

Your Inspection Report

1380 Lincoln Road
Windsor, ON N8Y 2J1

PREPARED FOR:

VERA CRUISE

INSPECTION DATE:

Tuesday, March 10, 2026

PREPARED BY:

Matt Awram, CMI, RHI



Third Eye Home Inspections
3886 Concession 3 South
Amherstburg, ON N9V 2Y8

519-982-3534

www.thirdeyehomeinspections.com
thirdeyeinspections@live.com



Scan to download
report



March 10, 2026

Dear Vera Cruise,

RE: Report No. 5469
1380 Lincoln Road
Windsor, ON
N8Y 2J1

Thanks very much for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

Matt Awram
on behalf of
Third Eye Home Inspections

Third Eye Home Inspections
3886 Concession 3 South
Amherstburg, ON N9V 2Y8
519-982-3534
www.thirdeyehomeinspections.com
thirdeyeinspections@live.com



INVOICE

March 10, 2026

Client: Vera Cruise

Report No. 5469
For inspection at:
1380 Lincoln Road
Windsor, ON
N8Y 2J1
on: Tuesday, March 10, 2026

Home Inspection		\$430.00
Discount		(\$49.47)
	Subtotal	<hr/> \$380.53
	HST#	\$49.47
	814501441RT0001	
	Total	<hr/> \$430.00 <hr/>

Third Eye Home Inspections
3886 Concession 3 South
Amherstburg, ON N9V 2Y8
519-982-3534
www.thirdeyehomeinspections.com
thirdeyeinspections@live.com

AGREEMENT

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

PARTIES TO THE AGREEMENT

Company

Third Eye Home Inspections
3886 Concession 3 South
Amherstburg, ON N9V 2Y8

Client

Vera Cruise

Total Fee: \$430.00

This is an agreement between Vera Cruise and Third Eye Home Inspections.

THIS CONTRACT LIMITS THE LIABILITY OF THE HOME INSPECTION COMPANY.

PLEASE READ CAREFULLY BEFORE SIGNING.

In addition to the limitations in the Standards of Practice, the Inspection of this property is subject to the Limitations and Conditions set out in this Agreement. The Inspection is performed in accordance with the Standards of Practice of our national association.

LIMITATIONS AND CONDITIONS OF THE HOME INSPECTION

There are limitations to the scope of this Inspection. It provides a general overview of the more obvious repairs that may be needed. It is not intended to be an exhaustive list. The ultimate decision of what to repair or replace is yours. One homeowner may decide that certain conditions require repair or replacement, while another will not.

1) THE INSPECTION IS NOT TECHNICALLY EXHAUSTIVE.

The Home Inspection provides you with a basic overview of the condition of the property. Because your Home Inspector has only a limited amount of time to go through the property, the Inspection is not technically exhaustive.

Some conditions noted, such as foundation cracks or other signs of settling in a house, may either be cosmetic or may indicate a potential problem that is beyond the scope of the Home Inspection.

If you are concerned about any conditions noted in the Home Inspection Report, we strongly recommend that you consult a qualified Licensed Contractor or Consulting Engineer. These professionals can provide a more detailed analysis of any conditions noted in the Report at an additional cost

2) THE INSPECTION IS AN OPINION OF THE PRESENT CONDITION OF THE VISIBLE COMPONENTS.

The Home Inspector's Report is an opinion of the present condition of the property. It is based on a visual examination of the readily accessible features of the building.

A Home Inspection does not include identifying defects that are hidden behind walls, floors or ceilings. This includes wiring, heating, cooling, structure, plumbing and insulation that are hidden or inaccessible.

Some intermittent problems may not be obvious on a Home Inspection because they only happen under certain circumstances. As an example, your Home Inspector may not discover leaks that occur only during certain weather conditions or when a specific tap or appliance is being used in everyday life.

AGREEMENT

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

Home Inspectors will not find conditions that may only be visible when storage or furniture is moved. They do not remove wall coverings (including wallpaper) or lift flooring (including carpet) or move storage to look underneath or behind.

3) THE INSPECTION DOES NOT INCLUDE HAZARDOUS MATERIALS.

This includes building materials that are now suspected of posing a risk to health such as phenol-formaldehyde and urea-formaldehyde based insulation, fiberglass insulation and vermiculite insulation. The Inspector does not identify asbestos roofing, siding, wall, ceiling or floor finishes, insulation or fireproofing. We do not look for lead or other toxic metals in such things as pipes, paint or window coverings.

The Inspection does not deal with environmental hazards such as the past use of insecticides, fungicides, herbicides or pesticides. The Home Inspector does not look for, or comment on, the past use of chemical termite treatments in or around the property.

4) WE DO NOT COMMENT ON THE QUALITY OF AIR IN A BUILDING.

The Inspector does not try to determine if there are irritants, pollutants, contaminants, or toxic materials in or around the building.

The Inspection does not include spores, fungus, mold or mildew that may be present. You should note that whenever there is water damage noted in the report, there is a possibility that mold or mildew may be present, unseen behind a wall, floor or ceiling.

If anyone in your home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens at additional cost.

5) WE DON'T LOOK FOR BURIED TANKS.

Your Home Inspector does not look for and is not responsible for fuel oil, septic or gasoline tanks that may be buried on the property. If the building had its heating system converted from oil, there will always be the possibility that a tank may remain buried on the property.

If fuel oil or other storage tanks remain on the property, you may be responsible for their removal and the safe disposal of any contaminated soil. If you suspect there is a buried tank, we strongly recommend that you retain a qualified Environmental Consultant to determine whether this is a potential problem.

6) TIME TO INVESTIGATE

We will have no liability for any claim or complaint if conditions have been disturbed, altered, repaired, replaced or otherwise changed before we have had a reasonable period of time to investigate.

7) REPORT IS FOR OUR CLIENT ONLY

The inspection report is for the exclusive use of the client named herein. No use of the information by any other party is intended.

AGREEMENT

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

8) CANCELLATION FEE

If the inspection is cancelled within 24 hours of the appointment time, a cancellation fee of 50% of the inspection fee will apply.

9) NOT A GUARANTEE, WARRANTY OR INSURANCE POLICY.

The inspection is not a guarantee, warranty or an insurance policy with regard to the fitness of the property.

10) LIMIT OF LIABILITY / LIQUIDATED DAMAGES

The liability of the Home Inspector and the Home Inspection Company arising out of this Inspection and Report, for any cause of action whatsoever, whether in contract or in negligence, is limited to a refund of the fees that you have been charged for this inspection.

I, Vera Cruise (Signature) _____, **(Date)** _____, **have read, understood and accepted the terms of this agreement.**

SUMMARY

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Roofing

RECOMMENDATIONS \ Overview

Condition: • No roofing recommendations are offered as a result of this inspection.

Exterior

RECOMMENDATIONS \ Overview

Condition: • The back yard has a few fence posts that were broken. These loose posts will needed to be repaired/ replaced.

Condition: • The front GFI is faulty and the rear GFI is missing.

Condition: • I would recommend that the rear small patio roof have an eave trough installed and a downspout to held keep water away from the slab.

Condition: • The rear small patio roof needs to have a full double header added to support the weight of snow load. The current one does not span the full width and is being held up with deck screws. Mods need to be done here for adequate support.

Structure

RECOMMENDATIONS \ Overview

Condition: • No structure recommendations are offered as a result of this inspection.

Electrical

RECOMMENDATIONS \ Overview

Condition: • There were a couple electrical issues but these were already discussed in the exterior section of this report.

Heating

RECOMMENDATIONS \ Overview

Condition: • No heating recommendations are offered as a result of this inspection.

FURNACE \ Life expectancy

Condition: • [Near end of life expectancy](#)

Implication(s): Equipment failure | No heat for building

SUMMARY

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Condition: • [Old](#)

Implication(s): Equipment failure | No heat for building

Condition: • Aging

Cooling & Heat Pump

RECOMMENDATIONS \ Overview

Condition: • No air conditioning or heat pump recommendations are offered as a result of this inspection.

Insulation and Ventilation

RECOMMENDATIONS \ Overview

Condition: • The lower bathroom fan is very weak and should be replaced. Ensure this is installed correctly and vented to the exterior of the home.

Plumbing

RECOMMENDATIONS \ Overview

Condition: • No plumbing recommendations are offered as a result of this inspection.

Interior

RECOMMENDATIONS \ Overview

Condition: • There does appear to be a small trip hazard in the floor transition to the rear small addition. This is being noted for safety.

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

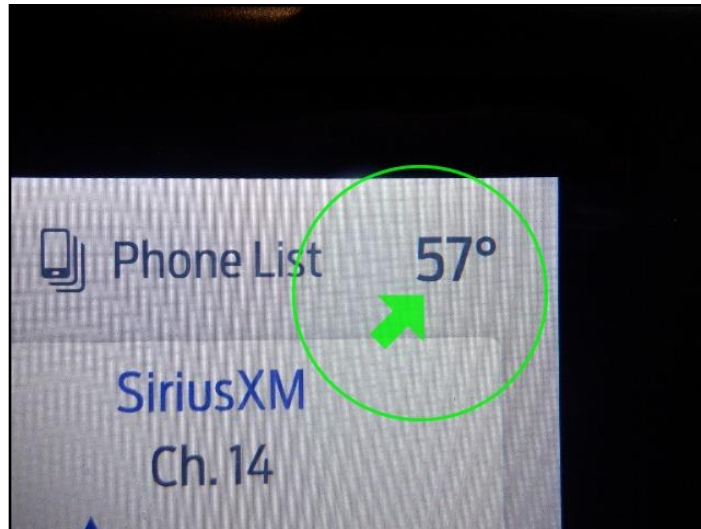
[Home Improvement - ballpark costs](#)

Description

General: • This entire inspection was performed to the standards of practice and any issues found with this home and it's systems will be noted at the end of every section throughout this report. This inspection is a non invasive type of inspection and is not technically exhaustive, it will provide an accurate general overview of the property as it stands at the time of inspection. Limitations to some areas of the inspection will arise and these will be noted throughout this report. If you are concerned about any conditions noted in this report, I strongly recommend that you consult a qualified licensed contractor or consulting engineer for a more detailed analysis of any conditions and issues in question. • The client was present at the time of inspection and all issues and limitations found throughout the inspection will be noted in this report. This report will provide an overall view of the property as it lies at the time of this inspection. • Only the main home and any building attached to it is included in this home inspection. All out buildings are not and will not be part of this inspection as per standards of practice. • Any Pools / Hot tubs on the property or anything associated with will be part of this inspection. • Home warranties and building permits are not looked or or used as reference for this inspection. • This is a Pre Listing Inspection that is being done for the current home owner to determine what issues are present and what the condition of the property is before the home is put on the market for sale. This Report, the inspection and it's contract is only legally binding for the parties named in this contract. This inspection was performed to the industry standards and it was a full home inspection. • This home was not vacant at the time of inspection.

General: • Approx. date of build was 1925.

General: • The weather at the time of inspection was cloudy with a temp of 57 F



1. 57 F

The home is considered to face: • Faces South West

ROOFING

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

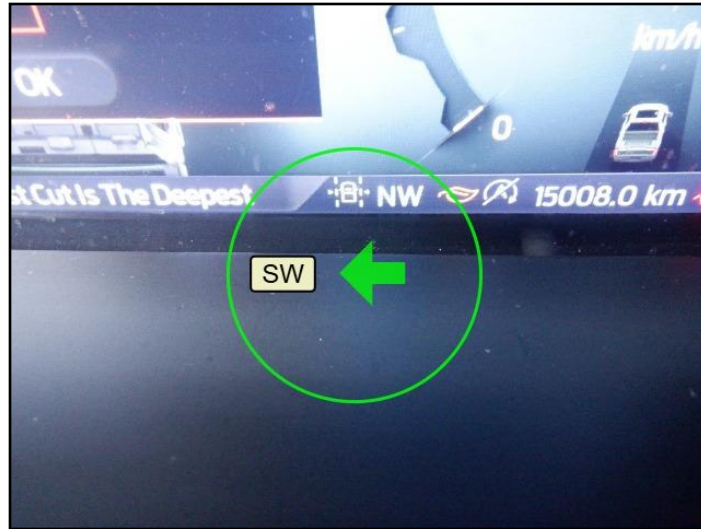
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



2. South West Face

Sloped roofing material:

- [Asphalt shingles](#)
 - [Strip when reroofing](#)
 - Flashings Complete
 - Plywood Underlay
 - Engineered Shingles
- Rear Addition



3. Engineered Shingles

- 3 Tab Shingles
- Main Home

ROOFING

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



4. 3 Tab Shingles

- No Soft Spots Noted
 - Plank Sheathing Underlay
 - Roof/ Attic Ventilation Present
 - No Wind Damage
 - No areas with excessive wear
 - Normal Wear Noted
 - Approx age of 5-6 Years Old
- Rear Engineered Shingles

Sloped roofing material: • 9-10 Years / 3 Tab Shingles / Main Home

Sloped roof flashing material: • Metal

Probability of leakage: • Low

Approximate age:

- 6 years
- Engineered Shingles

- 10 years

3 Tab

Typical life expectancy:

- 15-20 years
- 3 Tab Shingles
- 20-25 years
- Engineered Shingles.

Roof Shape: • Hip • Shed

Limitations

General: • All limitations were discussed with client at the time of inspection. The client carefully read the contract and signed it prior to the start of the inspection. • All limitations are being noted in this report and this report is being sent prior to final sale on this home.

Inspection limited/prevented by: • Lack of access (too high/steep) • Main attic unable to be walked because of insulation covering the ceiling joists.

Inspection performed:

- By walking on roof
- From roof edge
- From the ground
- With a drone



5. With a drone

- From attic access hatch

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Age determined by: • Visual inspection from roof surface • Visual inspection from ground • Drone

Not included as part of a building inspection: • Antennas • Not readily accessible interiors of vent systems, flues, and chimneys • Dish • Solar Panels

Recommendations

RECOMMENDATIONS \ General

1. **Condition:** • Always ensure that a certified roofing contractor is called to repair or replace any type of roofing.

2. **Condition:** • 3 Tab Shingles

Approx. 9-10 Years Old

No Damage

Venting Noted

Plywood and Plank Underlay

Open Aluminum Valleys

Normal Wear Noted

Asphalt Shingles

ROOFING

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

No Issues



6. 3 Tab Shingles



7. Normal Wear / Approx. 9-10 Years



8. Open Aluminum Valleys



9. No Damage/ Normal Wear



10. 3 Tab Shingles/ Good Shape

ROOFING

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

3. Condition: • Asphalt Shingles
Engineered Shingles
Normal Wear
No Damage
Approx. 6 Years Old



11. Roof Walked/ No Damage/ No Soft Spots



12. Engineered Shingles



13. Normal Wear / Approx. 6 Years

RECOMMENDATIONS \ Overview

4. Condition: • No roofing recommendations are offered as a result of this inspection.

EXTERIOR

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

General: • Exterior outbuildings not attached to home are part of this inspection. • Pools and hot tubs are not inspected as part of this inspection. Ensure that these are inspected by professional in their respected line of work.

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout type: • [Eave mounted](#)

Gutter & downspout discharge: • [Above grade](#)

Downspout discharge: • [Above grade](#)

Lot slope: • [Flat](#)

Soffit (underside of eaves) and fascia (front edge of eaves): • [Aluminum](#) • [Vinyl](#)

Wall surfaces and trim:

• [Vinyl siding](#)



14. *Vinyl siding*

Wall surfaces - masonry:

• [Block](#)

Block Foundation

Driveway:

• Asphalt

EXTERIOR

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



15. Asphalt

- Blacktop

Walkway:

- Concrete



16. Concrete

Deck: • No Deck

Porch: • Concrete

Exterior steps: • Concrete

Balcony: • No Balcony

Patio: • Concrete

Fence:

- Wood

EXTERIOR

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



17. Wood

Garage: • No Garage

Carport: • No Carport

Trellis/Pergola:

• Wood



18. Wood

Irrigation/Lawn sprinklers: • None

EXTERIOR

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Limitations

General: • All detached outbuildings are not included in this inspection.

Inspection limited/prevented by: • Poor access under steps, deck, porch

No or limited access to: • Area below steps, deck, porches

Exterior inspected from: • Ground level

Not included as part of a building inspection: • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Screens, shutters, awnings, and similar seasonal accessories • Geological and soil conditions • Recreational facilities • Seawalls, breakwalls, docks • Erosion control, earth stabilization measures • All outbuildings other than the main home.

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Recommendations

RECOMMENDATIONS \ General

5. Condition: • **Always ensure that all eaves troughs and downspouts are cleaned out on a regular basis.

6. Condition: • Termination above grade and 5 feet from the foundation is not required but always recommended.

7. Condition: • No comment will be made on any exterior cosmetic finishes and overground landscaping and yard debris.

RECOMMENDATIONS \ Overview

8. Condition: • The back yard has a few fence posts that were broken. These loose posts will needed to be repaired/ replaced.



19. *Few broken fence posts*

9. Condition: • The front GFI is faulty and the rear GFI is missing.

EXTERIOR

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

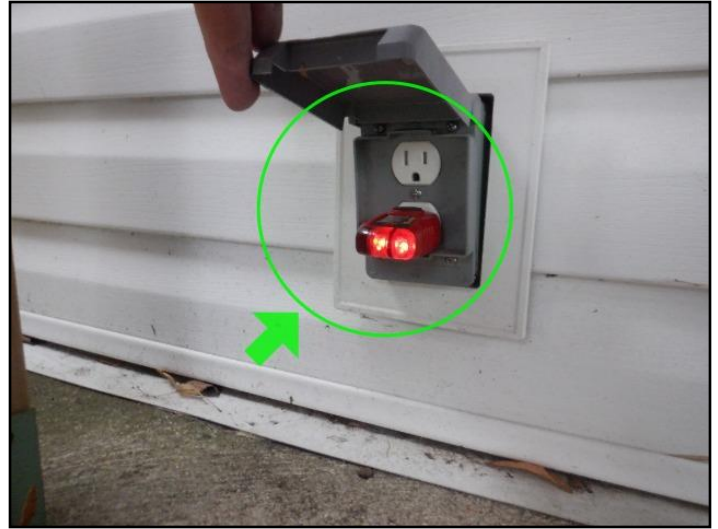
PLUMBING

INTERIOR

REFERENCE



20. Faulty GFI



21. Missing GFI

10. Condition: • I would recommend that the rear small patio roof have an eave trough installed and a downspout to help keep water away from the slab.



22. Install trough and downspout

11. Condition: • The rear small patio roof needs to have a full double header added to support the weight of snow load. The current one does not span the full width and is being held up with deck screws. Mods need to be done here for adequate support.

EXTERIOR

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



23. Reinforce header for snow loads

Description

Configuration:

- [Basement](#)



24. *Basement*

Foundation material:

- [Masonry block](#)



25. *Masonry block*

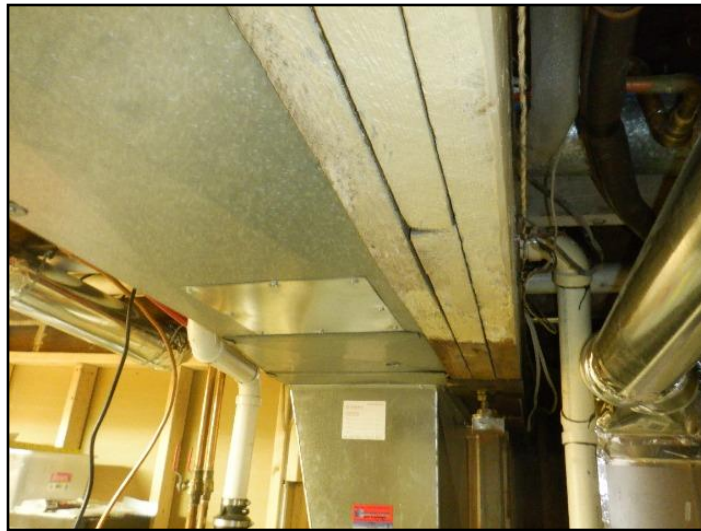
Floor construction:

- [Joists](#)
- Steel columns



26. Steel columns

- Built-up wood beams (girders)



27. Built-up wood beams (girders)

- Subfloor - plank

Exterior wall construction: • [Wood frame](#)

Roof and ceiling framing:

- Ceiling Joists
- Rafters
- Rafters/ceiling joists
- [Rafters/roof joists](#)
- Roof Joists

STRUCTURE

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



28. Roof Joists

- [Plank sheathing](#)



29. Roof Joists



30. Plank sheathing

- [Plywood sheathing](#)



31. Plank sheathing

Location of access to under-floor area: • Basement

Limitations

Inspection limited/prevented by:

- Ceiling, wall and floor coverings

The basement was 95 % finished leaving the main floor supports, foundation walls in these areas unable to be seen. This was a limitation and is being noted in this report.

STRUCTURE

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

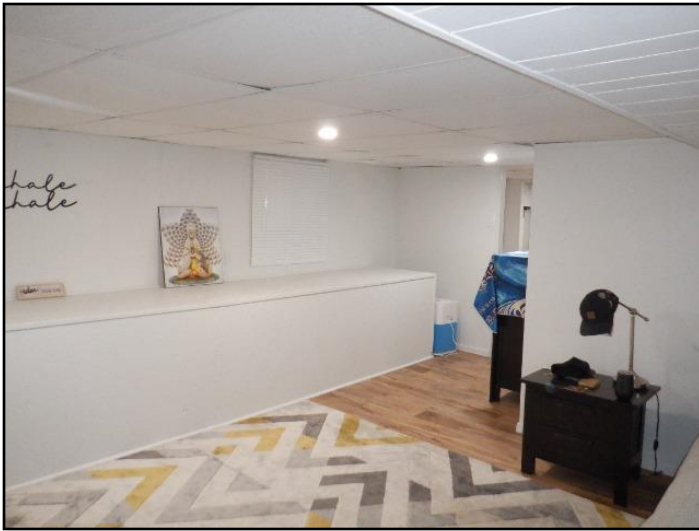
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



32. Ceiling, wall and floor coverings



33. Ceiling, wall and floor coverings



34. Ceiling, wall and floor coverings

- Storage



35. Ceiling, wall and floor coverings

STRUCTURE

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



36. Storage

37. Storage

- New finishes/paint
- Insulation
- Main attic could not be walked because of insulation covering the ceiling joists.



38. Limited Walking

Attic/roof space: • Inspected from access hatch

Percent of foundation not visible: • 99 %

Not included as part of a building inspection: • Visible mold evaluation is not included in the building inspection report • Attic load bearing components concealed by insulation cannot be traversed

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

STRUCTURE

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Recommendations

RECOMMENDATIONS \ Overview

12. Condition: • No structure recommendations are offered as a result of this inspection.

Description

General: • 100 AMP SERVICE • OVERHEAD SERVICE

General: • Updated wiring and panel box from original.

Service entrance cable and location:

- [Overhead](#)
- [Overhead - cable type not determined](#)



39. Overhead - cable type not determined

Service size:

- [100 Amps \(240 Volts\)](#)



40. 100 Amps (240 Volts)

Main disconnect/service box rating:

- [125 Amps](#)



41. 125 Amps

Main disconnect/service box type and location:

- [Breakers](#)
- [Breakers - basement](#)



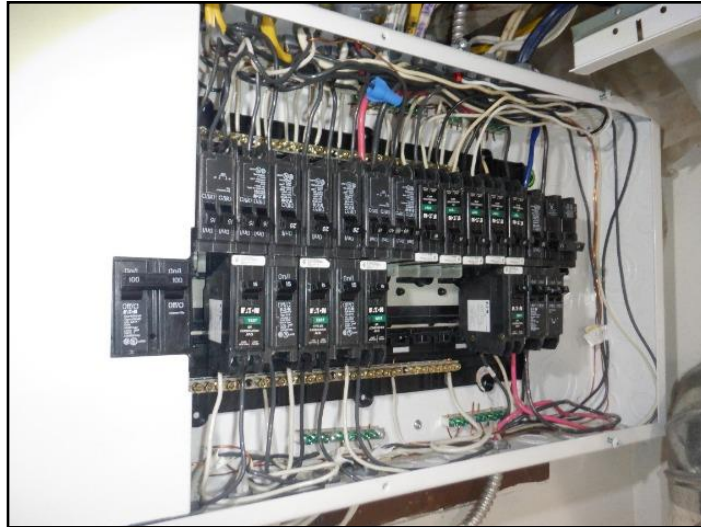
42. Breakers - basement

- [Breakers - exterior wall](#)

System grounding material and type: • [Copper - water pipe](#)

Distribution panel type and location:

- [Breakers](#)
- [Breakers - basement](#)



43. Breakers - basement

- [Breakers - exterior wall](#)

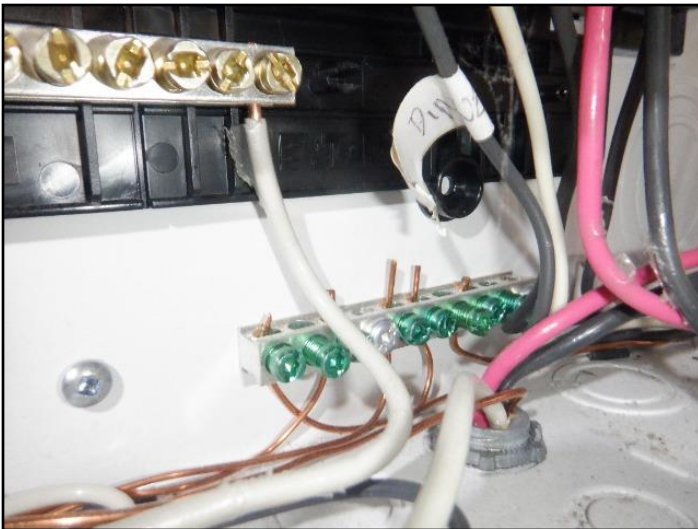
Distribution panel rating: • [125 Amps](#)

Electrical panel manufacturers: • Eaton/Cutler-Hammer

Number of circuits installed: • The main panel was not full to capacity

Distribution wire (conductor) material and type:

- [Copper - non-metallic sheathed](#)



44. Copper - non-metallic sheathed



45. Copper - non-metallic sheathed

- SUMMARY
 - ROOFING
 - EXTERIOR
 - STRUCTURE
 - ELECTRICAL**
 - HEATING
 - COOLING
 - INSULATION
 - PLUMBING
 - INTERIOR
- REFERENCE

Type and number of outlets (receptacles):

- [Grounded - typical](#)



46. Grounded - typical



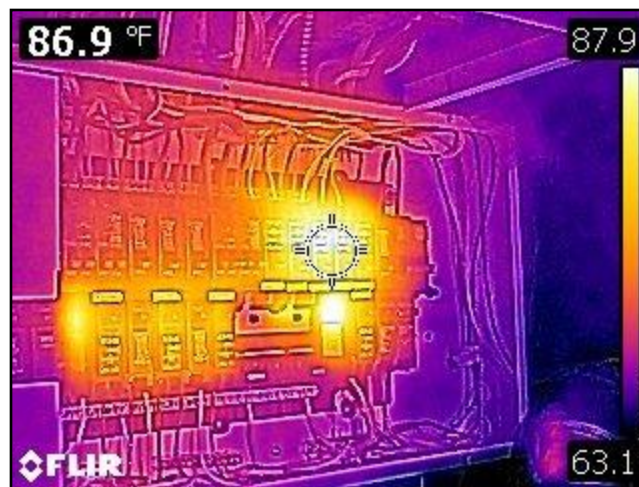
47. Grounded - typical

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):

- [GFCIs present](#)
- [GFCI - bathroom](#)
- [GFCI - bathroom and exterior](#)
- [GFCI - exterior](#)
- [GFCI - kitchen](#)
- [GFCI - whirlpool](#)

Protected in panel

- [AFClS present](#)



48. AFClS present

- [AFCl - bedroom](#)
- [AFCl - panel](#)

Smoke alarms (detectors): • Regardless if any were found at the time of inspection, it is the owners duty to ensure that these are present and operable at the time of possession. These should be placed on all levels of the home for safety. All units should be have these and all should be replaced every 10 Years

Carbon monoxide (CO) alarms (detectors): • Regardless if any were found at the time of inspection, it is the owners duty to ensure that these are present and operable at the time of possession. These should be placed on all levels of the home for safety. All units should be have these and all should be replaced every 10 Years

Limitations

Inspection limited/prevented by:

- Restricted access
Concealed wiring in walls floors and ceilings
- Insulation
- Only a representative amount of receptacles are tested at the time of inspection. Many hidden behind storage, appliances and furniture cannot be tested. This is a limitation and being noted in this report.

Panel covers: • Disconnect covers are not removed by the building inspector

System ground: • Continuity not verified • Quality of ground not determined

Circuit labels: • The accuracy of the circuit index (labels) was not verified.

Not included as part of a building inspection: • Remote control devices • Low voltage wiring systems and components
Testing of smoke and/or carbon monoxide alarms • Solar, wind, and other renewable energy systems • Amperage, voltage, and impedance measurements • Determination of the age of smoke and carbon monoxide alarms • Electrical in any out buildings • Testing any type of back up power generators • Pool and hot tub electrical

Recommendations

RECOMMENDATIONS \ General

13. Condition: • Adequacy of total amperage feeding the home and load tests are not determined by this inspection.

RECOMMENDATIONS \ Overview

14. Condition: • There were a couple electrical issues but these were already discussed in the exterior section of this report.

- SUMMARY
 - ROOFING
 - EXTERIOR
 - STRUCTURE
 - ELECTRICAL
 - HEATING**
 - COOLING
 - INSULATION
 - PLUMBING
 - INTERIOR
- REFERENCE

Description

General:

• Main heating is done with a forced air gas furnace that was turned on with normal thermostatic controls. It was responsive to these controls and the furnace was working and doing it's intended functions at the time of inspection. The client is aware of the typical lifespan of these units and was well aware of the age and condition of this furnace. Any issues found will be noted at the end of this section under recommendations.



49. Operational



50. Operational

Heating system type:

- [Furnace](#)



51. Furnace

HEATING

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Fuel/energy source: • [Gas](#)

Furnace manufacturer:

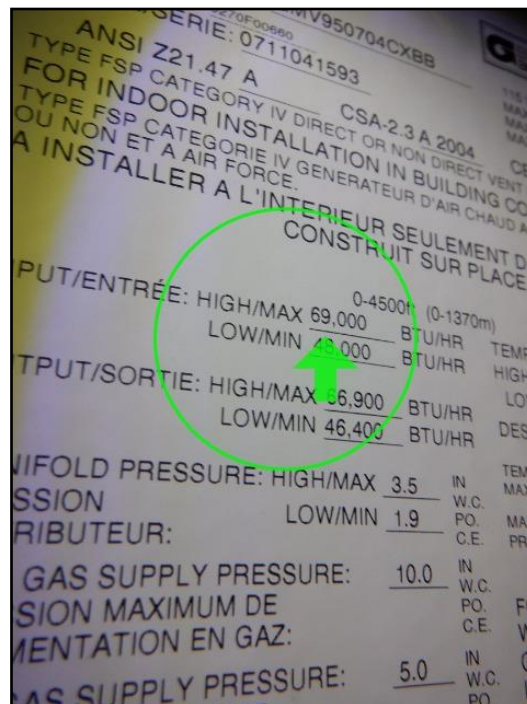
• Goodman



52. Goodman

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • 69000 BTU's



53. 69000 BTU's

HEATING

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Efficiency: • [High-efficiency](#)

Exhaust venting method:

• [Induced draft](#)



54. *Induced draft*

Combustion air source: • Outside

Approximate age:

• [19 years](#)

2007

HEATING

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

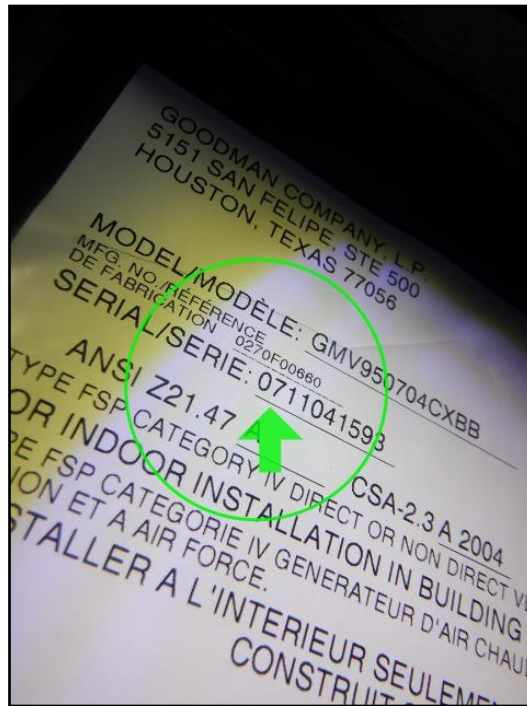
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



55. 19 years

Typical life expectancy: • Furnace (high efficiency) 15 to 20 years

Main fuel shut off at: • Meter • Also at furnace in basement

Failure probability:

• [High](#)

Based on age and not condition

Air filter:

• Disposable



56. Disposable

HEATING

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Exhaust pipe (vent connector): • Single wall • PVC plastic

Auxiliary heat: • None

Fireplace/stove: • None

Chimney/vent:

• PVC plastic



57. PVC plastic

• Sidewall venting

Humidifier: • None

Mechanical ventilation system for building: • Kitchen exhaust fan

Location of the thermostat for the heating system: • First Floor

Condensate system: • Discharges into condensate pump

Limitations

General: • The adequacy of the heating size and the configuration of ducting and air flow are not determined by this inspection.

Inspection prevented/limited by: • Restricted access

Safety devices: • Not tested as part of a building inspection

Warm weather: • Prevents testing heating effectiveness

Heat loss calculations: • Not done as part of a building inspection

HEATING

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Data plate on equipment: • Complete and legible on main heating system

Heat exchanger: • Not visible • Not accessible

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Not included as part of a building inspection: • Heat loss calculations • Interiors of vent systems, flues, and chimneys • Heat exchangers • Electronic air cleaners • Heating systems using ground source, water source, solar, and renewable energy technology • Fireplace screens and doors • Fireplace seals and gaskets • Automatic fuel feed devices • Mantles and fireplace surrounds

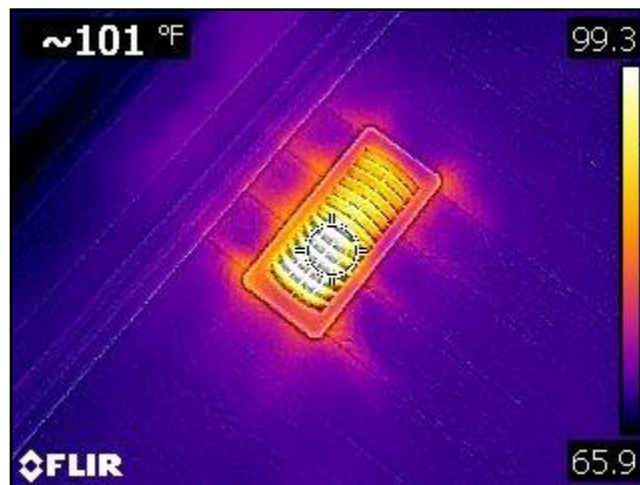
Recommendations

RECOMMENDATIONS \ General

15. Condition: • The heating system was operational at the time of inspection and doing it's normal intended functions. The client was aware of the age and condition of this furnace as it was discussed at the time of inspection.



58. Operational



59. Operational

16. Condition: • Ensure that the furnace filter is replaced every 3-4 months

17. Condition: • The adequacy of sizing and efficiency of heating systems is not determined by this inspection.

18. Condition: • Configuration of ducting is not determined by this inspection.

RECOMMENDATIONS \ Overview

19. Condition: • No heating recommendations are offered as a result of this inspection.

FURNACE \ Life expectancy

20. Condition: • [Near end of life expectancy](#)

Implication(s): Equipment failure | No heat for building

21. Condition: • [Old](#)

Implication(s): Equipment failure | No heat for building

HEATING

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

22. Condition: • Aging

COOLING & HEAT PUMP

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

General:

- The cooling in this home is done with a central air type system that was turned on with normal thermostatic controls. This system was working at the time of inspection and the client was aware of it's age and condition at the time of inspection.



60. Was Operational

Air conditioning type:

- [Air cooled](#)



61. Air cooled

Manufacturer: • Goodman

Cooling capacity:

- [24,000 BTU/hr](#)

COOLING & HEAT PUMP

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



62. 24,000 BTU/hr

• [2 Tons](#)

Compressor type: • Electric

Compressor approximate age:

• 4 years

2022

COOLING & HEAT PUMP

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

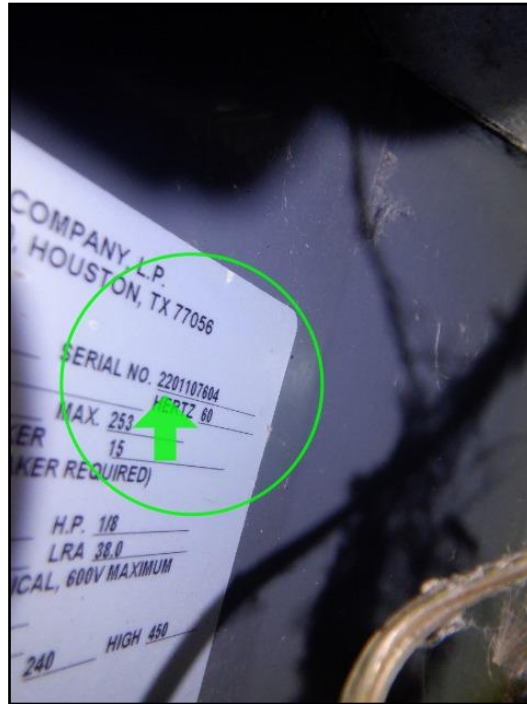
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



63. 4 years

Typical life expectancy: • 15-17 Years

Failure probability: • [Low](#)

Supply temperature: • 44 F



64. 44 F

Return temperature: • 68 F

COOLING & HEAT PUMP

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



65.68 F

Temperature difference across cooling coil: • 24° • This suggests good performance.

Refrigerant type: • R-410A

Location of the thermostat for the cooling system: • First Floor

Condensate system: • Discharges into condensate pump/ this was operational

Limitations

General: • The adequacy of the cooling size and the configuration of ducting and air flow are not determined by this inspection.

Heat gain calculations: • Not done as part of a building inspection

Heat gain/loss calculations: • Not done as part of a building inspection

Not part of a home inspection: • Home inspectors cannot typically access or inspect the indoor coil • Home inspectors do not verify that the size of the indoor coil matches the outdoor coil

System data plate: • Complete and legible

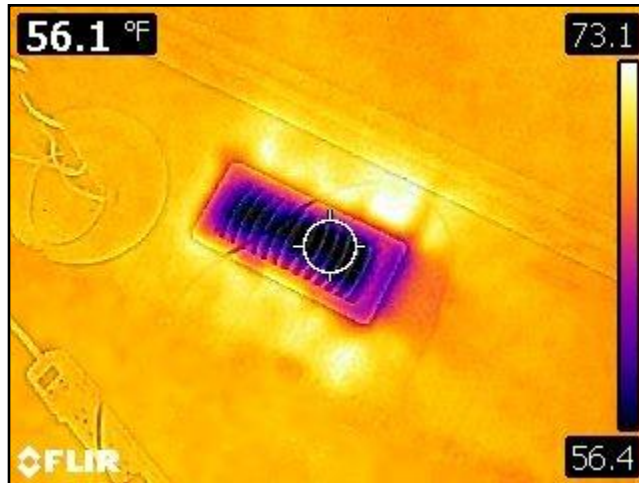
Not included as part of a building inspection: • Electronic air cleaners • Cooling system adequacy • Cooling system distribution balance • Window cooling system • Ground source, water source, solar, and renewable energy technology • Heat gain or heat loss calculations

- SUMMARY
 - ROOFING
 - EXTERIOR
 - STRUCTURE
 - ELECTRICAL
 - HEATING
 - COOLING**
 - INSULATION
 - PLUMBING
 - INTERIOR
- REFERENCE

Recommendations

RECOMMENDATIONS \ General

23. Condition: • This cooling system was working and doing it's intended functions at the time of inspection. Any issues found will be noted at the end of this section under recommendations.



66. Was Operational

RECOMMENDATIONS \ Overview

24. Condition: • No air conditioning or heat pump recommendations are offered as a result of this inspection.

Description

Attic/roof insulation material:

- [Cellulose](#)

Blown In Cellulose Insulation in attic



67. Cellulose



68. Cellulose

Attic/roof insulation amount/value: • Not determined

Attic/roof air/vapor barrier: • Not determined • [Not visible](#)

Attic/roof ventilation:

- [Soffit vent](#)



69. Soffit vent

- [Ridge vent](#)

Wall insulation material:

- Present on thermal imaging but type and r value are not known.

INSULATION AND VENTILATION

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



70. Present

Wall insulation amount/value: • Not determined • Not visible

Wall air/vapor barrier: • Not determined

Foundation wall insulation material: • Insulation is present on exterior finished walls and confirmed with thermal imaging but type and r value is unknown

Foundation wall insulation amount/value: • Not determined • Not visible

Foundation wall air/vapor barrier: • Not determined

Floor above basement/crawlspace insulation material: • None found

Floor above basement/crawlspace insulation amount/value: • [None found](#)

Floor above basement/crawlspace air/vapor barrier: • None found

Mechanical ventilation system for building:

- Kitchen exhaust fan
- Operational / vented to exterior



71. Operational

- Bathroom exhaust fan
X2



72. Bathroom exhaust fan

Limitations

Inspection limited/prevented by lack of access to: • Wall space • Floor space

Attic inspection performed: • From access hatch

Roof space inspection performed: • From access hatch

Roof ventilation system performance: • Appears to be working and adequate at time of inspection.

Air/vapor barrier system: • Continuity not verified

Mechanical ventilation effectiveness: • See recommendations section for issues with mechanical ventilation.

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Not included as part of a building inspection: • Insulation cannot be disturbed

Recommendations

RECOMMENDATIONS \ Overview

25. Condition: • The lower bathroom fan is very weak and should be replaced. Ensure this is installed correctly and vented to the exterior of the home.

INSULATION AND VENTILATION

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



73. Lower bath/ weak fan

Description

General: • The jacuzzi tub was tested and was operational. It also was protected with afci breaker in the panel box.



74. Tested and operational

Water supply source (based on observed evidence): • Public

Service piping into building:

- [Galvanized steel](#)



75. Galvanized steel

Supply piping in building: • [Copper](#) • PEX (cross-linked Polyethylene)

Main water shut off valve at the:

- Basement
- Exterior wall
- Meter



76. Meter

Water flow and pressure: • [Functional](#) • [Typical for neighborhood](#)

Water heater type:

- [Induced draft](#)



77. Induced draft

Water heater location: • Basement

Water heater fuel/energy source: • [Gas](#)

Water heater exhaust venting method:

- Induced draft
- Operational



78. Induced draft

Water heater manufacturer:

- Bradford White

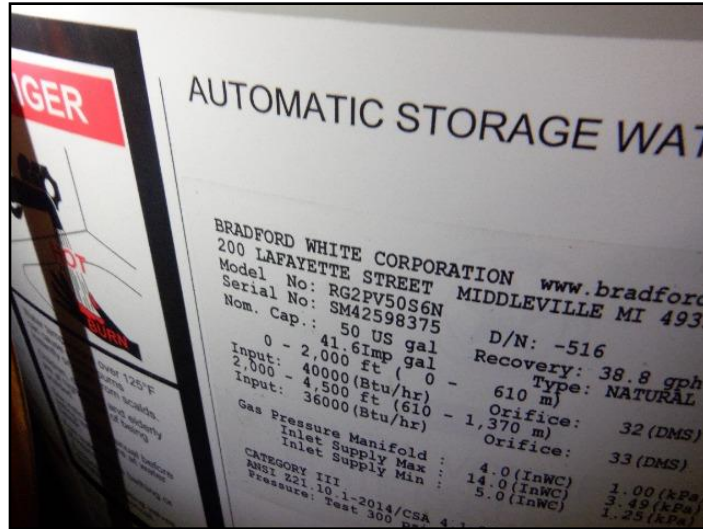


79. Bradford White

- SUMMARY
 - ROOFING
 - EXTERIOR
 - STRUCTURE
 - ELECTRICAL
 - HEATING
 - COOLING
 - INSULATION
 - PLUMBING**
 - INTERIOR
- REFERENCE

Water heater tank capacity:

- 50 gallons



80. 50 gallons

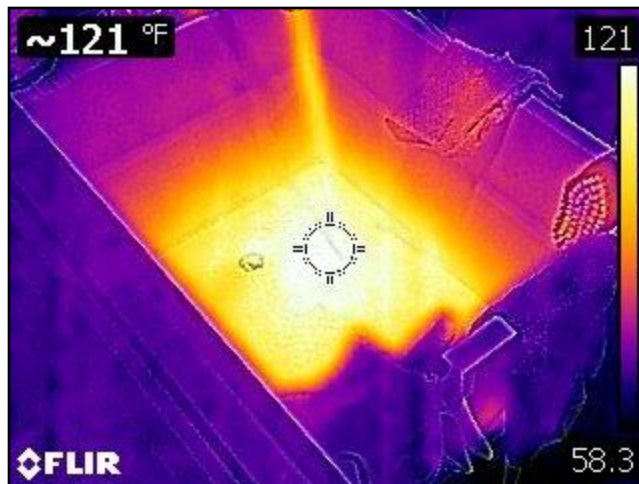
Water heater approximate age:

- 8 years
- 2018

Water heater typical life expectancy: • 10 to 15 years

Water heater failure probability: • [Low](#)

Hot water temperature (Generally accepted safe temp. is 120° F): • 121 F



81. 121 F

Hot water circulating system:

- [Present](#)

PLUMBING

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

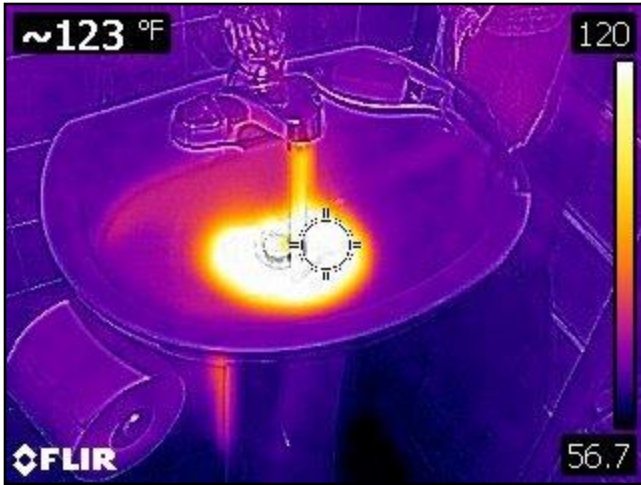
COOLING

INSULATION

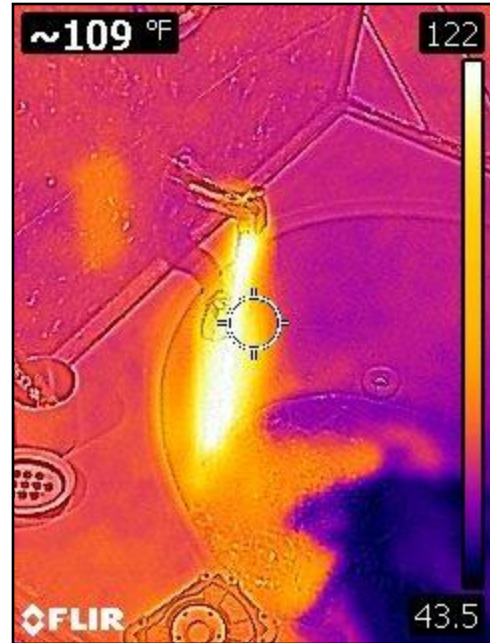
PLUMBING

INTERIOR

REFERENCE



82. Present



83. Present

Waste disposal system: • [Public](#)

Waste and vent piping in building: • [ABS plastic](#)

Sewer cleanout location: • Not located

Pumps: • Condensate pump on furnace/ was operational

Floor drain location:

• Near laundry area



84. Near laundry area

• Near heating system

PLUMBING

1380 Lincoln Road, Windsor, ON March 10, 2026

Report No. 5469

www.thirdeyehomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Gas meter location: • Exterior right side

Gas piping material: • Steel • Copper

Main gas shut off valve location:

- Exterior
- Gas meter



85. Gas meter

Backwater valve: • None noted • Not present

Exterior hose bibb (outdoor faucet): • Present

Limitations

General: • It appears that there has never been any upgrades to perimeter drainage around this home.

Fixtures not tested/not in service: • Plumbing in any out buildings. • Drains and piping under ground. • Inaccessible plumbing

Items excluded from a building inspection: • Well • Water quality • Septic system • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains • Pool • Spa • Water features • Landscape irrigation system • Plumbing in exterior out buildings • Hidden Plumbing in Walls

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Not included as part of a building inspection: • Washing machine connections • Not readily accessible interiors of vent systems, flues, and chimneys • Wells, well pumps, and water storage related equipment • Water conditioning systems • Solar water heating systems • Geothermal water heating systems • Fire extinguishers and sprinkler systems • Landscape irrigation systems • Septic systems • Pools and Hot Tubs

Recommendations

RECOMMENDATIONS \ General

26. Condition: • Always ensure that all plumbing and repairs are done by a certified plumbing contractor.

27. Condition: • All plumbing fixtures were tested and properly operational at the time of inspection. They all drained properly with no issues to note of.

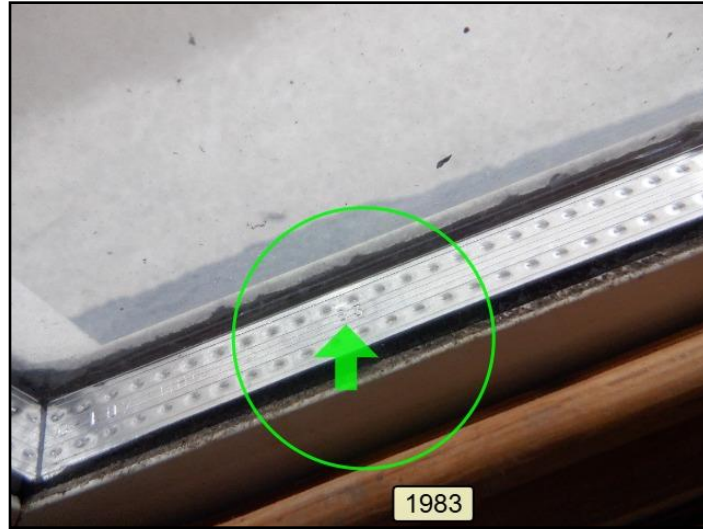
RECOMMENDATIONS \ Overview

28. Condition: • No plumbing recommendations are offered as a result of this inspection.

- SUMMARY
 - ROOFING
 - EXTERIOR
 - STRUCTURE
 - ELECTRICAL
 - HEATING
 - COOLING
 - INSULATION
 - PLUMBING
 - INTERIOR**
- REFERENCE

Description

General: • Basement windows have been updated in 1983.



86. 1983

General: • Main floor windows updated in 2003.



87. 2003

Major floor finishes:

- [Hardwood](#)



88. *Hardwood*

- [Ceramic](#)



89. *Ceramic*

- Vinyl

Major wall finishes: • [Plaster/drywall](#)

Major ceiling finishes: • [Plaster/drywall](#)

Major wall and ceiling finishes: • [Plaster/drywall](#)

Windows:

- [Fixed](#)
- [Sliders](#)



90. Sliders

- [Casement](#)



91. Casement

- Vinyl

Glazing: • [Double](#)

Exterior doors - type/material:

- [Wood](#)



92. Wood

- [Metal](#)

Doors: • Inspected

Evidence of basement leakage: • Basement was dry at the time of inspection. No updates were ever done to perimeter drainage and water proofing.

Laundry facilities: • Washer • Laundry tub • Hot/cold water supply • Dryer • Vented to outside • 120-Volt outlet • 240-Volt outlet • Waste standpipe • Gas piping

Laundry facilities: • Basement laundry



93. Basement Laundry

Kitchen ventilation: • Range hood • Discharges to exterior

Bathroom ventilation:

- Exhaust fan
- X 2

Counters and cabinets: • Inspected

Stairs and railings: • Inspected

Limitations

General: • Only a representative amount of windows need to be checked at the time of inspection as per standards of practice. Normally all windows are checked for proper function but sometimes these can be hidden behind storage, bed frames and appliances. This can be a limitation to this part of the inspection and this is being noted in this report.

Inspection limited/prevented by: • Storage/furnishings • Storage in closets and cabinets / cupboards

Restricted access to: • Basement • Closets and cabinets / cupboards • Attic

Not tested/not in service: • No appliances are tested as part of a standard home inspection done to industry standards.

Not included as part of a building inspection: • Carbon monoxide alarms (detectors), security systems, central vacuum
Carbon monoxide alarms (detectors) • Security systems and intercoms • Central vacuum systems • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any • Decorative items • Aesthetics or quality of finishes • Vermin, including wood destroying organisms. • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Environmental issues including asbestos • Paint, wallpaper, and other finishes • Floor coverings • Window treatments • Window coatings and seals between panes of glass

Cosmetics: • No comment offered on cosmetic finishes

Appliances: • Appliances are not inspected as part of a building inspection • Appliances are not moved during an inspection

Percent of foundation not visible: • 99 %

Basement leakage: • Storage in basement limited inspection

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

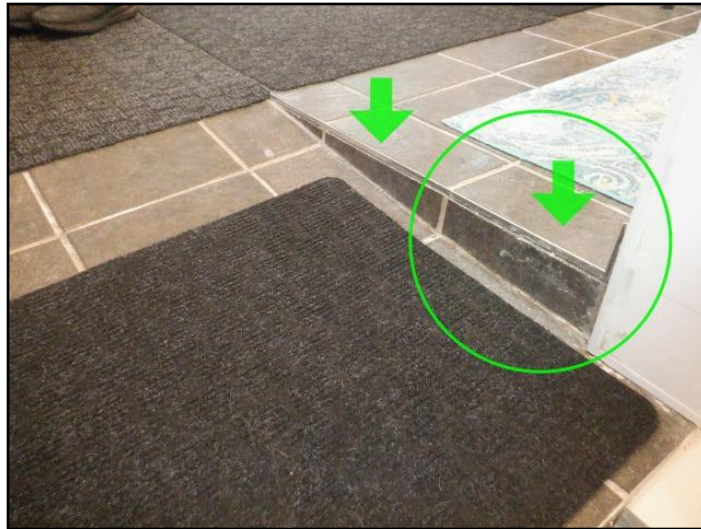
Recommendations

RECOMMENDATIONS \ General

29. Condition: • No comments offered on cosmetic finishes.

RECOMMENDATIONS \ Overview

30. Condition: • There does appear to be a small trip hazard in the floor transition to the rear small addition. This is being noted for safety.



94. Trip Hazard

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS