

Your Inspection Report

Somewhere In Time Lane
Osseo, WI 54758

PREPARED FOR:
SAMPLE REPORT

INSPECTION DATE:
Sunday, January 13, 2019

PREPARED BY:
Scott Semingson



Hakuna Matata Home Inspection
W13444 Fairway Lane
Osseo, WI 54758

715-533-9175

www.hakunamatatahomeinspection.com
hakunamatata@tcc.coop



January 21, 2019

Dear Sample Report,

RE: Report No. 1057, v.3
Somewhere In Time Lane
Osseo, WI
54758

Thanks very much for choosing Hakuna Matata Home Inspection to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Wisconsin State Standards of Practice (SOP). This document defines the scope of a home inspection. <https://docs.legis.wisconsin.gov/statutes/statutes/440/XI/975>

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing Hakuna Matata Home Inspection to perform your home inspection.

Sincerely,

Scott Semington
on behalf of
Hakuna Matata Home Inspection

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INVOICE

January 21, 2019

Client: Sample Report

Report No. 1057, v.3

For inspection at:

Somewhere In Time Lane

Osseo, WI

54758

on: Sunday, January 13, 2019

Home inspection single family home 3000-4500 sq.ft.	\$400.00
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Pole shed inspection included in price.	\$0.00
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Total	<u>\$400.00</u>
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PAID IN FULL - THANK YOU!

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SUMMARY

Somewhere In Time Lane, Osseo, WI January 13, 2019

Report No. 1057, v.3

www.hakunamatatahomeinspection.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

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This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Exterior

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

Condition: • [Loose](#)

Implication(s): Fall hazard

Task: Improve

Electrical

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

Condition: • Missing screws in the front panel of the breaker box. Recommend providing.

Task: Provide

Condition: • [Double taps](#)

Recommend further evaluation by a certified electrician.

Implication(s): Fire hazard

Task: Improve

DISTRIBUTION SYSTEM \ Lights

Condition: • [Loose](#)

Implication(s): Electric shock | Fire hazard

Location: Basement

Task: Repair

DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

Condition: • On the day of the inspection multiple smoke/CO alarms had a weak alarm sound. Recommend further evaluation and repair or replace where needed.

Task: Improve

Heating

GAS FURNACE \ Gas piping

Condition: • Properly bonding and grounding of a Corrugated Stainless Steel Tubing (CSST) system may reduce the risk of damage and fire from a lightning strike. Lightning is a highly destructive force. Even a nearby lightning strike that does not strike a structure directly can cause systems in the structure to become electrically energized. Differences in potential between systems may cause damage to the CSST, including holes. Bonding and grounding reduces the risk of arcing and other related damage. At the time of the inspection I was unable to determine if the CSST was bonded.

Recommend further evaluation by a licensed electrician.

Task: Further evaluation

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This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

ROOFING

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General Information / Description

Sloped roofing material: • [Asphalt shingles](#)

Observations / Recommendations

SLOPED ROOFING \ Asphalt shingles

1. **Condition:** • Asphalt shingles covering the roof on this home exhibited moderate general deterioration commensurate with the age of the roof. They appeared to be adequately protecting the underlying home structure at the time of the inspection.



Asphalt shingles covering the roof on this...



Asphalt shingles covering the roof on this...

SLOPED ROOF FLASHINGS \ Pipe/stack flashings

2. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

SLOPED ROOF FLASHINGS \ Skylights

3. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

SLOPED ROOF FLASHINGS \ Drip edge flashings

4. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

SLOPED ROOF FLASHINGS \ Roof vent

5. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

ROOFING

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Inspection Methods / Limitations

Inspection performed: • By walking on roof

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General Information / Description

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout type: • [Eave mounted](#)

Lot slope: • [Away from building](#) • [Towards building](#)

Soffit (underside of eaves) and fascia (front edge of eaves): • [Aluminum](#)

Wall surfaces and trim: • [Vinyl siding](#)

Driveway: • Asphalt • Concrete

Walkway: • Concrete

Deck: • Raised

Porch: • Concrete

Exterior steps: • Concrete

Patio: • Concrete

Garage: • Attached designed for 2 cars.

Observations / Recommendations

ROOF DRAINAGE \ Gutters

6. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

7. Condition: • Dirty/debris

Task: Clean



Dirty/debris

ROOF DRAINAGE \ Downspouts

8. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

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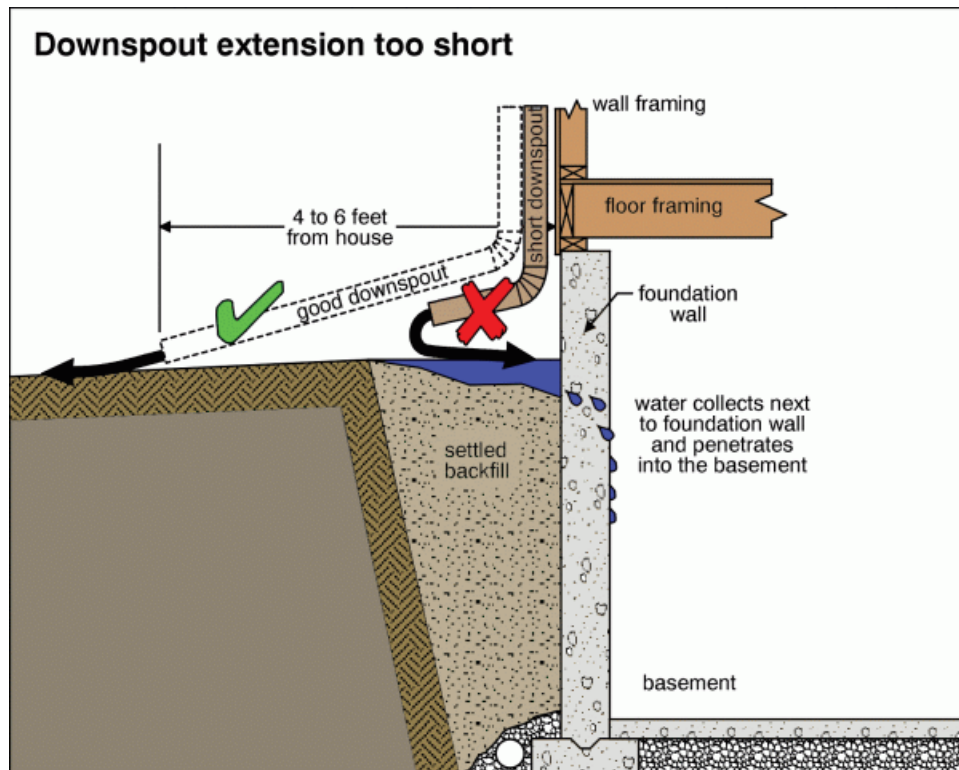
PLUMBING

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9. Condition: • [Should discharge 6 feet from building](#)

Implication(s): Chance of water damage to contents, finishes and/or structure



Should discharge 6 feet from building

WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)

10. Condition: • On the day of the inspection multiple bee nests appeared at the peak of the soffits. Recommend removal to prevent bee stings.

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11. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

WALLS \ Trim

12. Condition: • Satisfactory condition. Minor or typical repairs may be needed.

WALLS \ Vinyl siding

13. Condition: • Satisfactory condition. Typical or minor repairs may be required.

It is common for mildew to appear on the north side of the house. Recommend cleaning the mildew off to prevent premature deterioration.

Task: Clean

WINDOWS \ General

14. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

EXTERIOR GLASS/WINDOWS \ Skylight

15. Condition: • On the day of the inspection dead insects appeared inside the sky light. Recommend contacting a qualified contractor to locate the insect entrance and repair.

Task: Improve



Insects



Insects

EXTERIOR GLASS/WINDOWS \ Window wells

16. Condition: • [Missing](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Task: Provide

EXTERIOR

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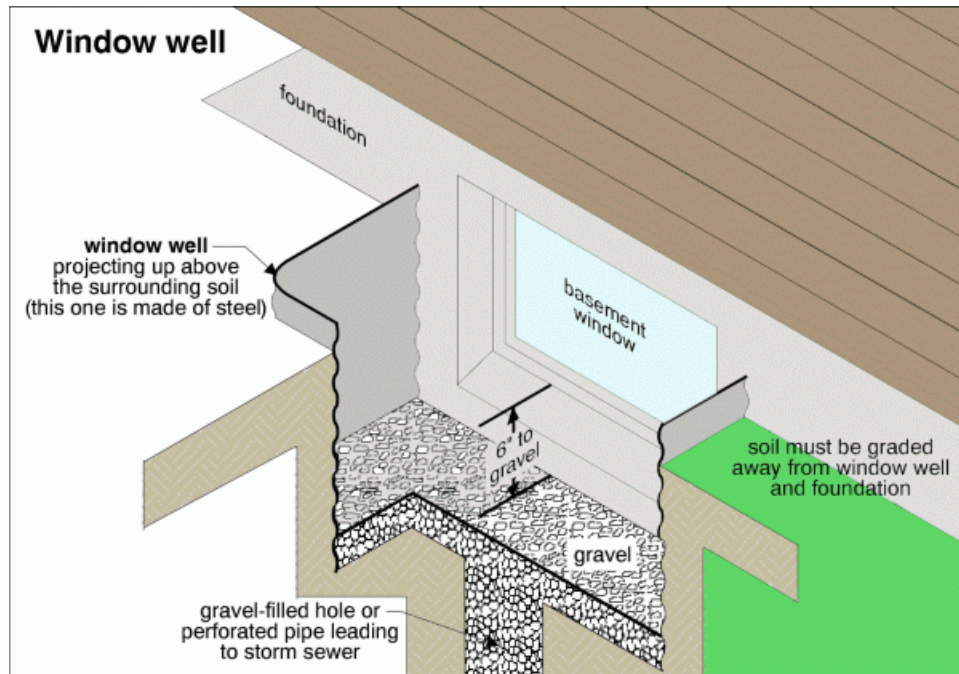
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Missing window wells

DOORS \ Doors and frames

17. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General

18. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Beams

19. **Condition:** • Satisfactory condition. Minor or typical repairs may be required.

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PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Joists

20. Condition: • Satisfactory condition. Minor or typical repairs may be required.

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Floors

21. Condition: • Satisfactory condition. Minor or typical repairs may be required.

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Stairs and landings

22. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

23. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

24. Condition: • [Loose](#)

Implication(s): Fall hazard

Task: Improve



Front porch



Back deck.

LANDSCAPING \ Lot grading

25. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

26. Condition: • [Improper slope or drainage](#)

At the time of inspection it appeared various areas around the foundation had settled and were sloping toward the foundation. Recommend filling low areas to prevent water intrusion.

Implication(s): Chance of water damage to contents, finishes and/or structure

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Improper slope or drainage

LANDSCAPING \ Walkway

27. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

LANDSCAPING \ Patios

28. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

LANDSCAPING \ Driveway

29. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

LANDSCAPING \ Retaining wall

30. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

31. **Condition:** • [Bowling or bulging](#)

The retaining wall appears to have bowed slightly over time. Recommend monitoring for future bowing.

Implication(s): Weakened structure | Chance of movement

Task: Monitor

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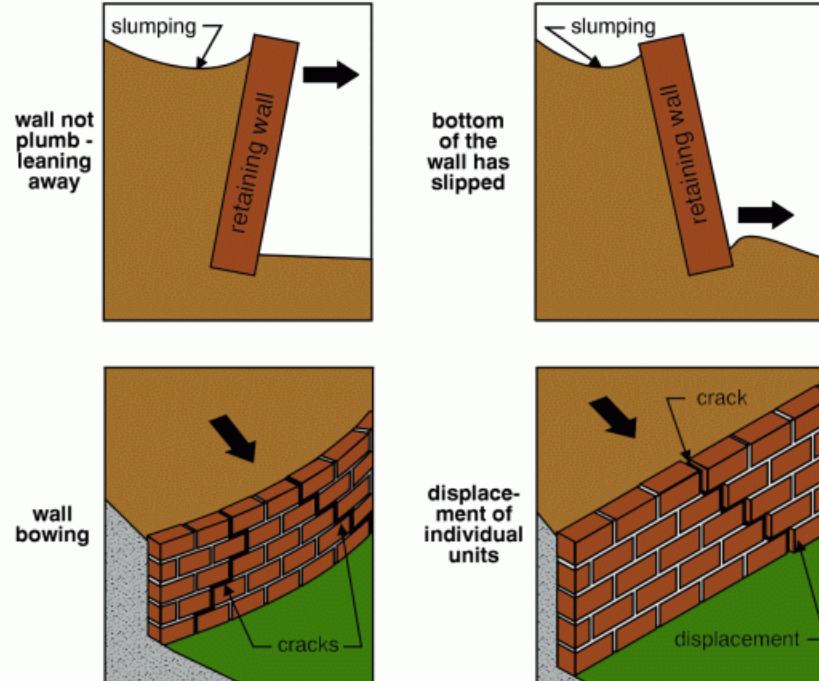
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Inspecting retaining walls - things to watch for



Bowing or bulging

32. Condition: • [Settling or shifting](#)

Task: Improve

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Settling or shifting

GARAGE \ Ceilings and walls

33. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

GARAGE \ Floor

34. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

GARAGE \ Door into garage / Man-door

35. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

GARAGE \ Vehicle doors

36. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

GARAGE \ Vehicle door operators

37. Condition: • At the time of inspection the overhead garage door was in satisfactory condition. The pressure-activated automatic reverse feature was tested and appeared to be operating in a satisfactory manner at the time of the inspection. The photoelectric sensor designed to activate the automatic-reverse at the overhead garage door responded to testing as designed.

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General Information / Description

Configuration: • [Basement](#)

Foundation material: • [Poured concrete](#)

Floor construction: • [Wood I-joists](#)

Roof and ceiling framing: • [Trusses](#)

Observations / Recommendations

FOUNDATIONS \ General

38. Condition: • Satisfactory condition.

FLOORS \ Beams

39. Condition: • Satisfactory condition.

FLOORS \ Joists

40. Condition: • Satisfactory condition.

FLOORS \ Concrete slabs

41. Condition: • Satisfactory condition. Minor or typical repairs may be required.

ROOF FRAMING \ Rafters/trusses

42. Condition: • Satisfactory condition.

Inspection Methods / Limitations

Inspection limited/prevented by: • Ceiling, wall and floor coverings

General Information / Description

Service entrance cable and location: • [Underground - cable material not visible](#)

Service size: • [200 Amps \(240 Volts\)](#)

Main disconnect/service box rating: • [200 Amps](#)

Main disconnect/service box type and location: • [Breakers - basement](#)

System grounding material and type: • [Copper - ground rods](#)

Electrical panel manufacturers: • Eaton/Cutler-Hammer

Distribution wire material and type: • [Copper - non-metallic sheathed](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • GFCIs present

Smoke alarms (detectors): • [Present](#)

Carbon monoxide (CO) alarms (detectors): • Present

Observations / Recommendations

SERVICE DROP AND SERVICE ENTRANCE \ Service drop

43. Condition: • Satisfactory condition.

SERVICE DROP AND SERVICE ENTRANCE \ Service size

44. Condition: • Satisfactory condition.

SERVICE BOX, GROUNDING AND PANEL \ System grounding

45. Condition: • Satisfactory condition.

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

46. Condition: • Missing screws in the front panel of the breaker box. Recommend providing.

Task: Provide



Missing screws

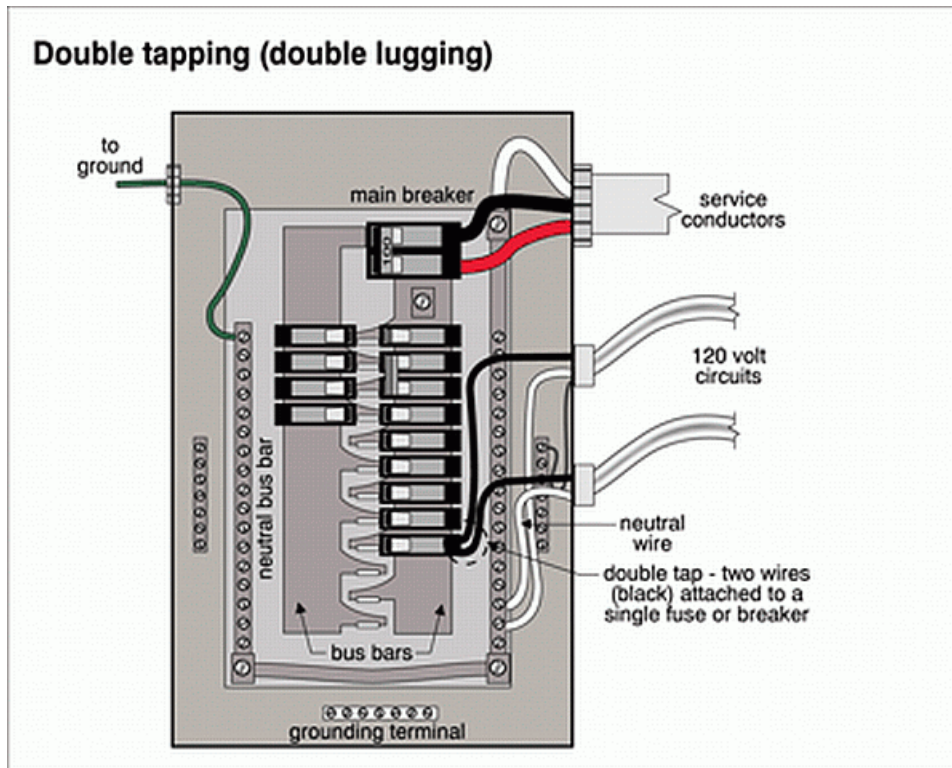
47. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

48. Condition: • [Double taps](#)

Recommend further evaluation by a certified electrician.

Implication(s): Fire hazard

Task: Improve



Double taps

SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers

49. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

DISTRIBUTION SYSTEM \ Outlets (receptacles)

50. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

DISTRIBUTION SYSTEM \ Switches

51. Condition: • It appears a dead switch has been added to the bedroom light switch. The switch may have been added for a future ceiling fan.

52. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

DISTRIBUTION SYSTEM \ Lights

53. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

54. Condition: • [Inoperative](#)

On the day of the inspection various lights did not operate. These include but not limited to the gable end garage light, left garage door opener, center garage light, master bathroom light above the tub, the heat lamp in upper bathroom and the patio light.

Implication(s): Inadequate lighting

55. Condition: • [Inoperative](#)

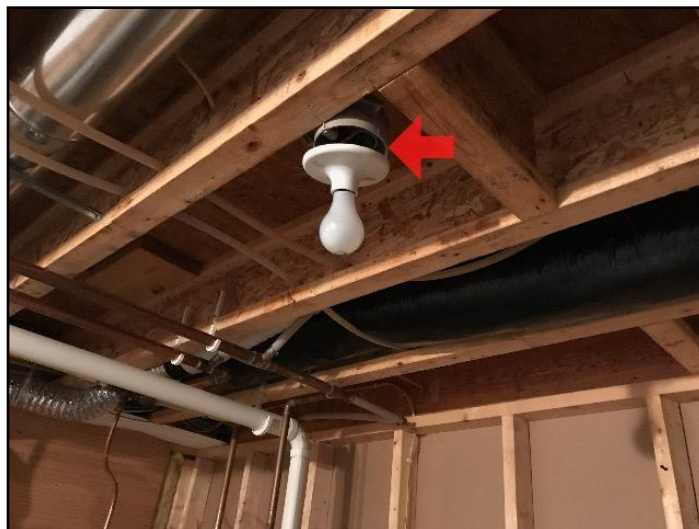
Implication(s): Inadequate lighting

56. Condition: • [Loose](#)

Implication(s): Electric shock | Fire hazard

Location: Basement

Task: Repair



Loose light fixtures in utility room

DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

57. Condition: • On the day of the inspection multiple smoke/CO alarms had a weak alarm sound. Recommend further

evaluation and repair or replace where needed.

Task: Improve



Weak chirping sound

General Information / Description

System type:

- [Combination heating system](#)

Goodman gas furnace. Serial number (0502161411) indicates the furnace manufacture year to be 2005. Bradford White in floor heating unit. Serial number (BH6543942) indicates the manufacture year to be 2005.

Fuel/energy source: • [Gas](#)**Exhaust venting method:** • [Forced draft](#)**Main fuel shut off at:** • Basement**Exhaust pipe (vent connector):** • PVC plastic**Location of the thermostat for the heating system:**

- Hallway
- Furnace
- Basement
- Infloor heat.

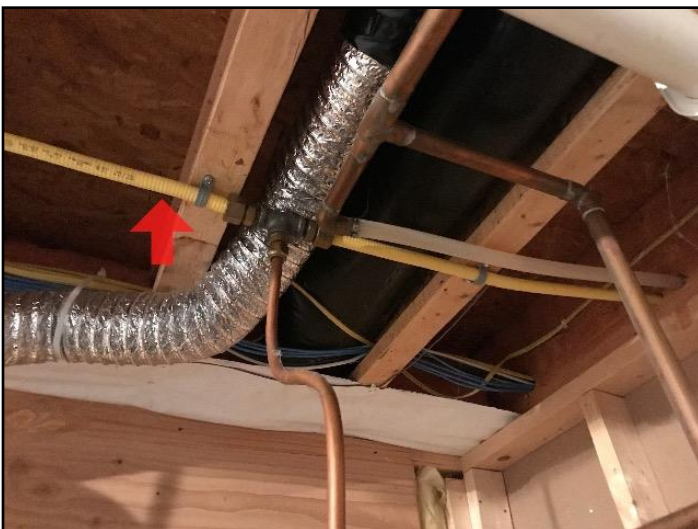
Observations / Recommendations

GAS FURNACE \ Gas piping

58. Condition: • Properly bonding and grounding of a Corrugated Stainless Steel Tubing (CSST) system may reduce the risk of damage and fire from a lightning strike. Lightning is a highly destructive force. Even a nearby lightning strike that does not strike a structure directly can cause systems in the structure to become electrically energized. Differences in potential between systems may cause damage to the CSST, including holes. Bonding and grounding reduces the risk of arcing and other related damage. At the time of the inspection I was unable to determine if the CSST was bonded.

Recommend further evaluation by a licensed electrician.

Task: Further evaluation



Yellow CSST



Yellow CSST

HEATING

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GAS FURNACE \ General

59. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

GAS FURNACE \ Thermostat

60. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

Furnace thermostat indicated a low battery. Recommend replacement.

Task: Service



Low battery

FIREPLACE \ General

61. Condition: • On the day of the inspection the downstairs fireplace was not operated due to it being unplugged.

General Information / Description

Air conditioning type: • [Air cooled](#)

Manufacturer:

• Goodman

The serial number indicated the manufacture year to be 2005.

Serial number: 0506173842

Location of the thermostat for the cooling system: • Hallway

Inspection Methods / Limitations

Inspection limited/prevented by: • Running the Air Conditioner in Cold Weather is Not Recommended

Air conditioning manufacturers and HVAC professionals agree, an outdoor condensing unit should not be run in cold weather for any reason. There's a significant amount of oil in the compressor and it functions like oil in your vehicles engine.

Just like engine oil, compressor oil for condensing units has different grades. The oil that is used in central air conditioner compressors is summer-weight oil. It is a heavy grade of oil that works well in warm conditions. It can heat up and still provide the compressor with the lubrication and protection required, something lighter grade of oil could not do. In cold weather, the oil is too thick for the safe functioning of the compressor.

Most HVAC technicians and home appraisers won't run a central air conditioner unless daytime temperatures are above well above 60 degrees F for at least 2-3 days prior to the test. www.webhvac.com

INSULATION AND VENTILATION

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General Information / Description

Attic/roof insulation material: • [Glass fiber](#)

Attic/roof ventilation: • [Roof vent](#) • [Soffit vent](#) • [Gable vent](#)

Observations / Recommendations

ATTIC/ROOF \ Insulation

62. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

ATTIC/ROOF \ Hatch/Door

63. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

Location: Garage

ATTIC/ROOF \ Roof vents

64. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

General Information / Description

Service piping into building: • [Plastic](#)

Supply piping in building: • PEX (cross-linked Polyethylene)

Main water shut off valve at the:

- Basement



Main water shut off

Water flow and pressure: • [Functional](#)

Water heater type: • [Conventional](#)

Water heater fuel/energy source: • [Gas](#)

Water heater manufacturer:

- Bradford White

The serial number indicates the manufacture year to be 2005.

Serial number: BB5864562

Waste and vent piping in building: • [PVC plastic](#)

Floor drain location: • Near water heater

Gas piping: • Steel • Copper • CSST (Corrugated Stainless Steel Tubing)

Main fuel shut off valve at the: • Basement

Exterior hose bibb (outdoor faucet): • Present

Observations / Recommendations

SUPPLY PLUMBING \ Water service pipe

65. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

SUPPLY PLUMBING \ Shut off valve

66. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

GAS SUPPLY \ Gas piping

67. **Condition:** • Properly bonding and grounding of a Corrugated Stainless Steel Tubing (CSST) system may reduce the risk of damage and fire from a lightning strike. Lightning is a highly destructive force. Even a nearby lightning strike that does not strike a structure directly can cause systems in the structure to become electrically energized. Differences in potential between systems may cause damage to the CSST, including holes. Bonding and grounding reduces the risk of arcing and other related damage. At the time of the inspection I was unable to determine if the CSST was bonded. Recommend further evaluation by a licensed electrician.

WATER HEATER \ General

68. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

WATER HEATER \ Hot/cold piping

69. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

WATER HEATER \ Temperature/pressure relief valve

70. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

WATER HEATER \ Isolating valve/Cold water shut-off valve

71. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

WASTE PLUMBING \ Traps - installation

72. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

WASTE PLUMBING \ Floor drain

73. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

74. **Condition:** • [Grate missing, rusted or obstructed](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Trip or fall hazard

WASTE PLUMBING \ Venting system

75. **Condition:** • Satisfactory condition. Minor or typical repairs may be required.

WASTE PLUMBING \ Sump pump

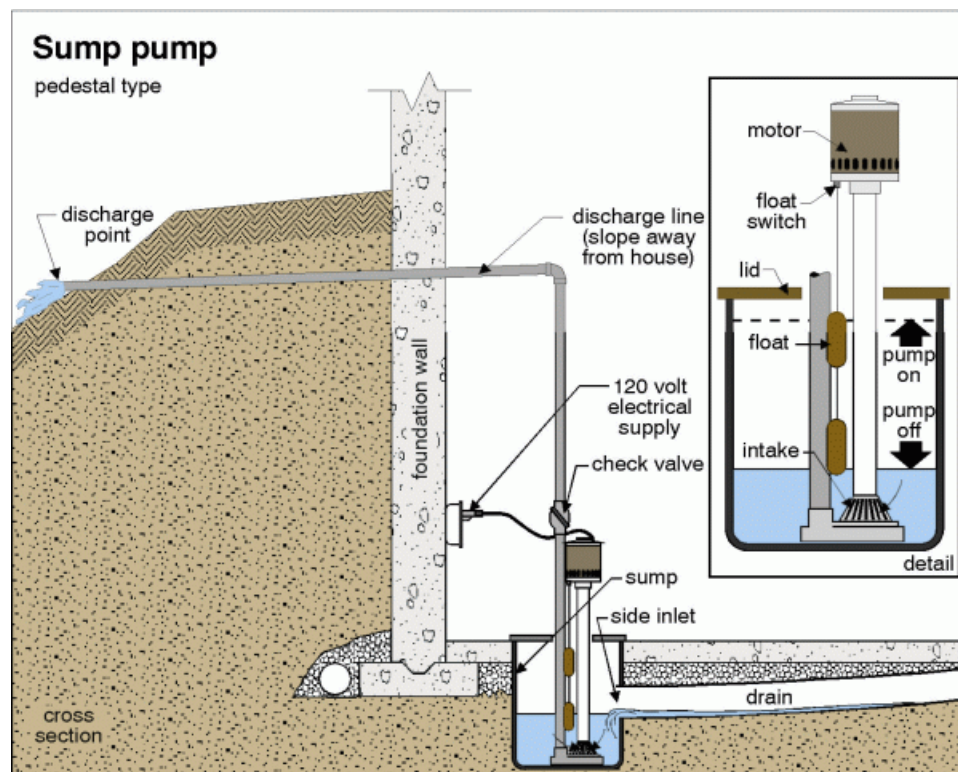
76. **Condition:** • [Missing](#)

On the day of the inspection it appears no sump pump has been installed into the sump pit.

Implication(s): Chance of water damage to contents, finishes and/or structure | Equipment failure

Task: Provide

Time: Discretionary



Missing sump pump

FIXTURES AND FAUCETS \ Hose bib or bibb (outdoor faucet)

77. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

78. Condition: • [Inoperative](#)

The outdoor faucet located on the patio side of the house did not operate. Appears the valve has been turned off.

Implication(s): Equipment inoperative

FIXTURES AND FAUCETS \ Faucet

79. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

80. Condition: • [Aerator - obstructed](#)

On the day of the inspection the shower head was had limited water pressure. Recommend cleaning or replacing to improve water pressure.

Implication(s): Reduced water pressure and volume

Location: Basement Bathroom



Aerator - obstructed

FIXTURES AND FAUCETS \ Basin, sink and laundry tub

81. Condition: • Satisfactory condition. Minor or typical repairs may be required.

FIXTURES AND FAUCETS \ Bathtub

82. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

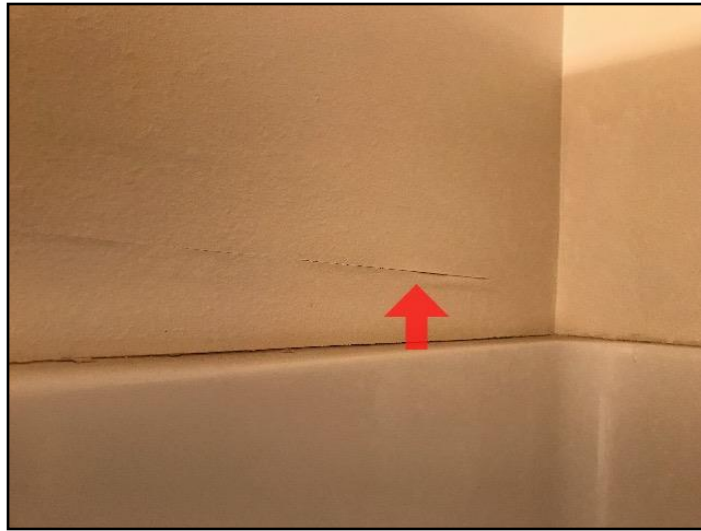
FIXTURES AND FAUCETS \ Bathtub enclosure

83. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

FIXTURES AND FAUCETS \ Shower stall

84. Condition: • On the day of the inspection the sheet rock seam above the shower appears to have opened up. Recommend repairing to prevent water intrusion behind the sheet rock.

Task: Repair



Shower stall

85. Condition: • Satisfactory condition. Minor or typical repairs may be required.

FIXTURES AND FAUCETS \ Toilet

86. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

87. Condition: • [Obstructed or weak flush](#)

On the day of the inspection the toilets were slow to fill. The tanks appeared to have a water residue buildup. Recommend cleaning to prevent premature failure.

Task: Improve



Residue build up.

General Information / Description

Major wall finishes: • [Plaster/drywall](#)

Major ceiling finishes: • [Plaster/drywall](#)

Windows: • [Sliders](#)

Oven type: • Conventional

Oven fuel: • Electricity

Appliances: • Refrigerator • Dishwasher • Waste disposal • Microwave oven

Laundry facilities: • Washer • Laundry tub • Hot/cold water supply • Dryer • Vented to outside • 120-Volt outlet • 240-Volt outlet • Waste standpipe

Kitchen ventilation: • Range hood

Bathroom ventilation: • Exhaust fan

Laundry room ventilation: • Clothes dryer vented to exterior

Observations / Recommendations

CEILINGS \ Plaster or drywall

88. Condition: • Typical garage ceiling and wall flaws appeared. Recommend repairing on your discretion.

Location: Garage



Typical garage flaws



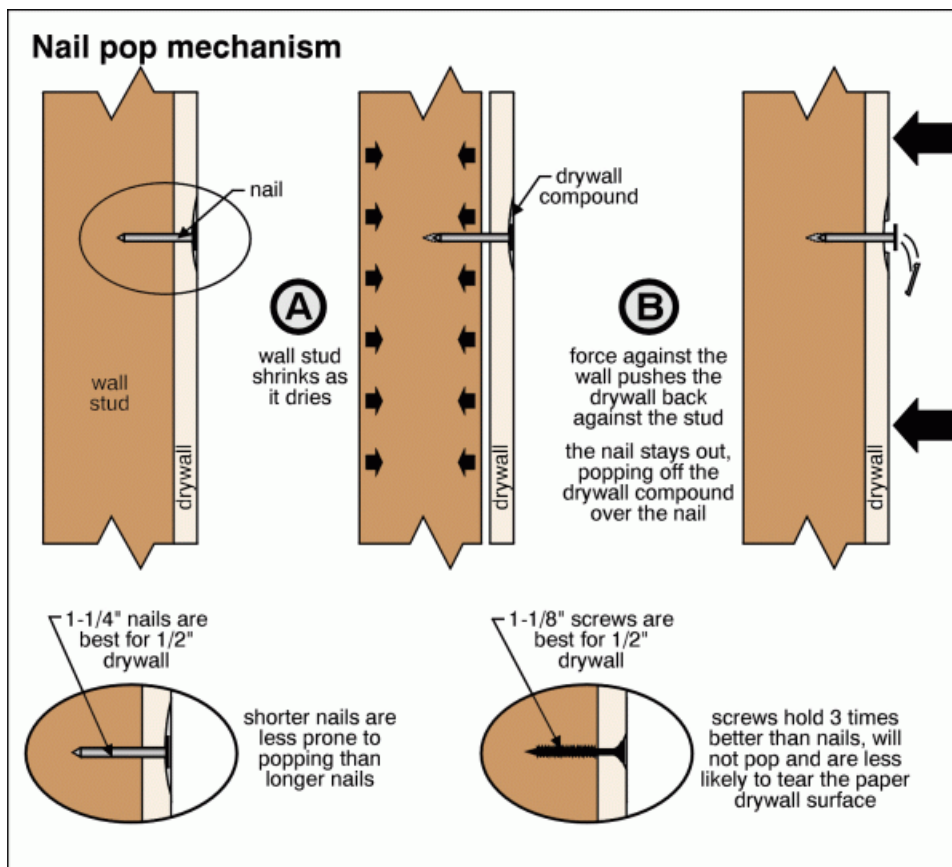
typical garage flaws

89. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

90. Condition: • [Nail pops](#)

Location: Various

Task: Monitor



Nail pops

WALLS \ Plaster or drywall

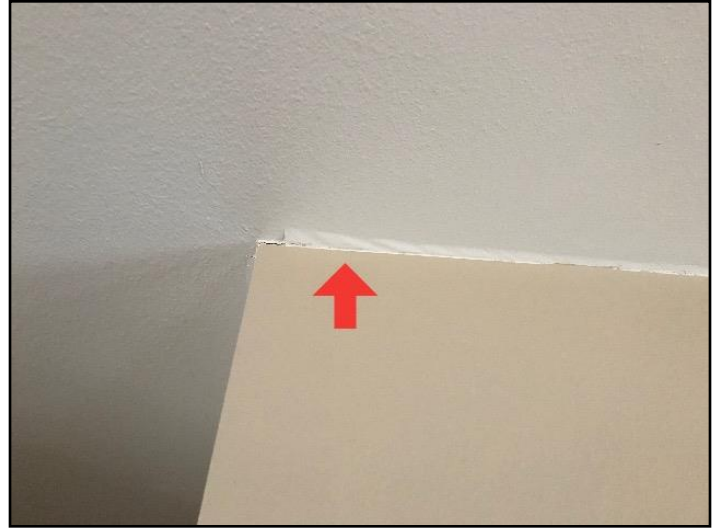
91. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

92. Condition: • [Typical flaws](#)

Though typical flaws exist water intrusion common indicators are not evident.



Typical flaws



Typical flaws

FLOORS \ General

93. Condition: • Satisfactory condition. Minor or typical repairs may be required.

WINDOWS \ General

94. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

WINDOWS \ Means of egress/escape

95. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

DOORS \ Doors and frames

96. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

CARPENTRY \ Cabinets

97. Condition: • On the day of the inspection multiple medicine cabinet latches above the bathroom vanities did not operate as they should. Recommend repairing as needed.



Mirror latch inoperable

98. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

CARPENTRY \ Countertops

99. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

STAIRS \ General

100. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

STAIRS \ Handrails and guards

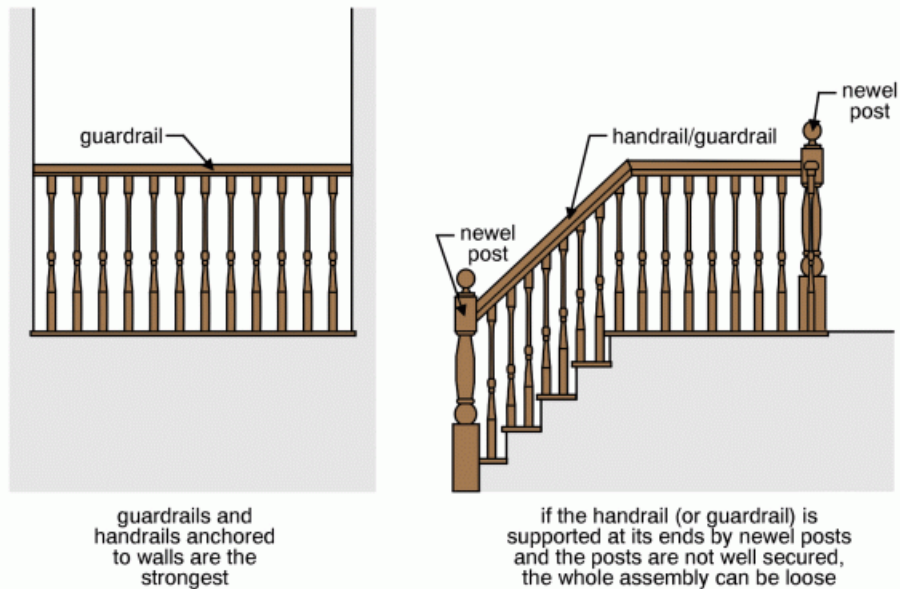
101. Condition: • [Loose](#)

At the time of the inspection the handrail leading to the upstairs has loosened over time. Recommend monitoring and improving if it becomes worse.

Implication(s): Fall hazard

Task: Monitor

Handrail support



Loose guardrail post.

EXHAUST FANS \ General

102. Condition: • Satisfactory condition. Minor or typical repairs may be required.

APPLIANCES \ Refrigerator

103. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

APPLIANCES \ Oven

104. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

APPLIANCES \ Microwave oven

105. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

APPLIANCES \ Dishwasher

106. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

APPLIANCES \ Waste disposal

107. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

APPLIANCES \ Washing machine

108. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

APPLIANCES \ Dryer

109. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS