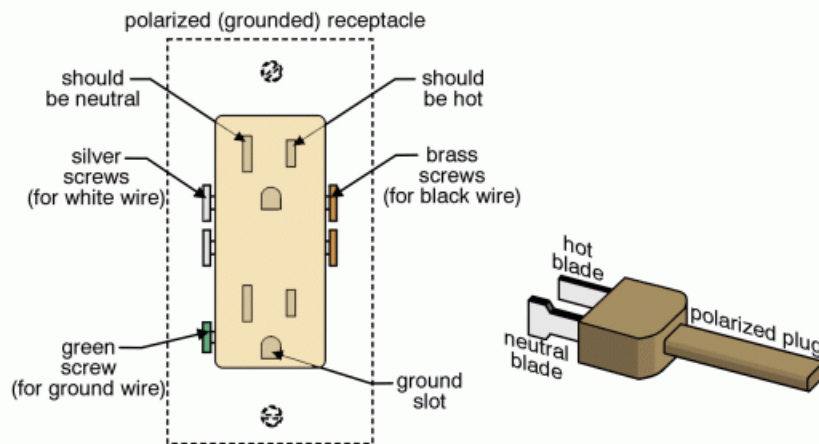
36. Double taps

DISTRIBUTION SYSTEM \ Outlets (receptacles)

9. Condition: • [Reversed polarity](#)

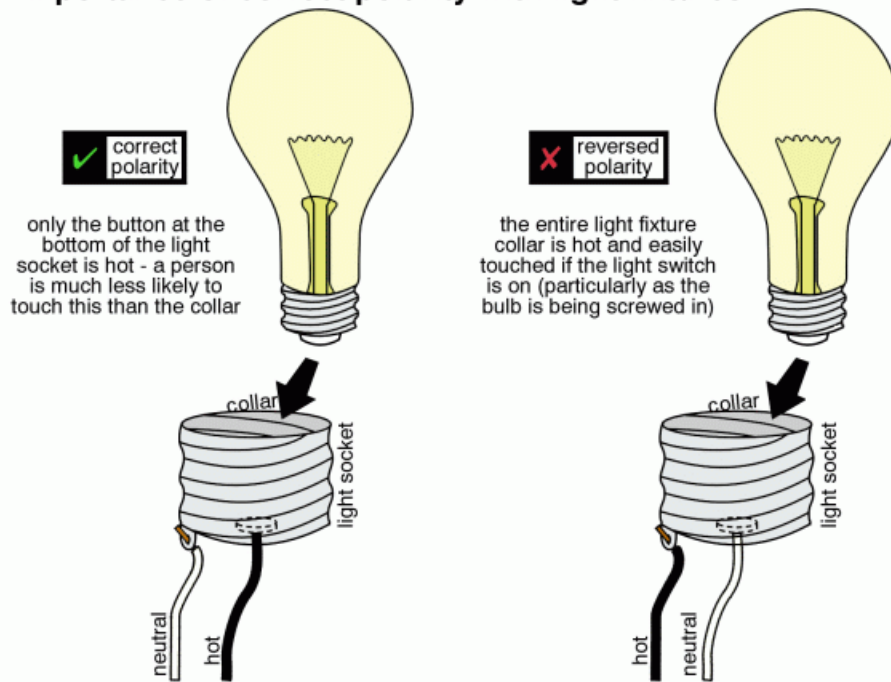
Implication(s): Electric shock

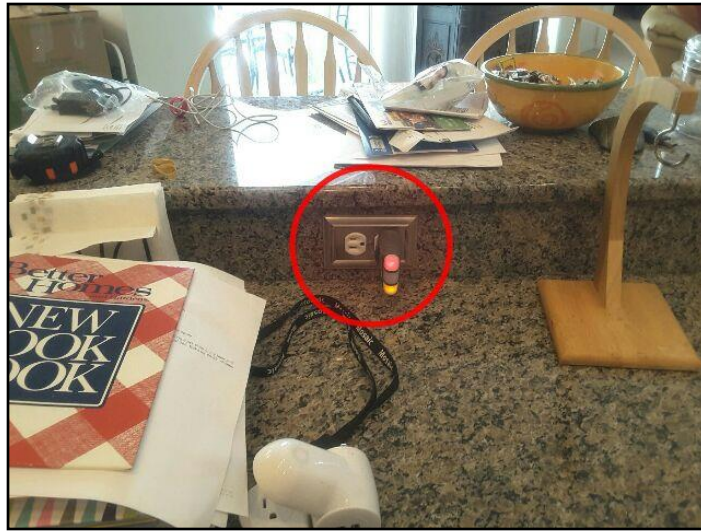
Reversed polarity



when the polarity is reversed, the wide receptacle slot is (incorrectly) hot and the narrow slot is neutral - this is not uncommon when people forget that the black wire should be attached to the receptacle's brass screws

Importance of correct polarity with light fixtures





37. Reversed polarity

DISTRIBUTION SYSTEM \ Cover plates

10. Condition: • Weather protection needed



38. Weather protection needed

HEATING

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

flbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE

Description

System type: • [Heat pump](#)

Fuel/energy source: • [Electricity](#)

Furnace manufacturer:

• Carrier

Model number: FB4CN042 *Serial number:* 3715A82951



39. Carrier

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • [5 kW](#)

Efficiency: • [Conventional](#)

Approximate age: • [1 year](#)

Typical life expectancy: • Furnace (conventional or mid-efficiency) 18 to 25 years

Failure probability: • [Low](#)

Limitations

Safety devices: • Not tested as part of a building inspection

Warm weather: • Prevents testing heating effectiveness • Prevented testing in heating mode

Heat loss calculations: • Not done as part of a building inspection

Heat exchanger: • Not visible • Not accessible

Recommendations

ELECTRIC FURNACE \ Mechanical air filter

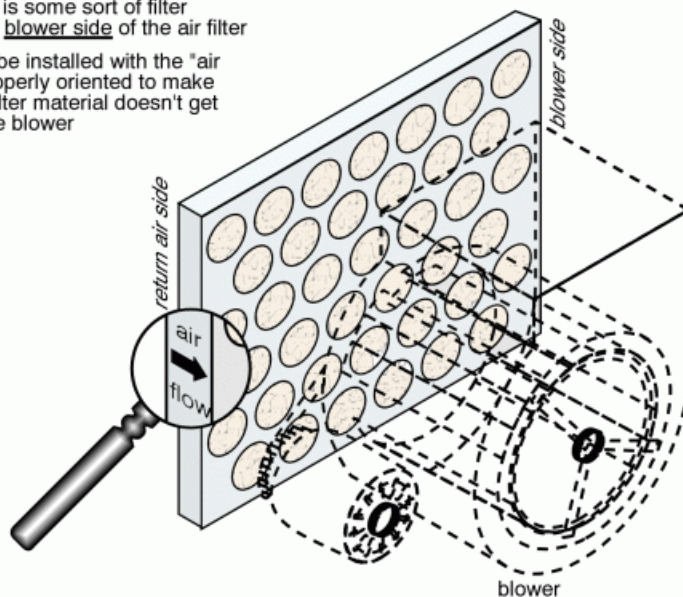
11. Condition: • [Dirty](#)

Implication(s): Increased heating costs | Reduced comfort

Air filter orientation

typically, there is some sort of filter support on the blower side of the air filter

the filter must be installed with the "air flow" arrow properly oriented to make sure that the filter material doesn't get sucked into the blower



40. Dirty

COOLING & HEAT PUMP

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

flbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE

Description

Air conditioning type: • [Air cooled](#)

Heat pump type: • [Air source](#)

Manufacturer:

• Payne

Model number: PH14NB042 A *Serial number:* 1515X76645



41. Payne

Cooling capacity: • 42,000 BTU/hr • [3.5 Tons](#)

Compressor type: • Electric

Compressor approximate age: • 1 year

Typical life expectancy: • 12 to 15 years

Failure probability: • [Low](#)

Supply temperature:

• 70°

COOLING & HEAT PUMP

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

fbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE



42. 70°



43. 70°

Return temperature: • 78



44. 78 Deg.



45. 79°

Temperature difference: • 8 deg.

Temperature difference: • Acceptable temperature difference: 14° to 22° • This suggests performance issues. Service may be needed.

Evaporative cooler damper location: • Left side of building

Refrigerant Type: • R-410A

Limitations

Heat pump only tested in: • Cooling mode

Heat gain calculations: • Not done as part of a building inspection

Recommendations

General

12. • HVAC system has a fresh-air intake duct located in the attic space. Extreme hot air in attic may be making system operate at a marginal level.

Evaluation by a licensed HVAC professional is recommended



46.

HEAT PUMP \ General

13. Condition: • Service heat pump

Heat pump was operating at a marginal level. Recommending a service call by a licensed HVAC professional. Outside air intake noted in attic space. Fresh air intake is bringing in extreme hot attic air. May be the cause of the performance issues.

Implication(s): Reduced system life expectancy | Increased heating costs | Reduced comfort

INSULATION AND VENTILATION

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

fbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE

Description

Attic/roof insulation material:

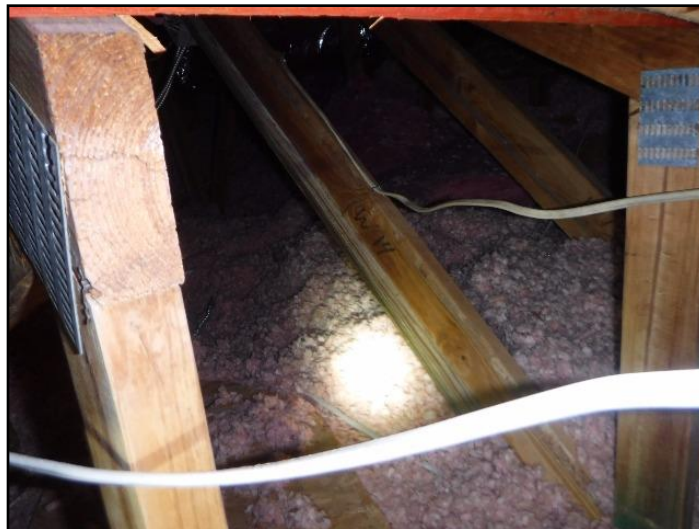
- [Glass fiber](#)



47. Glass fiber



48. Glass fiber



49. Glass fiber

Attic/roof insulation amount/value: • R-30

Attic/roof ventilation: • [Roof and soffit vents](#)

Wall insulation material: • Not determined

Wall insulation amount/value: • Not determined

INSULATION AND VENTILATION

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

flbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE

Limitations

Attic inspection performed: • By entering attic, but access was limited

Recommendations

RECOMMENDATIONS \ Overview

14. Condition: • No insulation recommendations are offered as a result of this inspection.

PLUMBING

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

flbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE

Description

Water supply source: • Public

Service piping into building: • [Copper](#)

Supply piping in building: • [Copper](#)

Main water shut off valve at the:

- Exterior wall



50. Exterior wall

- Meter

Water flow and pressure:

- [Typical for neighborhood](#)
- [Above average](#)



51. Above average

PLUMBING

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

flbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE

Water heater type: • [Conventional](#)

Water heater fuel/energy source: • [Electric](#)

Water heater manufacturer:

• Rheem

Model number: 82MV52 2 Serial number: RH 0607B06540



52. Rheem

Tank capacity: • 50 gallons

Water heater approximate age: • 9 years

Typical life expectancy: • 8 to 12 years

Water heater failure probability: • [Low](#)

Waste disposal system: • [Public](#)

Waste and vent piping in building: • [PVC plastic](#)

Water treatment system:

• Mechanical filter



53. Mechanical filter

Exterior hose bibb (outdoor faucet): • Present

Limitations

Items excluded from a building inspection: • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Water heater relief valves are not tested

Recommendations

General

15. • Radon mitigation system noted. Not operating at time of inspection



54.



55.

WATER HEATER \ Life expectancy

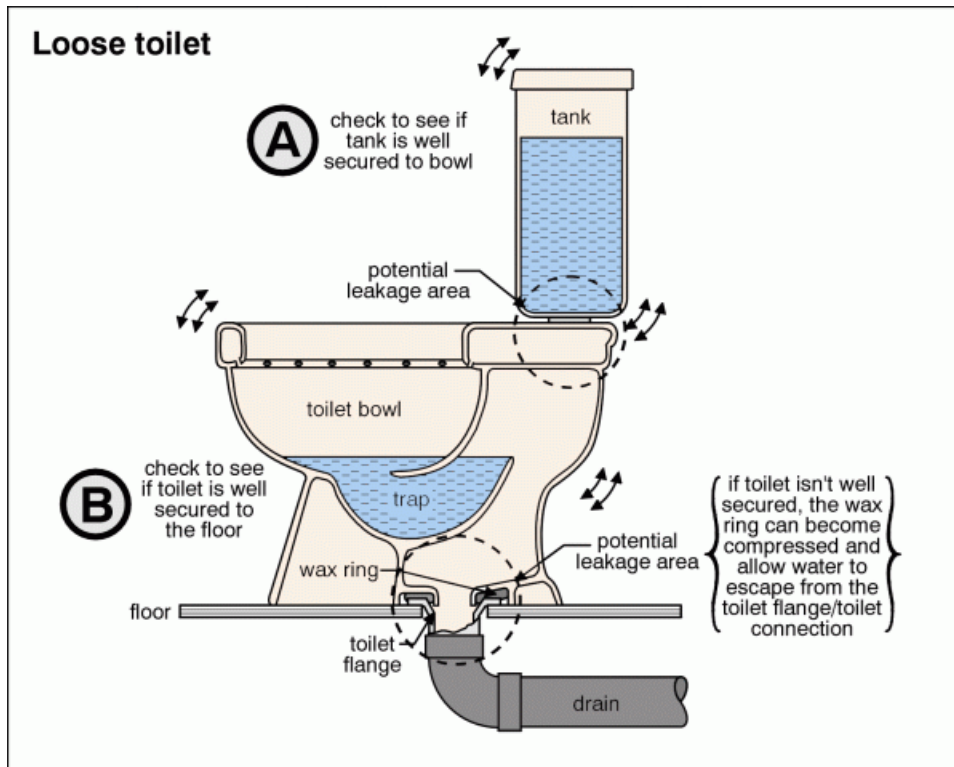
16. Condition: • [Near end of life expectancy](#)

Implication(s): No hot water

FIXTURES AND FAUCETS \ Toilet

17. Condition: • [Loose](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Sewage entering the building



56. Loose

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE

Description

Major floor finishes: • [Carpet](#) • [Laminate](#) • [Ceramic](#)

Major wall finishes: • [Plaster/drywall](#)

Major ceiling finishes: • [Plaster/drywall](#)

Major wall and ceiling finishes: • [Plaster/drywall](#)

Windows: • [Single/double hung](#) • Aluminum

Glazing: • [Single](#)

Exterior doors - type/material: • [Sliding glass](#) • [Plastic/fiberglass](#) • Garage door - metal

Doors: • Inspected

Oven type: • Conventional

Oven fuel: • Electricity

Range fuel: • Electricity

Appliances: • Range

Appliances: • Refrigerator • Dishwasher • Waste disposal • Microwave oven • Door bell

Laundry facilities: • Hot/cold water supply • Vented to outside • 120-Volt outlet • 240-Volt outlet • Waste standpipe

Kitchen ventilation: • Recirculating type

Bathroom ventilation: • Exhaust fan

Laundry room ventilation: • Clothes dryer vented to exterior

Counters and cabinets: • Inspected

Limitations

Not included as part of a building inspection: • Carbon monoxide detectors, security systems, central vacuum • Security systems and intercoms • Central vacuum systems

Garage door: • Tested

Garage door opener: • Tested

Recommendations

CEILINGS \ General

18. Condition: • Typical flaws

WALLS \ General

19. Condition: • Typical flaws

INTERIOR

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

flbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE



57. Typical flaws

WALLS \ Masonry or concrete

20. Condition: • [Damage](#)

Implication(s): Material deterioration | Damage or physical injury due to falling materials



58. Damage

FLOORS \ General

21. Condition: • Typical flaws

DOORS \ Hardware

22. Condition: • Adjustment needed

INTERIOR

123 Main Street, Tampa, FL July 6, 2016

Report No. 2396, v.3

flbigroup.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

POOLS & SP

REFERENCE



59. *Adjustment needed*

Description

Pool / Spa type:

- Below ground



60. Below ground



61. Below ground



62. Below ground

- Plaster / Gunite

Heater: • None

Water filter: • Chlorinator



63. Chlorinator

Water filter:

- Cartridge filter



64. Cartridge filter

Pumps:

- Circulation



65. Circulation

Electrical - breaker location:

- At equipment



66. At equipment



67. At equipment

Electrical - wiring: • Liquid Tite Flex • Rigid Conduit

General: • Pool cage

Recommendations

General

23. • Valves broken or inoperable



68. Valves broken or inoperable

WATER FILTER \ Pressure gauge

24. Condition: • Appears serviceable



69. Appears serviceable

WATER FILTER \ Bleeder valve

25. Condition: • Appears serviceable

PUMPS \ Circulation pump

26. Condition: • Operated when tested

ELECTRICAL \ Wiring

27. Condition: • Appears serviceable

ELECTRICAL \ Pool lights

28. Condition: • None noted

ELECTRICAL \ Circulation pump timer

29. Condition: • Appears serviceable



70. *Appears serviceable*

GENERAL \ Coping

30. Condition: • Appears serviceable

GENERAL \ Surrounding deck/concrete

31. Condition: • Appears serviceable

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS