

YOUR Inspection Report



Welcome Home!

FOR THE PROPERTY AT:

1569 Skyline Dr
Mississauga, ON L5E 2W6

PREPARED FOR:

BRUCE MACDOUGALL

INSPECTION DATE:

Friday, June 7, 2019

PREPARED BY:

Tom Woolley, RHI



thehome  **check**



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report

The Home Check
6-2400 Dundas Street West, Suite 503
Mississauga, ON L5K 2R8

905-916-6888
HST#140534322RT0001

www.thehomecheck.ca

IMPORTANT NOTE

1569 Skyline Dr, Mississauga, ON June 7, 2019

Report No. 5566

www.thehomecheck.ca

IMPORTANT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

IMPORTANT NOTE: This report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be held responsible to any parties for the content of the report other than the party named herein. We recommend that an independent home inspection by a different company be completed before making a buying decision.

Please read the entire report and the appropriate text included in the hyperlinks. The goal of a home inspection is to identify significant issues that would affect the average person's decision to buy a home. While looking for big issues we typically identify some minor defects along the way. We include these in the report as a courtesy, but please understand a home inspection is not a Technical Audit and does not include a comprehensive list of minor issues.

[Priority Maintenance Items](#)

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

ROOFING

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Description

General: • The roof covering appears to be midway through its normal life expectancy.

Sloped roofing material: • [Asphalt shingles \(1.1\)](#)

Chimneys: • [Masonry](#)

Limitations

Roof inspection method: • Walking on the roof

Recommendations

General

• View of roof from above (fyi):



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VULNERABLE AREAS \ 1.13, 1.14 & 1.15

Condition: • Flashings are vulnerable areas



Vulnerable areas noted

ROOF LEAKS (4.0), ANNUAL MAINTENANCE AND ICE DAMS (1.14) \ Good advice for all homeowners

Condition: • Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced. We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of roofs.

Most roofs are susceptible to ice dams under the right weather conditions. This is where ice forms at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather. Read Section 1.14 for more detail and solutions.

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Description

Gutters and Downspouts (1.0): • [Aluminum \(1.1\)](#)

Gutter and Downspout Discharge (1.2): • [Discharge above grade \(1.2\)](#)

Wall Surfaces (4.0): • [Brick \(4.1\)](#)

Limitations

Exterior inspection method: • The exterior was inspected from ground level.

Limitations: • Fences, outbuildings (other than garages) and landscape features are not included as part of a home inspection.

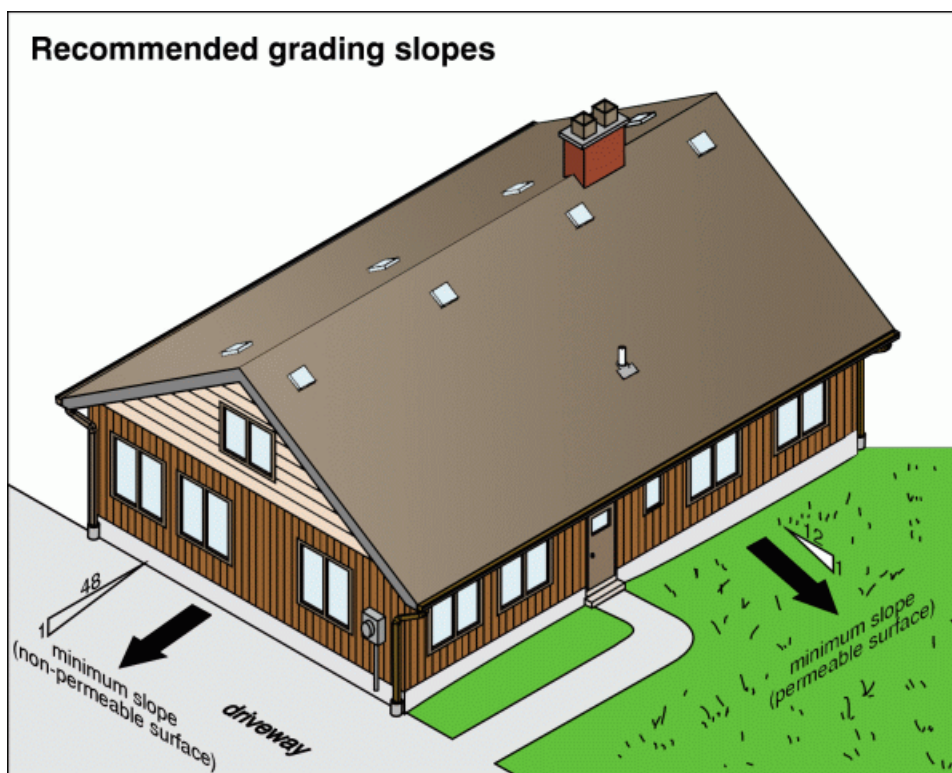
Limitations: • Deck/porch/steps - restricted/no access under • Garage - storage restricted the inspection

Recommendations

LOT GRADING \ (2.0 & 6.0)

Condition: • [Low areas](#)

To reduce the likelihood of water penetration to the basement, always maintain a positive slope away from the foundation wall.



PATIOS \ 6.0

Condition: • [Slope away from house](#)

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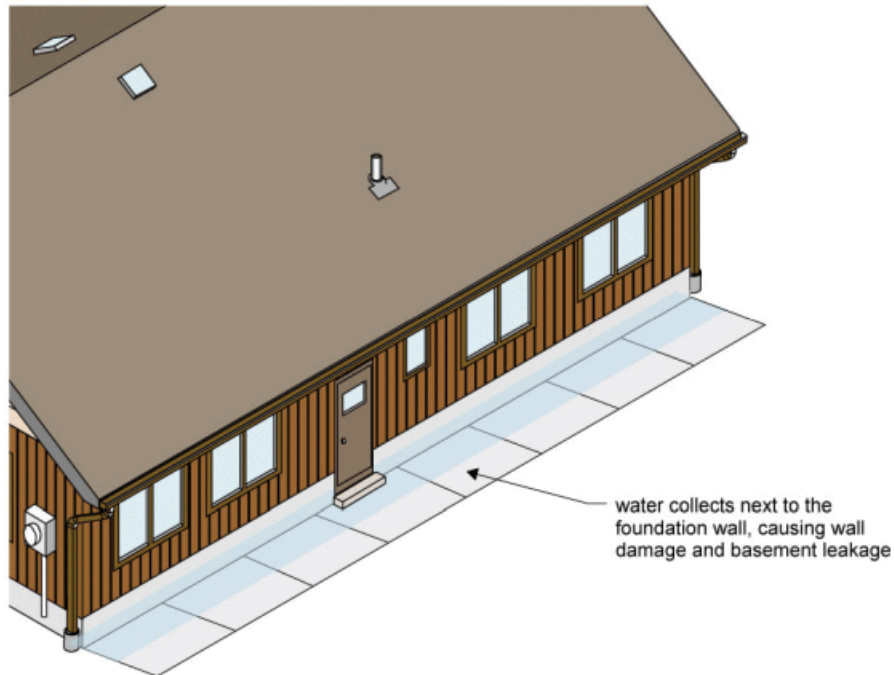
INSULATION

PLUMBING

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Walk/patio sloping towards house



Slope away from the foundation

LANDSCAPING \ (2.0 & 6.0)

Condition: • [Shrubs/trees too close to building](#)

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Keep trimmed back

BASEMENT WALK-OUT \ 7.0

Condition: • Keep the drain clear of debris.



Condition: • [Threshold too low \(7.5\)](#)

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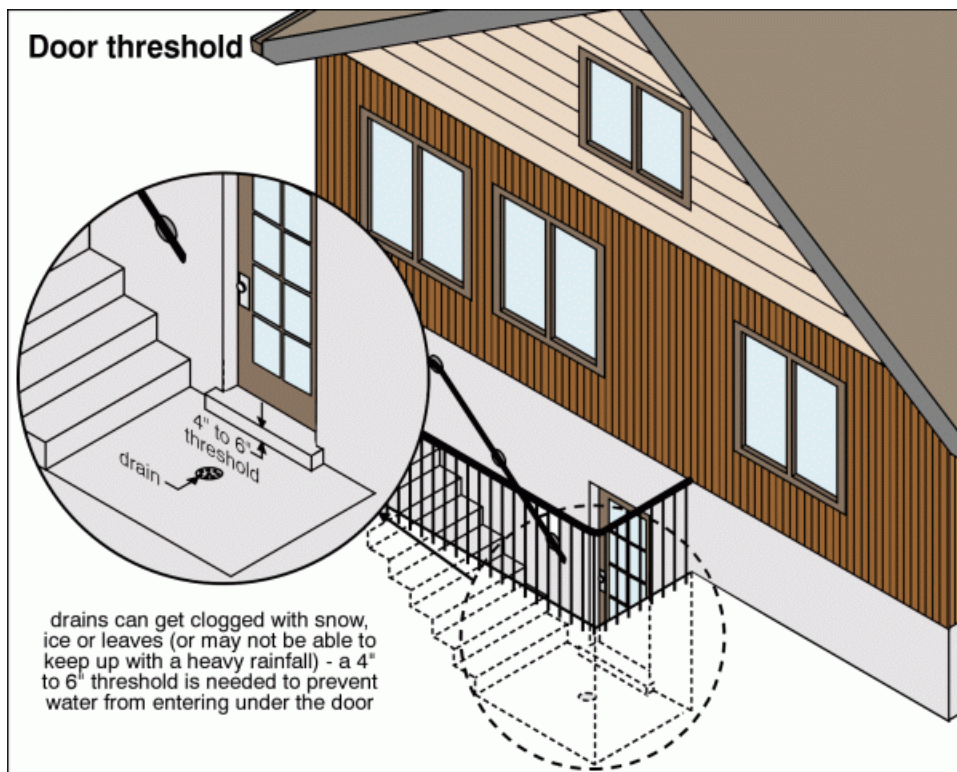
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Low threshold noted

GARAGE \ 8.0

Condition: • Storage in the garage prevented a thorough inspection for gas proofing issues. Be sure to seal any hole/gaps that are discovered once the space is clear to prevent the migration of gases into the living space.

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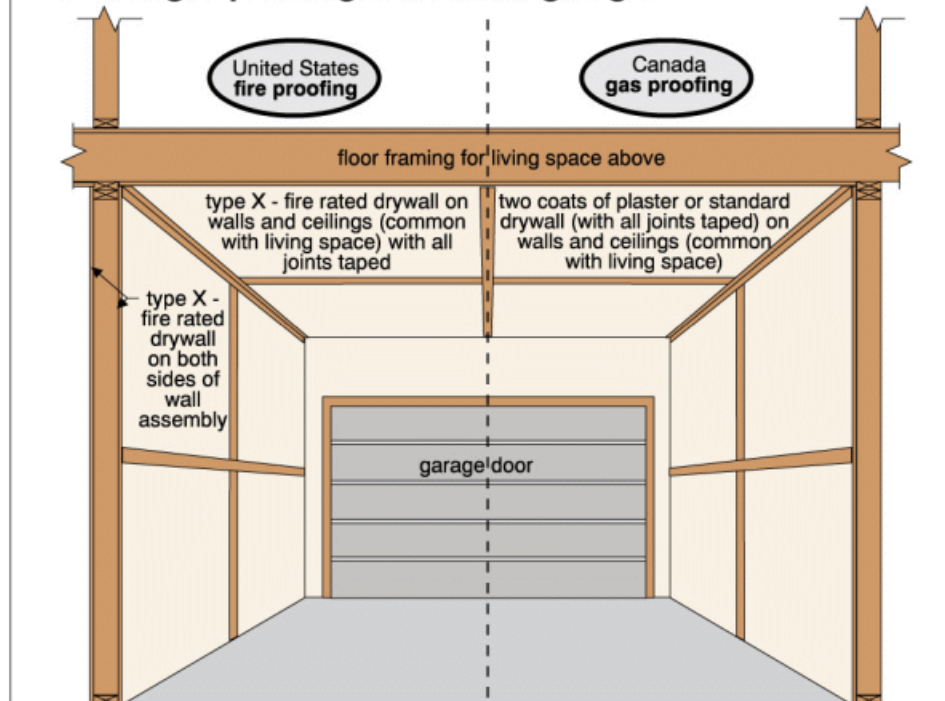
INSULATION

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Fire and gas proofing in attached garages



Air tight door required

Description

Foundations (3.0): • [Masonry block](#)

Configuration (4.0): • [Basement](#)

Floor Construction (5.0): • [Joists - wood](#)

Exterior Wall Construction (6.0): • [Masonry](#)

Roof and Ceiling Framing (7.0): • [Rafters/Roof joists \(7.1\)](#)

Limitations

Structure inspection method: • Attic inspected from access hatch

Limitations: • Finishes, insulation, furnishings and storage conceal structural components, preventing/restricting inspection. • It is not possible to determine the presence or extent of ongoing movement based on a one-time visit.

Recommendations

FOUNDATIONS AND MASONRY WALLS \ 3.0 & 6.1

Condition: • Most foundation walls and masonry walls have small cracks due to shrinkage or settlement that occurred shortly after construction was completed. These will not be individually noted, unless leakage or building movement is noted.

RAFTERS & COLLAR TIES \ 7.1 & 7.2

Condition: • There is a built up been in the attic space that runs from one end of the home to the other. It's purpose/function is unknown.



Unknown purpose/function

Description

Service Entrance Cable (2.1/2/3): • [Overhead - The wire material was not determined](#)

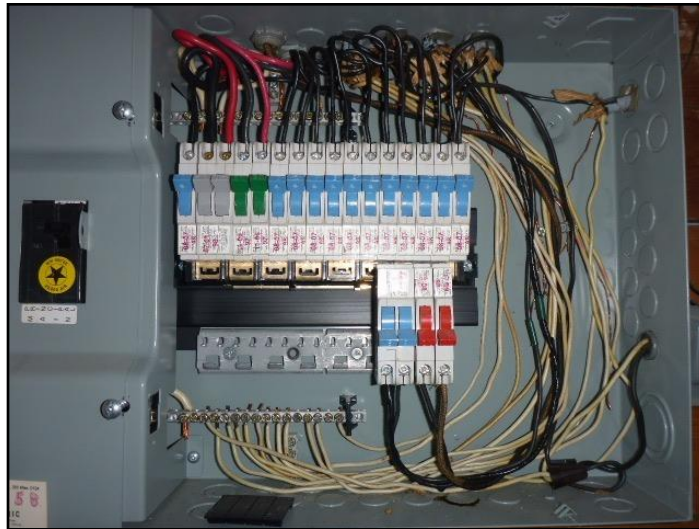
Service Size (2.4/5): • [100 amps \(240 Volts\)](#)

System Grounding (2.7): • [Water pipe - copper](#)

Distribution Panel Rating (3.0): • [125 amps](#)

Distribution Panel Type & Location:

• [Breakers - basement](#)



Electrical protected by breakers

Distribution Wire (4.0): • [Copper - non-metallic sheathed](#)

Outlet Type & Number (5.2): • [Combination of grounded and ungrounded](#)

Ground Fault Circuit Interrupters (5.3): • [None found](#)

Limitations

Limitations: • Concealed electrical components are not inspected. • Main disconnect cover not removed - unsafe to do so. • The continuity and quality of the system ground are not verified as part of a home inspection. • The home inspection includes only a sampling check of wiring, lights, receptacles, etc.

Recommendations

General

• Although the electrical panel has been upgraded, most of the wiring within the home is original. When renovating, all of the wiring will be updated to meet current electrical standards.

MAIN PANEL - BREAKERS AND FUSES \ 3.3

Condition: • [Double tap \(two wires on one breaker or fuse\)](#)

ELECTRICAL

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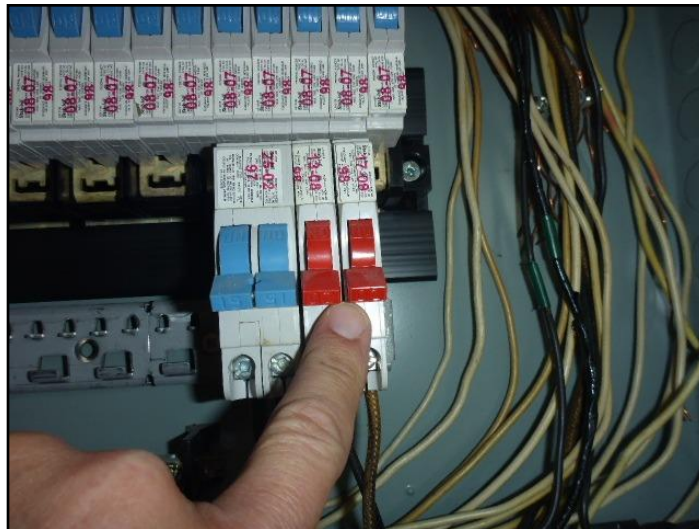
INTERIOR

REFERENCE



Double taps noted

Condition: • [Link missing on multiwire circuit](#)



Missing link noted

HOUSE WIRING - GENERAL \ 4.0

Condition: • [Exposed](#)

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Door hits wire

HEATING

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Description

Main Heating System - Fuel/Energy Source: • Natural gas

Main Fuel Shut-off at: • Meter

Main Heating System - Type: • [Furnace \(3.0\)](#)

Efficiency (8.0): • [High efficiency](#)

Approximate Input Capacity (9.0): • [60,000 BTU/hr.](#)

Approximate Age: • [8 years](#)

Typical Life Expectancy: • [Furnace \(high efficiency\) - 15 to 20 years](#)

Limitations

Heating inspection method: • Summer Test Procedure: During the portion of the year when the heating system is not normally operating, the heater, furnace or boiler is tested by turning up the thermostat. This will result in a partial test of the heating unit; however, the adequacy of the distribution system and amount of heat cannot be ascertained. Problems which may only show up during long term operation of the heating system may go undetected.

Limitations: • Heat loss calculations are not performed as part of a home inspection. • Safety devices are not tested as part of a home inspection. • The heat exchanger is substantially concealed and could not be inspected.

Recommendations

FURNACE \ 10.0 & 12.0

Condition: • Prior condensate leaks noted inside furnace cabinet.



Stain inside furnace cabinet

SUPPLY/RETURN DUCTWORK, GRILLES AND REGISTERS \ 15.1 & 15.2

Condition: • Uneven air flow noted at some of the registers. Consult with a heating contractor if this becomes a comfort issue.

HEATING

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REGULAR MAINTENANCE \ Good advice for all homeowners

Condition: • An annual maintenance agreement with a reputable heating contractor is recommended.

BEYOND THE SCOPE OF A HOME INSPECTION \ Environmental issues

Condition: • Finding and identifying environmental issues such as asbestos is outside the scope of a home inspection. Asbestos may be present in many building products and materials. An Environmental Consultant can assist if this is a concern.



Likely an asbestos-containing material

Condition: • Moisture problems may result in visible or concealed mould growth. An Environmental Consultant can assist if this is a concern.

COOLING

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Description

General: • No central air conditioning system was noted.

INSULATION

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Description

Attic insulation value (1.0/2.0) & material (A): • R20-R24

Attic insulation value (1.0/2.0) & material (A): • [Cellulose \(5.0\)](#) • [Fiberglass \(3.0\)](#)

Air/vapour barrier (13.0): • [Not determined](#)

Roof ventilation (15.0): • [Roof vents](#) • [Soffit vents](#)

Limitations

Limitations: • The continuity of air/vapour barriers and the performance of roof and attic ventilation are not verified as part of a home inspection.

Insulation inspection method: • See Structure Limitations • Attic inspected from access hatch

Recommendations

General

• View of attic (fyi):



BEYOND THE SCOPE OF A HOME INSPECTION \ Environmental issues

Condition: • Finding and identifying environmental issues such as asbestos is outside the scope of a home inspection. Asbestos may be present in many building products and materials. An Environmental Consultant can assist if this is a concern.

Condition: • Moisture problems may result in visible or concealed mould growth. An Environmental Consultant can assist if this is a concern.

Description

Water Piping to the Building: • [Copper](#)

Supply Piping in the Building: • [Copper](#)

Main Shut-off Valve Location: • Basement

Water Flow (Pressure) (1.4.1): • [Functional](#)

Waste Piping Material: • Cast iron • Copper • Plastic

Floor Drain Location: • [Basement - central](#)

Limitations

Limitations: • Concealed plumbing is not inspected. This includes supply and waste piping under floors and under the yard. • Isolating valves, relief valves and main shut-off valves are not tested as part of a home inspection. • Tub and basin overflows are not tested as part of a home inspection. Leakage at the overflows is a common problem. • The house was vacant at the time of inspection (no plumbing in use)

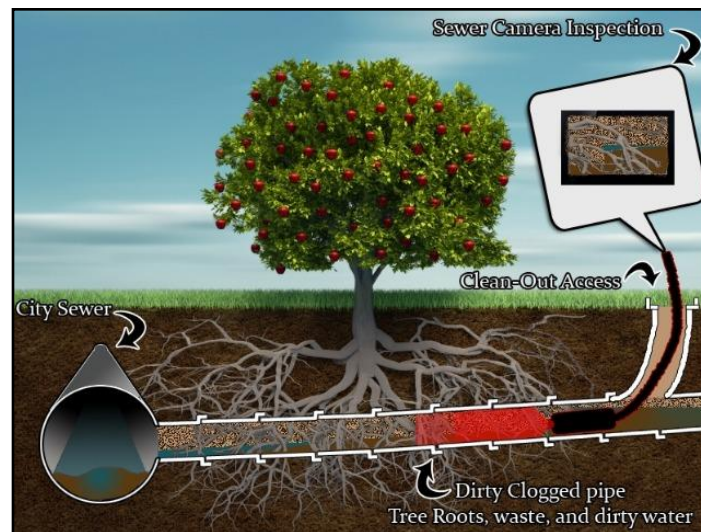
Recommendations

General

• By most standards, the kitchen and bathrooms would be considered dated and in need of renovation. The decision to do so is largely lifestyle driven and the costs will vary widely. Consultation with a designer/general contractor is recommended.

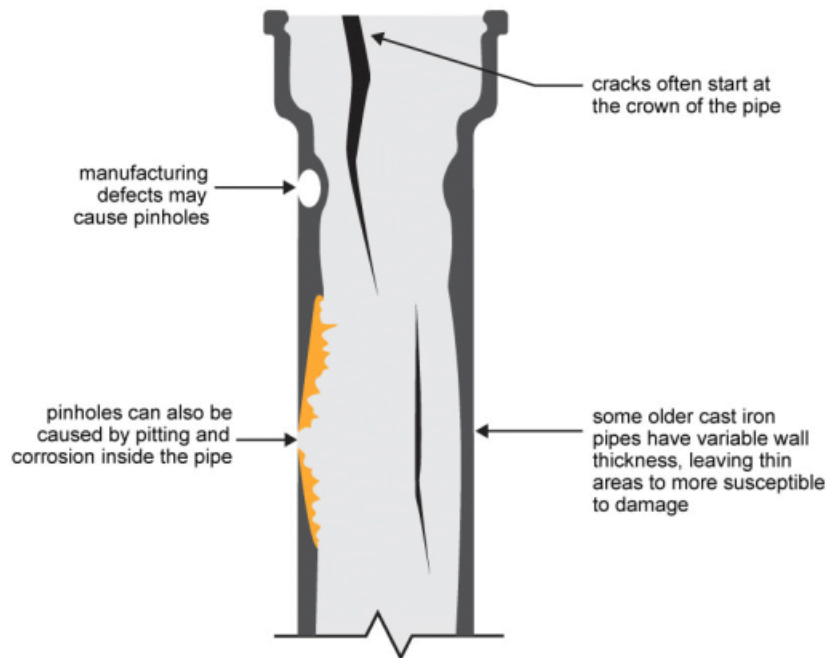
WASTE PIPING \ 2.3

Condition: • A videoscan of the waste plumbing is recommended to determine whether there are tree roots or other obstructions, and to look for damaged or collapsed pipe. This is common on older properties, especially where there are mature trees nearby. This is a great precautionary measure, although many homeowners wait until there are problems with the drains. The cost may be roughly \$200 to \$400.

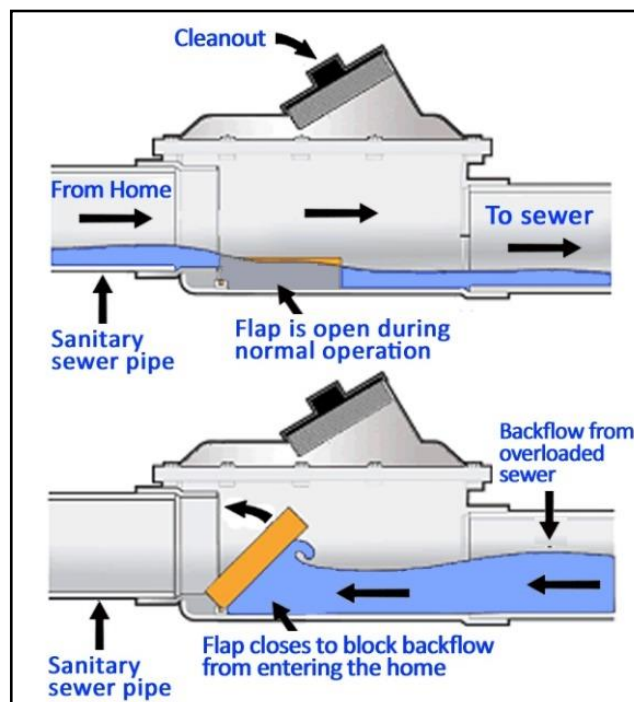


Condition: • The cast iron waste piping is near the end of its normal life expectancy and is prone to rusting through or splitting. Replacement may be required in the near future.

Pinholing and cracks in cast iron stacks



Condition: • We recommend the installation of a wastewater backflow preventer to help reduce the likelihood of a sewage back up event in the basement. Many municipalities offer subsidies. Many insurers offer discounts if they are in place.



PLUMBING

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EXHAUST FAN \ 3.11 & 3.12

Condition: • [Discharge should be to exterior](#)



Should be insulated and vent to roof

INTERIOR

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Description

Major Floor Finishes (1.0): • [Carpet \(1.4/1.5\)](#) • [Ceramic/Quarry Tile \(1.7\)](#) • [Hardwood \(1.2\)](#) • [Resilient \(1.6\)](#)

Major Wall Finishes (2.0): • [Plaster/Drywall \(2.1\)](#)

Major Ceiling Finishes (3.0): • [Plaster/Drywall \(3.1\)](#)

Windows (6.0): • [Casement \(6.1.2\)](#) • [Fixed \(6.1.5\)](#)

Glazing (6.2): • Some double and some primary window plus storm

Exterior Doors (7.0): • [Conventional - hinged](#) • [Garage](#)

Fireplaces and Stoves (8.0): • [Fireplace – wood burning - masonry firebox](#)

Limitations

Limitations: • No comment is made on cosmetic finishes during a home inspection. • Finding and identifying environmental issues such as asbestos is outside the scope of a home inspection. Asbestos may be present in many building products and materials. An Environmental Consultant can assist if this is a concern. • Moisture problems may result in visible or concealed mould growth. An Environmental Consultant can assist if this is a concern. • Security systems, intercoms, central vacuum systems, chimney flues and elevators are not included as part of a home inspection. Carbon monoxide detectors and smoke detectors are not tested as part of a home inspection. • The subfloor in the basement will prevent the detection of water penetration through the foundation walls. Subfloors can conceal a lot of information.

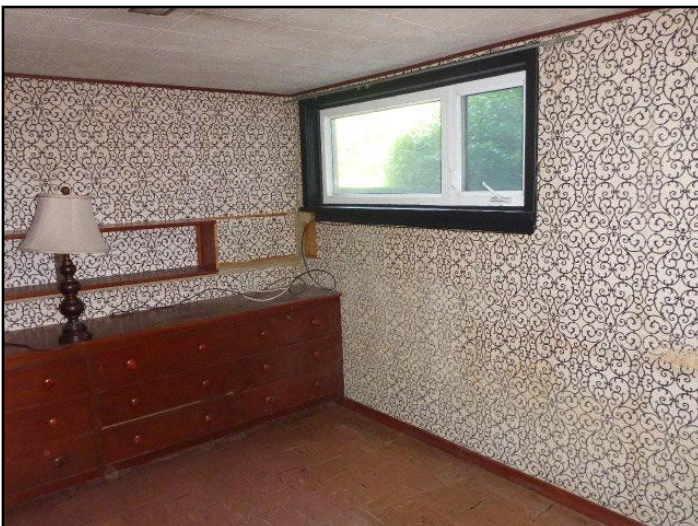
Limitations: • Basement finishes restricted the inspection

% of interior foundation wall not visible: • 90

Recommendations

General

• By most standards, the interior of the home would be considered dated and in need of renovation. The decision to do so is largely lifestyle driven and the costs will vary widely. Consultation with a designer/general contractor is recommended.



INTERIOR

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FIREPLACE OR WOOD STOVE \ 8.0

Condition: • Fireplace, flue and chimney should be inspected and swept as needed by a WETT certified technician and any recommended repairs completed before the fireplace is used. (WETT - Wood Energy Technology Transfer Inc. is a non-profit training and education association.) See www.wettinc.ca.

BASEMENT LEAKAGE \ 10.0

Condition: • Evidence of basement leakage was noted.



Mould/water stains in basement

Condition: • The subfloor in the basement will prevent the detection of water penetration through the foundation walls. Subfloors can conceal a lot of information.

BASEMENT LEAKAGE POTENTIAL \ 10.0

Condition: • [Read Section 10.0 in the Interior section of the Reference tab at the end of the report or click to read](#)

Condition: • [We cannot predict the frequency or severity of basement leakage.](#)

WHAT TO DO IF YOUR BASEMENT OR CRAWLSPACE LEAKS \ 10.0

Condition: • Almost every basement (and crawlspace) leaks under the right conditions. Based on a one-time visit, it's impossible to know how often or severe leaks may be. While we look for evidence of past leakage during our inspection, this is often not a good indicator of current conditions. Exterior conditions such as poorly performing gutters and downspouts, and ground sloping down toward the house often cause basement leakage problems. Please read Section 10.0 in the text before taking any action.

To summarize, wet basement issues can be addressed in 4 steps:

1. First, ensure gutters and downspouts carry roof run-off away from the home. (relatively low cost)
2. If problems persist, slope the ground (including walks, patios and driveways) to direct water away from the home. (Low cost if done by homeowner. Higher cost if done by contractor or if driveways, patios and expensive landscaping are disturbed.)
3. If the problem is not resolved and the foundation is poured concrete, seal any leaking cracks and form-tie holes from the inside. (A typical cost is \$300 to \$600 per crack or hole.)
4. As a last resort, dampproof the exterior of the foundation, provide a drainage membrane and add/repair perimeter drainage tile. (High cost)

ADDITIONAL \ Comments

Condition: • Be sure to install new smoke and carbon monoxide detectors shortly after taking possession of the property.

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS