

# Your Inspection Report

1234 Main Street  
Whoville, MI 98098

**PREPARED FOR:**

MR & MRS JOHN Q. NELSON

**INSPECTION DATE:**

Friday, July 29, 2016

**PREPARED BY:**

Glenn Loisel



Safe & Sound Home Inspection Services, LTD.  
5640 Houghten Drive  
Troy, MI 48098

(248) 670-5555

[inspectorglenn.net](http://inspectorglenn.net)

[inspectorGlenn4u@gmail.com](mailto:inspectorGlenn4u@gmail.com)

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Authorized Dealer



Radon gas is the second leading cause of lung cancer! Test your new home to ensure your family stays Safe & Sound



September 28, 2016

Dear Mr & Mrs John Q. Nelson,

RE: Report No. 1810, v.2  
1234 Main Street  
Whoville, MI  
98098

Thank you for choosing Safe & Sound to perform your Home Inspection. We trust the experience was both useful and enjoyable.

Please feel free to contact us with questions about the report or the home itself any time for as long as you own the home. Our consulting service via telephone is available at no cost to you for as long as you own the home.

Please visit our website at your convenience [www.InspectorGlenn.com](http://www.InspectorGlenn.com)

Thanks again for allowing us to work with you.

Sincerely,

Glenn Loisel  
on behalf of  
Safe & Sound Home Inspection Services, LTD.

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Services, LTD.  
5640 Houghten Drive  
Troy, MI 48098  
(248) 670-5555  
[inspectorglenn.net](http://inspectorglenn.net)  
[inspectorGlenn4u@gmail.com](mailto:inspectorGlenn4u@gmail.com)

# ROOFING

1234 Main Street, Whoville, MI July 29, 2016

Report No. 1810, v.2

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

## Description

**Sloped roofing material:** • [Asphalt shingles](#)

**Probability of leakage:** • Medium

## Limitations

**Inspection performed:** • By walking on roof • From the ground

## Recommendations

### SLOPED ROOFING \ Asphalt shingles

**1. Condition:** • Heat tape indicates ice damming issues. Properly install insulation is needed above rear wall. Get disclosure regarding leakage/ice dams



1. Heat tape indicates ice damming issues



2. Heat tape indicates ice damming issues

**2. Condition:** • [Patched](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

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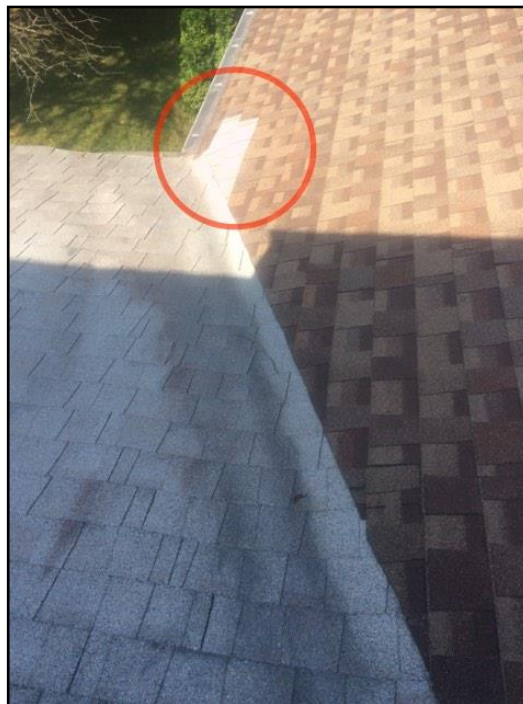
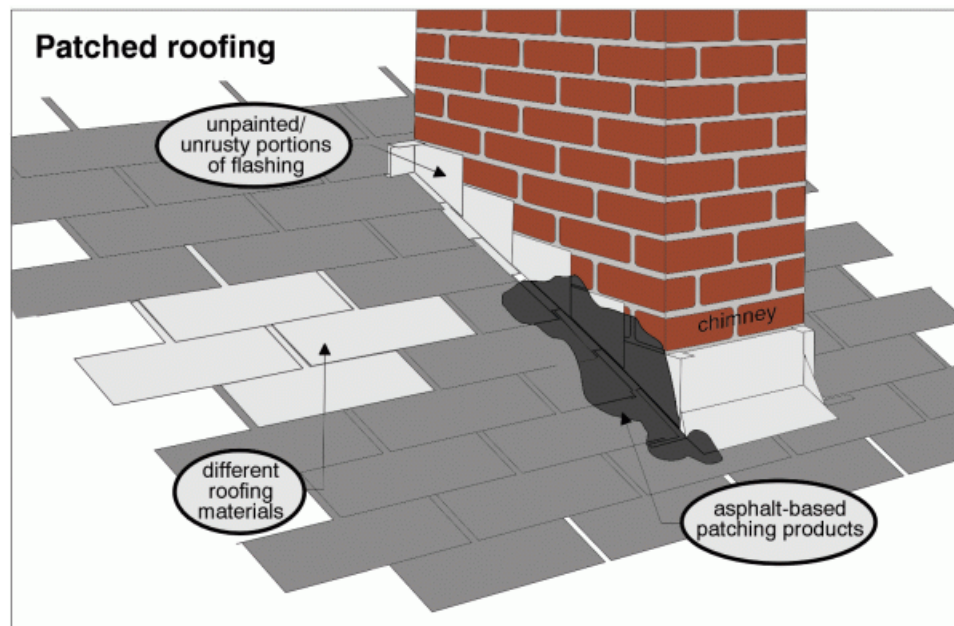
HEATING

COOLING

INSULATION

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INTERIOR



3. Patched

## SLOPED ROOF FLASHINGS \ Flashings

3. Condition: • Inspect & repair, as needed.

Implication(s): Chance of water damage to contents, finishes and/or structure



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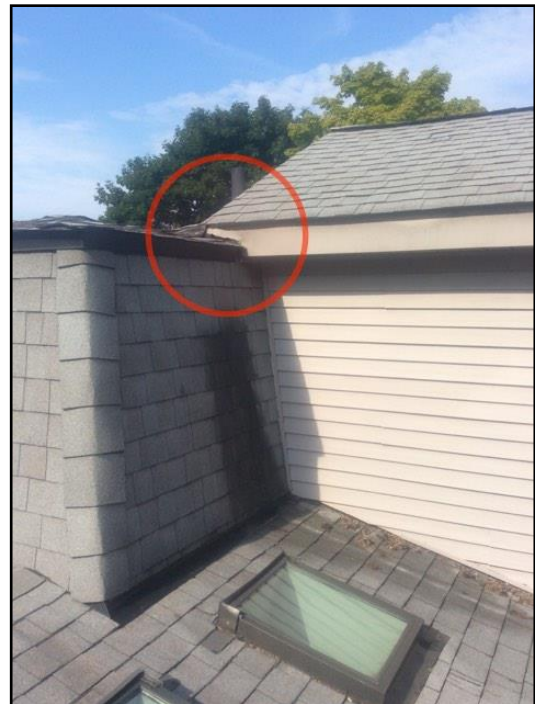
INSULATION

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INTERIOR



4. Poor drainage arrangement



5. Inspect & repair, as needed

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## Description

**Gutter & downspout material:** • [Aluminum](#)  
**Gutter & downspout type:** • [Eave mounted](#)  
**Gutter & downspout discharge:** • [Below grade](#)  
**Lot slope:** • [Away from building](#) • [Towards building](#)  
**Wall surfaces - masonry:** • [Brick](#)  
**Wall surfaces and trim:** • [Vinyl siding](#) • [Asphalt shingles](#)  
**Soffit and fascia:** • [Aluminum](#) • [Vinyl](#)  
**Driveway:** • Asphalt  
**Walkway:** • Concrete  
**Porch:** • Concrete • Pavers  
**Balcony:** • Plastic railings  
**Patio:** • Concrete • Pavers

## Limitations

### Inspection limited/prevented by:

- Car/storage in garage



6. Car/storage in garage

- Vines/shrubs/trees against wall

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7. Vines/shrubs/trees against wall



8. Vines/shrubs/trees against wall

Upper floors inspected from: • Ground level

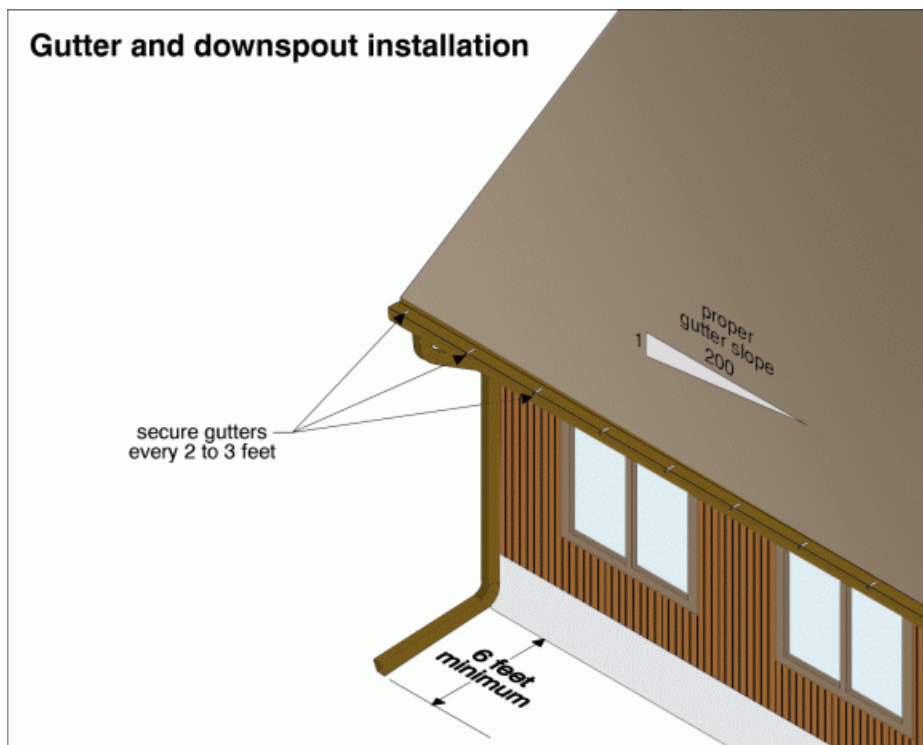
Exterior inspected from: • Ground level

## Recommendations

### ROOF DRAINAGE \ Gutters

4. Condition: • [Missing](#)

Implication(s): Chance of water damage to contents, finishes and/or structure





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9. Missing



10. Missing



11. Missing

## WALLS \ Brick, stone and concrete

### 5. Condition: • [Cracked](#)

Wood is improperly protected in this area

**Implication(s):** Chance of water entering building | Weakened structure | Chance of movement



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12. Previous patched cracked

## EXTERIOR GLASS \ Sashes

6. Condition: • Rot

Implication(s): Material deterioration

Location: Both Garage Windows



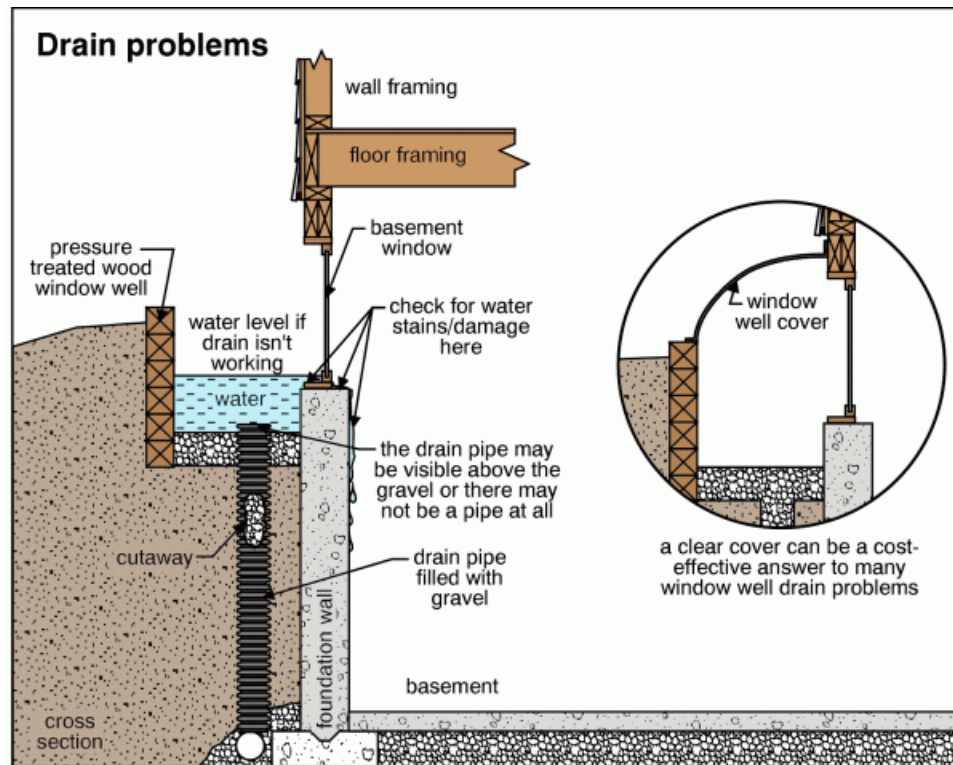
13. Rot

## EXTERIOR GLASS \ Window well drains

7. Condition: • [Missing](#)

Install well covers

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration



14. Missing

## DOORS \ Doors and frames

8. Condition: • [Installed backwards](#)

Implication(s): Chance of damage to finishes and structure | Reduced system life expectancy

Location: Garage

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15. Installed backwards

9. Condition: • [Stiff](#)

Very stiff / poor fit

Implication(s): Chance of damage to finishes



16. Stiff

**PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Floors**

10. Condition: • [Concrete cracked](#)

Implication(s): Chance of damage to structure | Material deterioration | Trip or fall hazard



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17. Concrete cracked

## PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Handrails and guards

11. Condition: • [Loose](#)

Implication(s): Fall hazard

## PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Patios

12. Condition: • [Slope toward building](#)

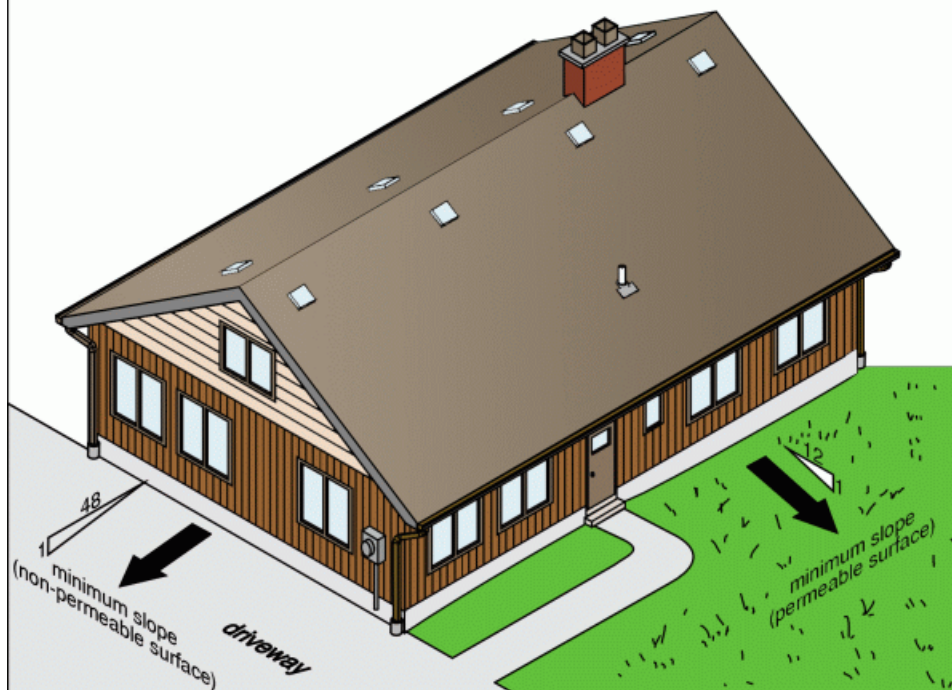
Implication(s): Chance of water damage to contents, finishes and/or structure

## LANDSCAPING \ Driveway

13. Condition: • [Improper slope or drainage](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

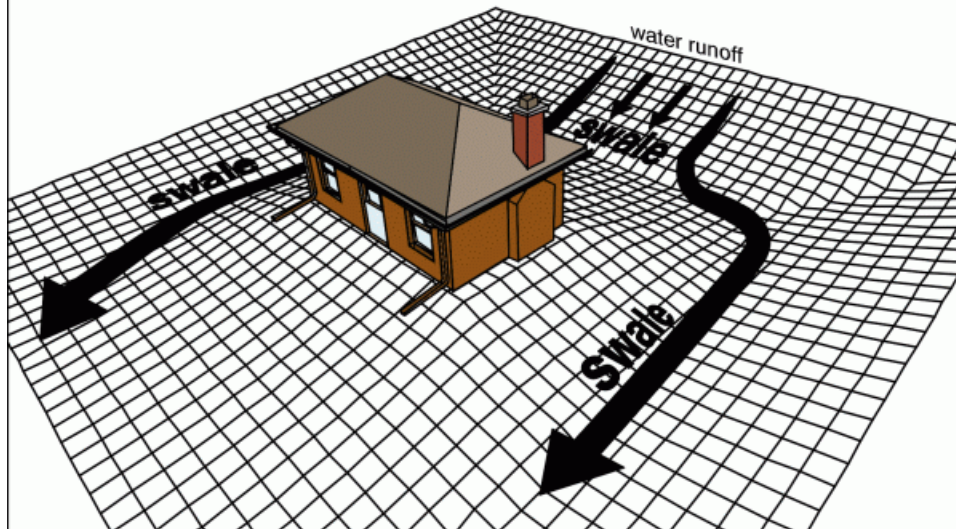
### Recommended grading slopes



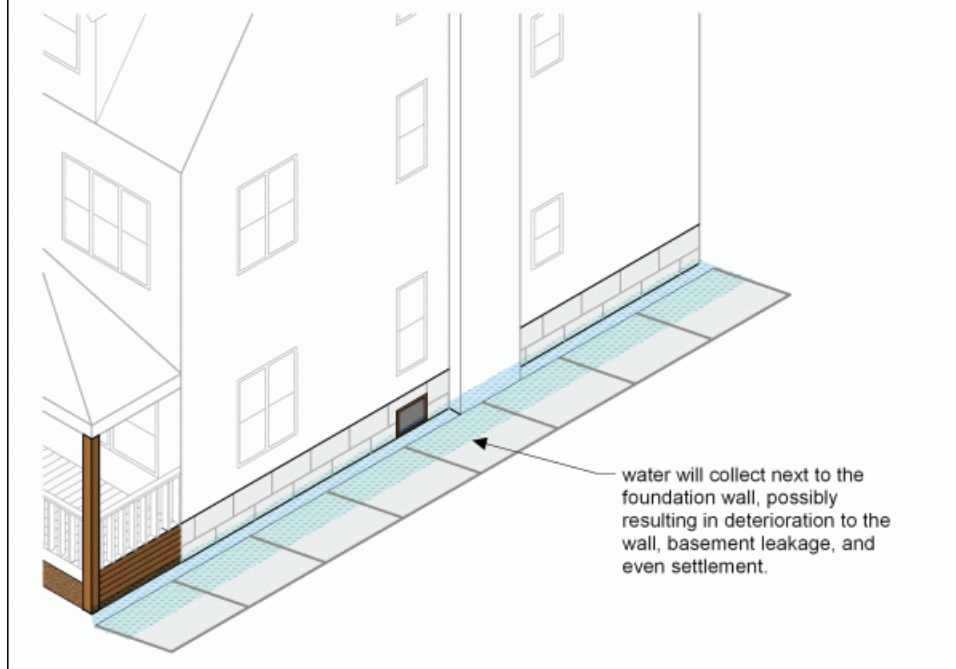


## Swales

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation



## Walk/patio sloping toward house



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18. *Improper slope or drainage*

## LANDSCAPING \ General

14. **Condition:** • Tree branches should not be in contact with the roof. Cut them back



19. *Cut tree branches from roof*

15. **Condition:** • [Trees or shrubs too close to building](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Chance of pests entering building | Material deterioration

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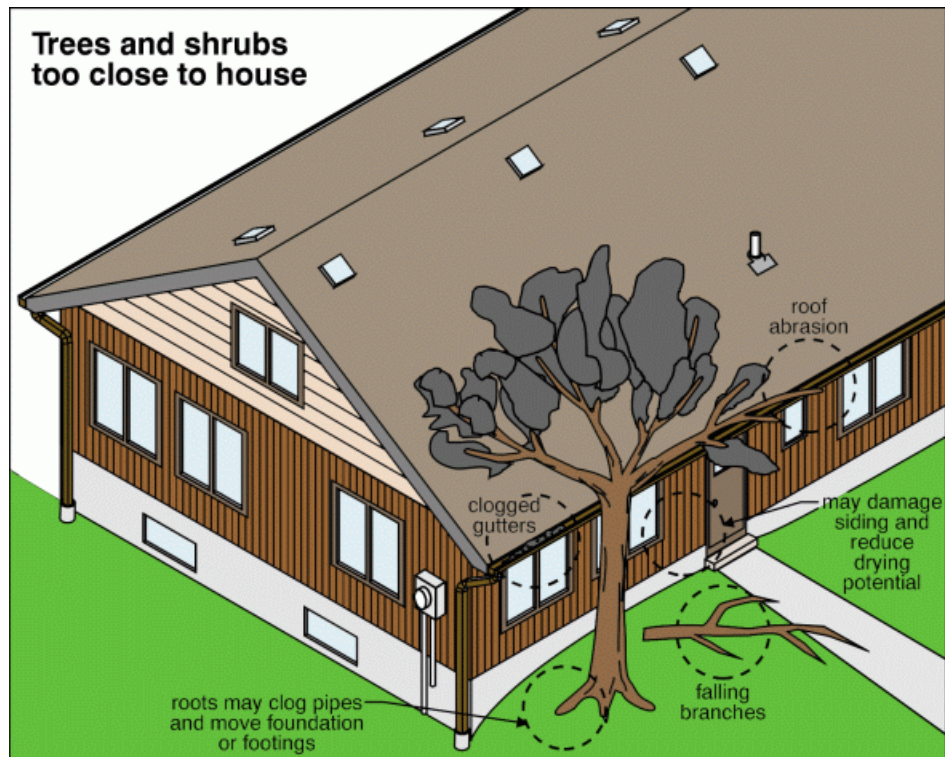
HEATING

COOLING

INSULATION

PLUMBING

INTERIOR



## LANDSCAPING \ Retaining wall

16. Condition: • [Rot or insect damage](#)

Implication(s): Weakened structure | Chance of movement



20. Rot or insect damage

17. Condition: • [Leaning](#)

Implication(s): Weakened structure | Chance of movement



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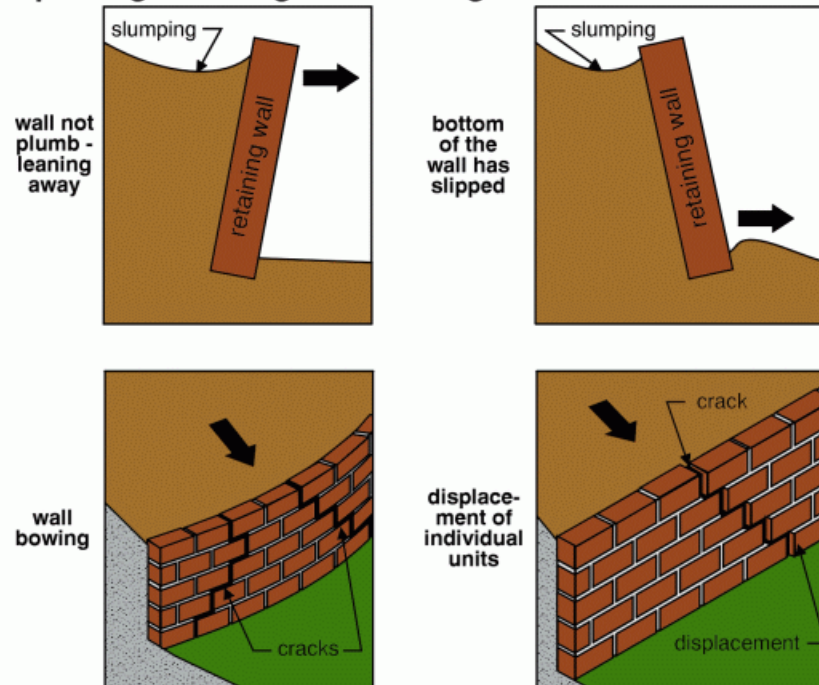
COOLING

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## Inspecting retaining walls - things to watch for



21. Leaning

## GARAGE \ Floor

18. Condition: • Missing curb safety barrier



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22. Missing curb safety barrier

# STRUCTURE

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## Description

**Configuration:** • [Basement](#) • [Crawl space](#)

**Foundation material:** • [Masonry block](#)

**Floor construction:** • [Joists](#) • Steel columns • Steel beams • Subfloor - plywood

**Exterior wall construction:** • [Wood frame, brick veneer](#)

**Roof and ceiling framing:** • [Trusses](#) • [Plywood sheathing](#)

## Limitations

**Inspection limited/prevented by:**

- Wall, floor and ceiling coverings



23. Wall, floor and ceiling coverings

- Storage



24. Wall, floor and ceiling coverings

**Attic/roof space:** • Inspected from access hatch

**Crawl space:** • Inspected from access hatch

**Percent of foundation not visible:** • 50 %

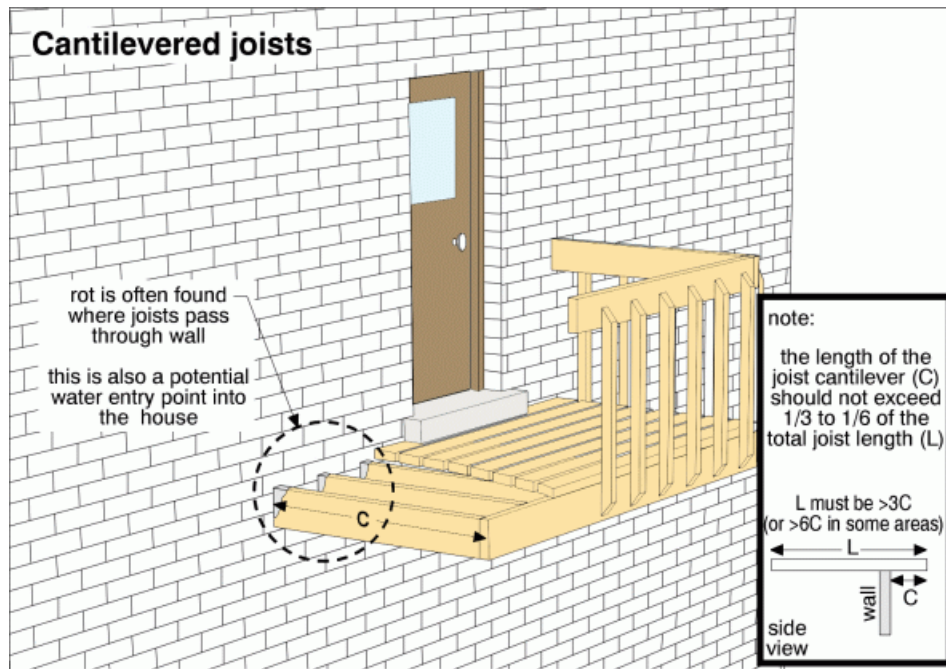
## Recommendations

### FLOORS \ Joists

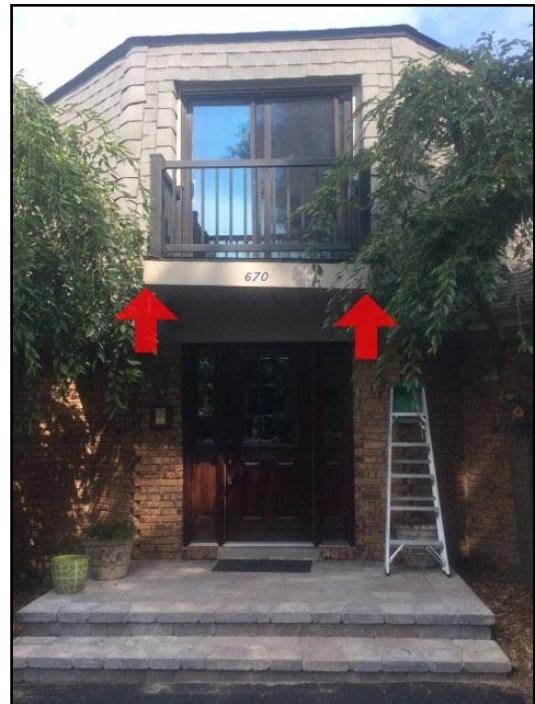
**19. Condition:** • [Weak cantilevers](#)

Structural balcony concerns need to be evaluated by a qualified contractor. Floor is not level

**Implication(s):** Weakened structure | Chance of structural movement



25. Weak cantilevers



26. Weak cantilevers

## WALLS \ Masonry veneer walls

20. Condition: • [Cracked](#)

Implication(s): Weakened structure



# STRUCTURE

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27. Cracked



28. Cracked

## ROOF FRAMING \ Rafters/trusses

21. Condition: • Unconventional construction, ridge board should not be sloped



29. Unconventional construction



ROOFING

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## Description

**Service entrance cable and location:** • [Underground - not visible](#)

**System grounding material and type:** • Copper - ground rod

**Distribution panel rating:** • [200 Amps](#)

**Distribution panel type and location:** • [Breakers - basement](#)

**Auxiliary panel (subpanel) rating:** • [200 Amps](#)

**Auxiliary panel (subpanel) type and location:** • [Breakers - basement](#)

**Distribution wire material and type:** • [Copper - non-metallic sheathed](#)

**Type and number of outlets (receptacles):** • [Grounded - typical](#)

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • No AFCI • [GFCI - kitchen](#) • [GFCI - bathroom and exterior](#)

## Limitations

**System ground:** • Continuity not verified • Quality of ground not determined

**Circuit labels:** • The accuracy of the circuit index (labels) was not verified.

## Recommendations

### General

**22.** • It is considered safe practice to bond the hot, cold and gas pipe above the hot water tank.

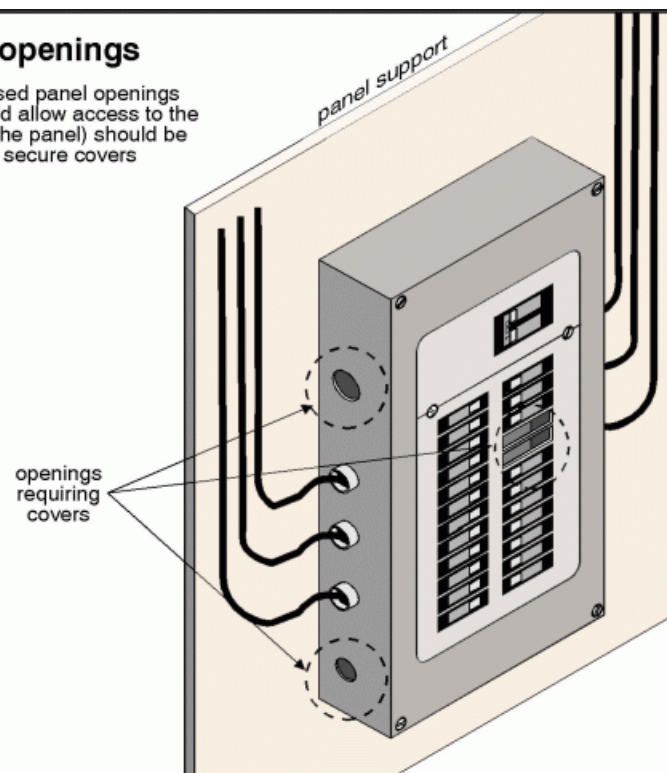
### SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

**23. Condition:** • [Poor access](#)

**Implication(s):** Difficult to service

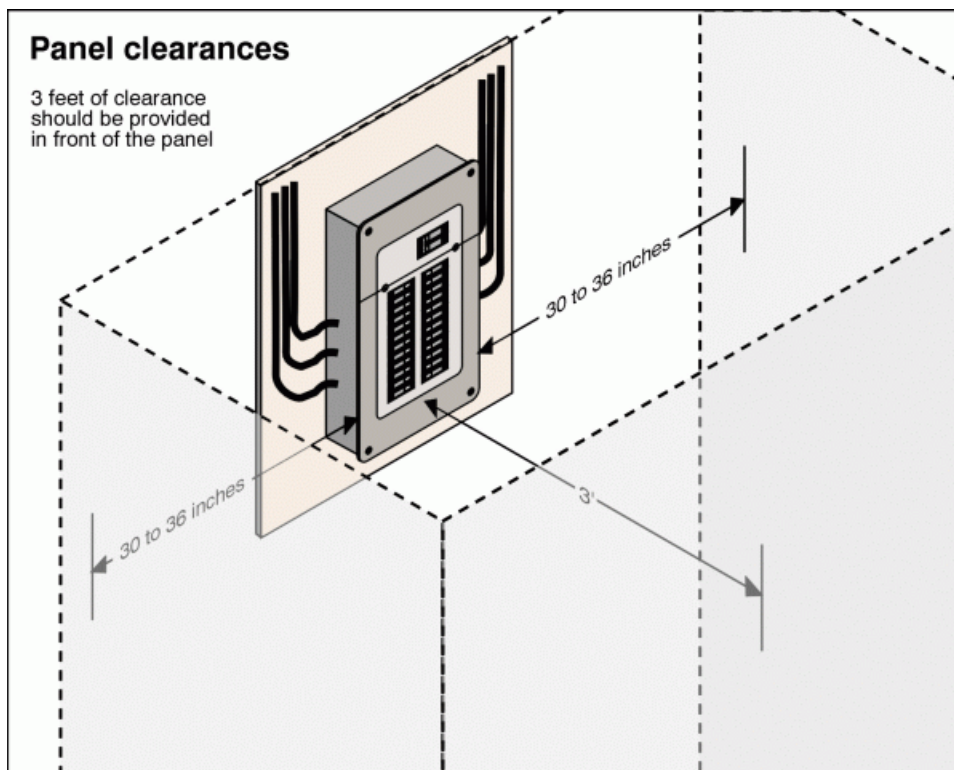
## Panel openings

any exposed panel openings (that would allow access to the inside of the panel) should be fitted with secure covers



## Panel clearances

3 feet of clearance should be provided in front of the panel



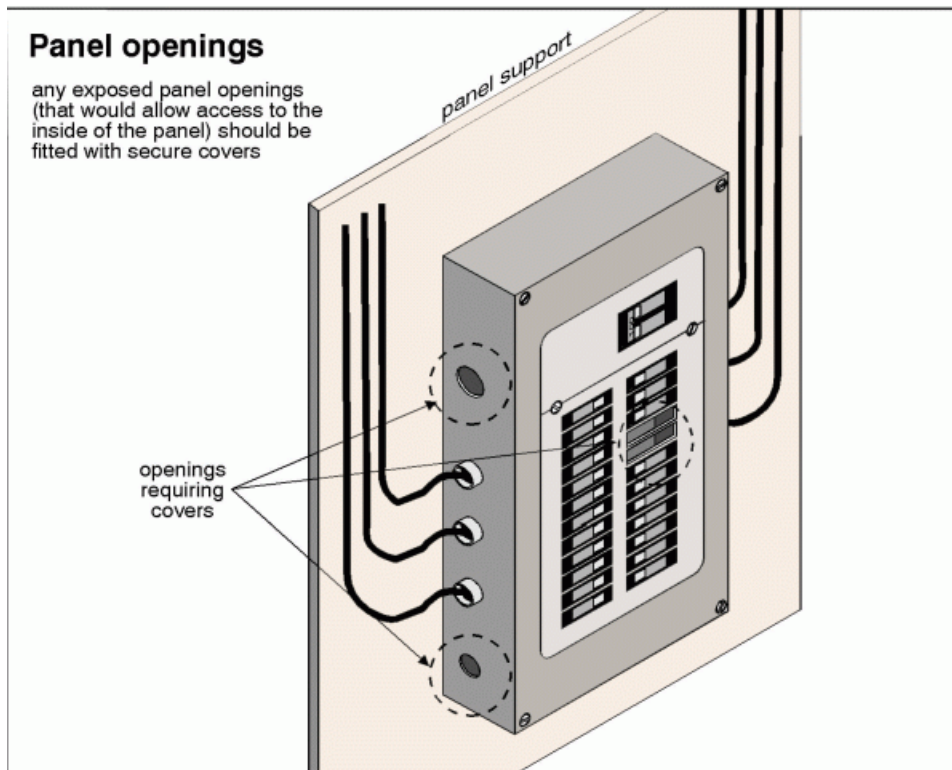


30. Poor access

24. Condition: • [Openings in panel](#)

Implication(s): Electric shock | Fire hazard

Location: Sub panel





## SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers

**25. Condition:** • Cycle all breakers Off-On every 6 months to clean/exercise contacts

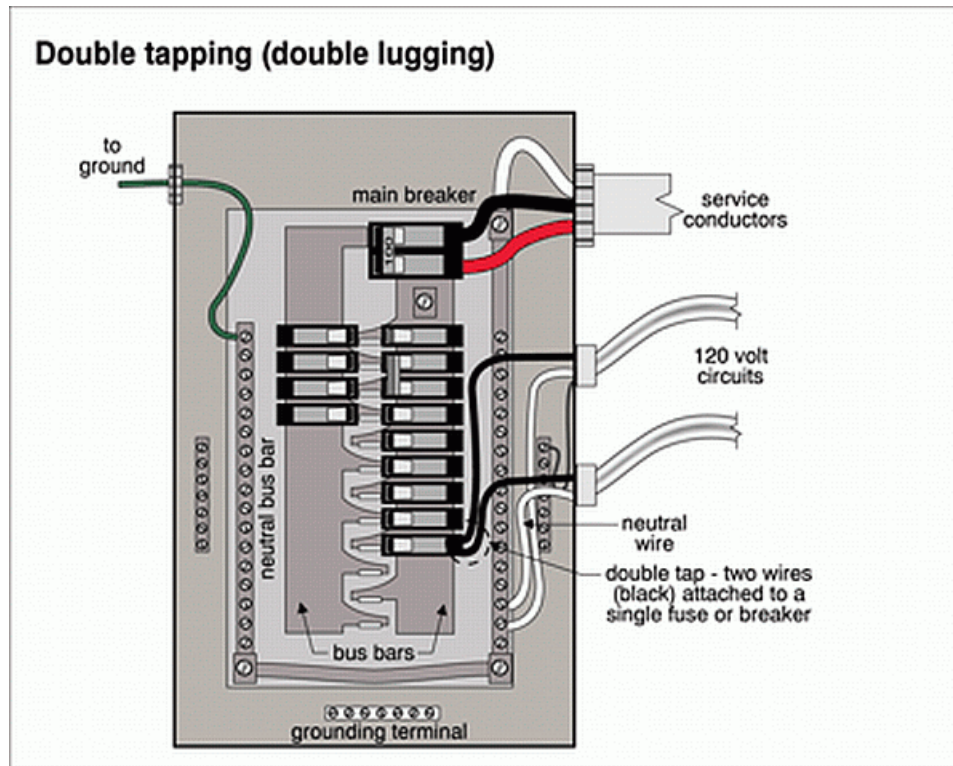
## SERVICE BOX, GROUNDING AND PANEL \ Panel wires

**26. Condition:** • [Double taps](#)

Have electrician thoroughly evaluate both panels

**Implication(s):** Fire hazard

**Location:** Main panel board



**27. Condition:** • [Anti-oxidant missing on aluminum wire](#)

**Implication(s):** Fire hazard

**Location:** Main panel board

## DISTRIBUTION SYSTEM \ Outlets (receptacles)

**28. Condition:** • Obstruction

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31. *Obstruction*

29. Condition: • [Inoperative](#)

Implication(s): Equipment inoperative

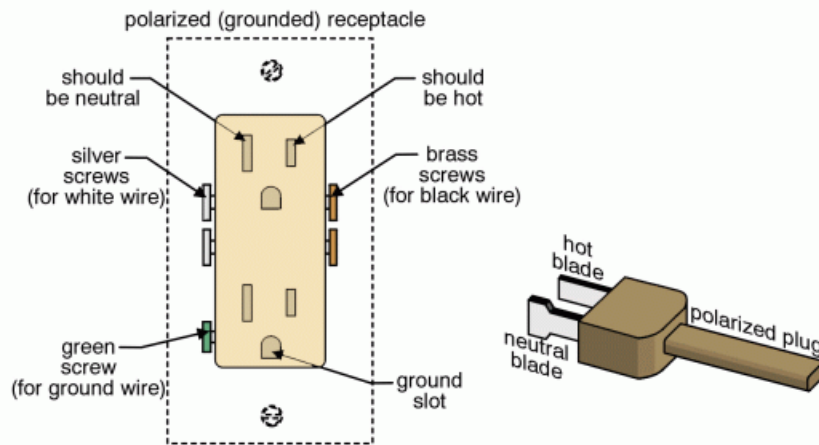


32. *Inoperative*

30. Condition: • [Reversed polarity](#)

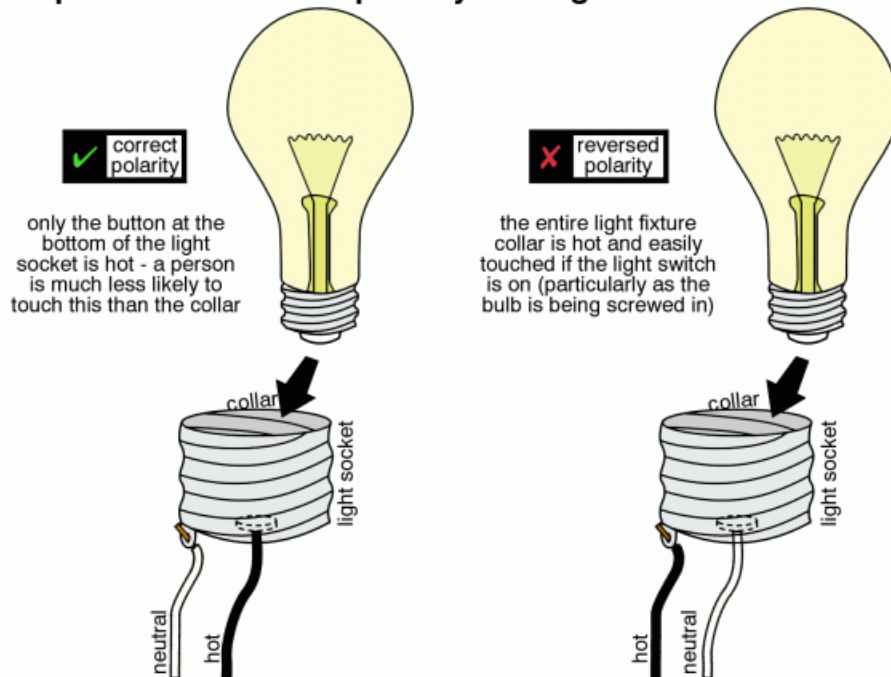
Implication(s): Electric shock

### Reversed polarity



when the polarity is reversed, the wide receptacle slot is (incorrectly) hot and the narrow slot is neutral - this is not uncommon when people forget that the black wire should be attached to the receptacle's brass screws

### Importance of correct polarity with light fixtures





# ELECTRICAL

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33. *Reversed polarity*

31. Condition: • [Loose](#)

Implication(s): Electric shock | Fire hazard



34. *Loose*

32. Condition: • [Test faulty on Ground Fault Circuit Interrupter \(GFCI\)](#)

Power cannot be interrupted; always On

Implication(s): Electric shock



35. Test faulty on Ground Fault Circuit...

33. Condition: • [Test faulty on Ground Fault Circuit Interrupter \(GFCI\)](#)

Resetting does now power up outlet

Implication(s): Electric shock



36. Test faulty on Ground Fault Circuit...

34. Condition: • [Ground Fault Circuit Interrupter \(GFCI\) needed](#)

Implication(s): Electric shock

Location: Exterior Wall & Garage

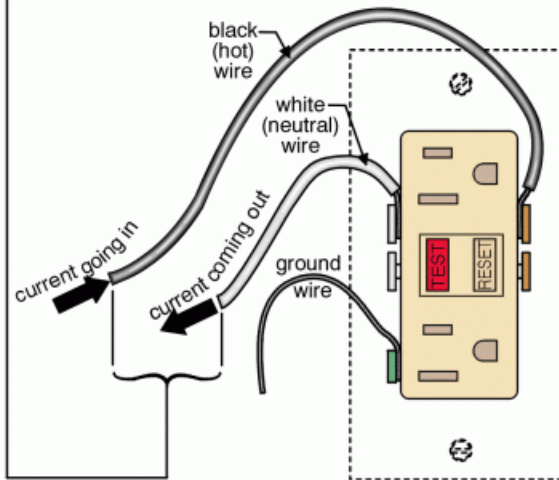
**Ground fault interrupter**

the GFI circuitry within the outlet checks constantly for a difference between the current in the black and white wires

if there is a difference (even as little as 5 milliamps), there is a current leak (possibly through your body) and the GFI shuts down the receptacle and other receptacles downstream

**note:**

if the GFI is in the panel, the entire circuit will be shut down



37. GFCI needed

35. **Condition:** • Arc Fault Circuit Interrupter (AFCI) needed

For safety reasons, consider upgrading to AFCI type circuit breakers for all the bedrooms.

**Implication(s):** Fire hazard

**DISTRIBUTION SYSTEM \ Cover plates**

36. **Condition:** • [Missing](#)

**Implication(s):** Electric shock



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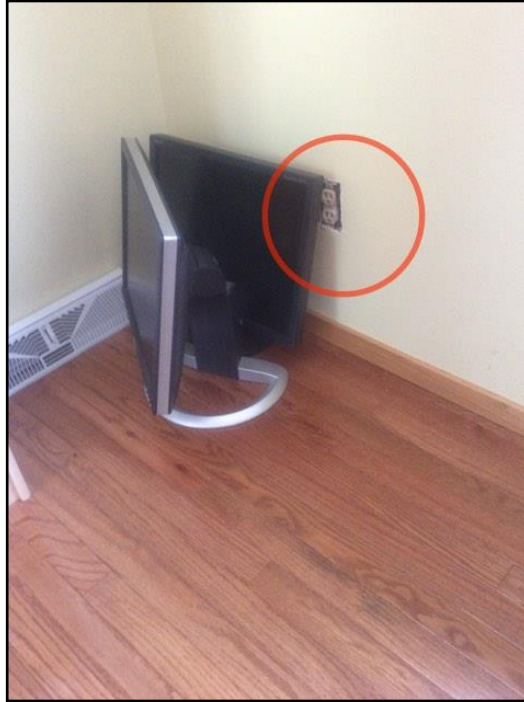
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**Location:** Second Floor



**38.** *Missing cover plate*

# HEATING

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## Description

Fuel/energy source: • [Gas](#)

System type: • [Furnace](#)

Furnace manufacturer: • Lennox

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • 150,000 BTU/hr

Efficiency: • [Conventional](#)

Exhaust venting method: • [Natural draft](#)

Approximate age: • [23 years](#)

Typical life expectancy: • Furnace (conventional or mid-efficiency) 18 to 25 years

Main fuel shut off at: • Meter

Failure probability: • [High](#)

Exhaust pipe (vent connector): • Single wall

Fireplace:

• [Wood-burning fireplace](#)

• Decorative only

Electric fireplace in addition

Chimney/vent: • [Masonry](#)

Chimney liner: • [Clay](#) • [Required for upgrade/conversion](#)

Combustion air source: • Interior of building

Humidifiers: • [Trickle/cascade type](#)

## Limitations

Warm weather: • Prevented testing in heating mode

Heat loss calculations: • Not done as part of a building inspection

Heat exchanger: • Only a small portion visible

## Recommendations

**GAS FURNACE \ Ducts, registers and grilles**

37. Condition: • [Leaky joints](#)

Implication(s): Increased heating costs | Reduced comfort

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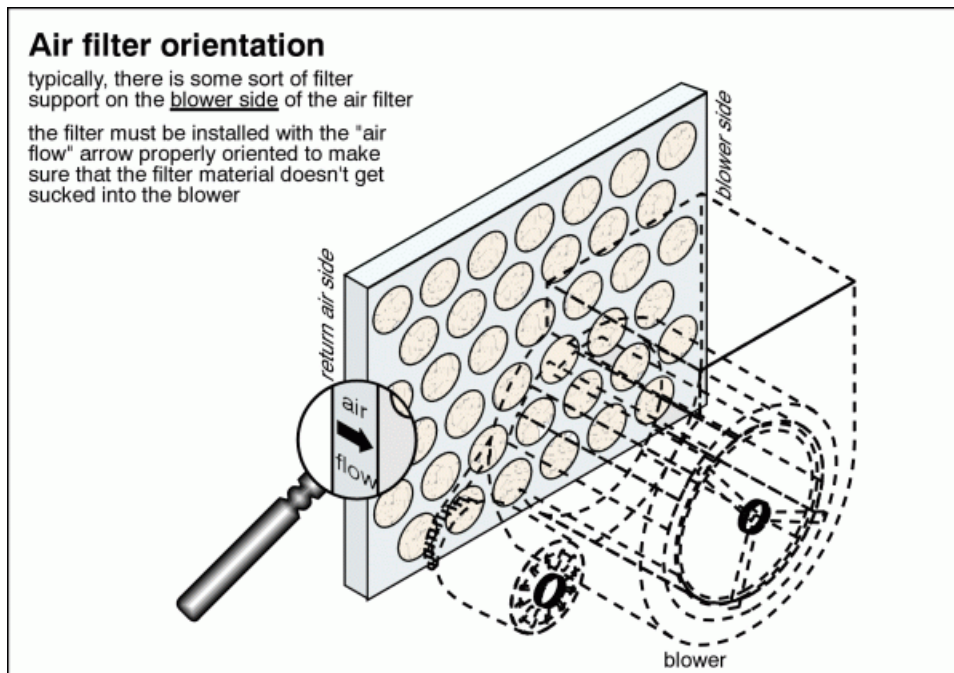


39. Leaky joints

## GAS FURNACE \ Mechanical air filter

38. Condition: • [Missing](#)

Implication(s): Increased heating costs | Reduced comfort | Increased maintenance costs



## GAS FURNACE \ Mid- and high-efficiency gas furnace

39. Condition: • [Vent damper stuck](#)

Implication(s): Equipment not operating properly | Hazardous combustion products entering home | Increased heating



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costs | Reduced comfort

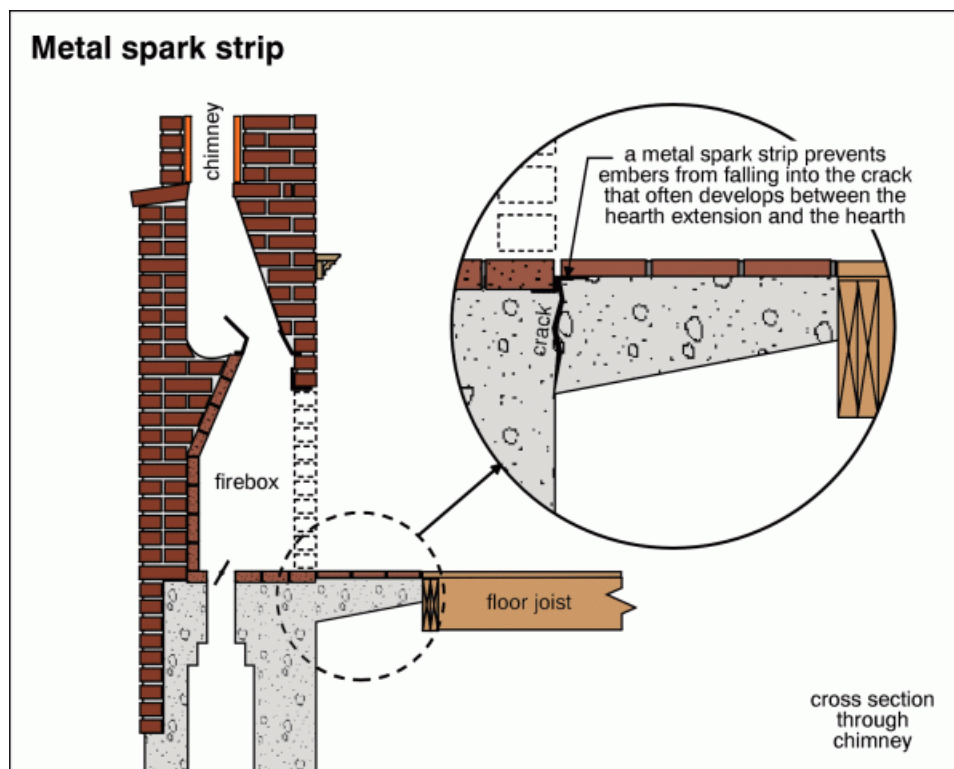


40. Vent damper stuck

## FIREPLACE \ Hearth and extension

40. Condition: • [Gaps or cracks](#)

Implication(s): Fire hazard



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41. Gaps or cracks

## FIREPLACE \ Glass doors

41. **Condition:** • Good quality doors are highly recommended as they will keep heat from escaping up through the chimney.

## FIREPLACE \ General

42. **Condition:** • Inspect chimney, and sweep, if needed before using

**Implication(s):** Fire hazard

## CHIMNEY AND VENT \ Masonry chimney

43. **Condition:** • [Creosote build-up](#)

**Implication(s):** Increased fire hazard

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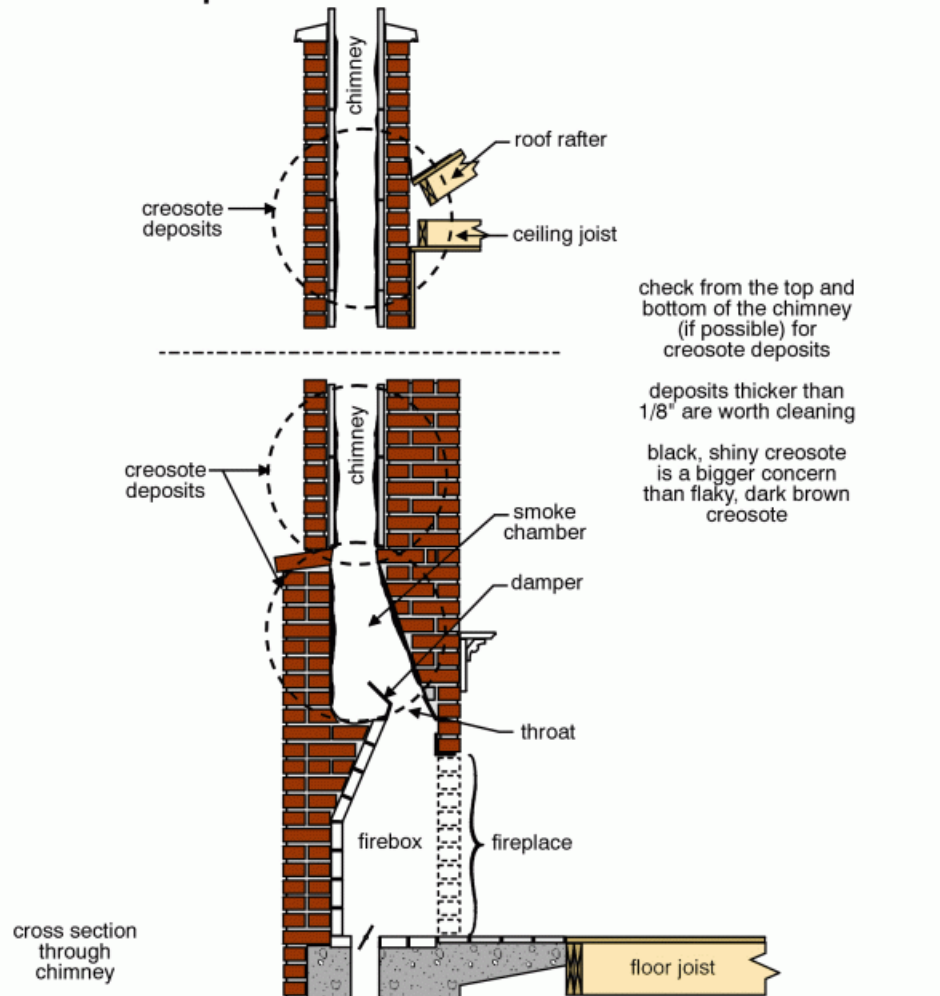
COOLING

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## Creosote deposits



### CHIMNEY AND VENT \ Masonry chimney cap

44. Condition: • [Rain cap missing or damaged](#)

Implication(s): Chance of water entering building | Chance of pests entering building



# HEATING

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STRUCTURE

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INSULATION

PLUMBING

INTERIOR



**42.** *Rain cap missing*

# COOLING & HEAT PUMP

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## Description

**Air conditioning type:** • [Air cooled](#)

**Manufacturer:** • Rheem

**Cooling capacity:** • [5 Tons](#)

**Compressor type:** • Electric

**Compressor approximate age:** • 11 years

**Typical life expectancy:** • 10 to 15 years

**Failure probability:** • [High](#)

## Limitations

**Heat gain/loss calculations:** • Not done as part of a building inspection

## Recommendations

### AIR CONDITIONING \ Compressor

**45. Condition:** • Providing shade for the A/C will allow for greater heat dissipation and improved comfort

### AIR CONDITIONING \ Evaporator coil

**46. Condition:** • [No access to coil](#)

**Implication(s):** Difficult to service

### AIR CONDITIONING \ Refrigerant lines

**47. Condition:** • [Poor seal at building](#)

**Implication(s):** Chance of water entering building | Chance of pests entering building



**43. Poor seal at building**

# INSULATION AND VENTILATION

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## Description

Attic/roof insulation material: • [Glass fiber](#)

Attic/roof ventilation: • [Roof and soffit vents](#) • [Ridge vent](#) • [Power ventilator](#)

Attic/roof air/vapor barrier: • [Not visible](#)

Wall insulation material: • Not visible

Wall insulation amount/value: • Not determined

Floor above basement/crawlspace insulation material: • [Glass fiber](#)

Floor above basement/crawlspace air/vapor barrier: • Kraft paper

Crawlspace ventilation: • [Wall Vents](#)

## Limitations

Inspection prevented by no access to:

• Attic

Over family room addition



44. Attic

Attic inspection performed: • From access hatch

Crawl space inspection performed: • From access hatch

Air/vapor barrier system: • Continuity not verified



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## Recommendations

### ATTIC/ROOF \ Insulation

**48. Condition:** • [Amount less than current standards](#)

**Implication(s):** Increased heating and cooling costs

### ATTIC/ROOF \ Air/vapor barrier

**49. Condition:** • [Wrong location](#)

**Implication(s):** Chance of condensation damage to finishes and/or structure

**Location:** Crawl Space



**45. Wrong location**

### ATTIC/ROOF \ Roof vents

**50. Condition:** • Cannot mix different types of exhaust vents. Choose one or the other and block-off the openings for the discarded method

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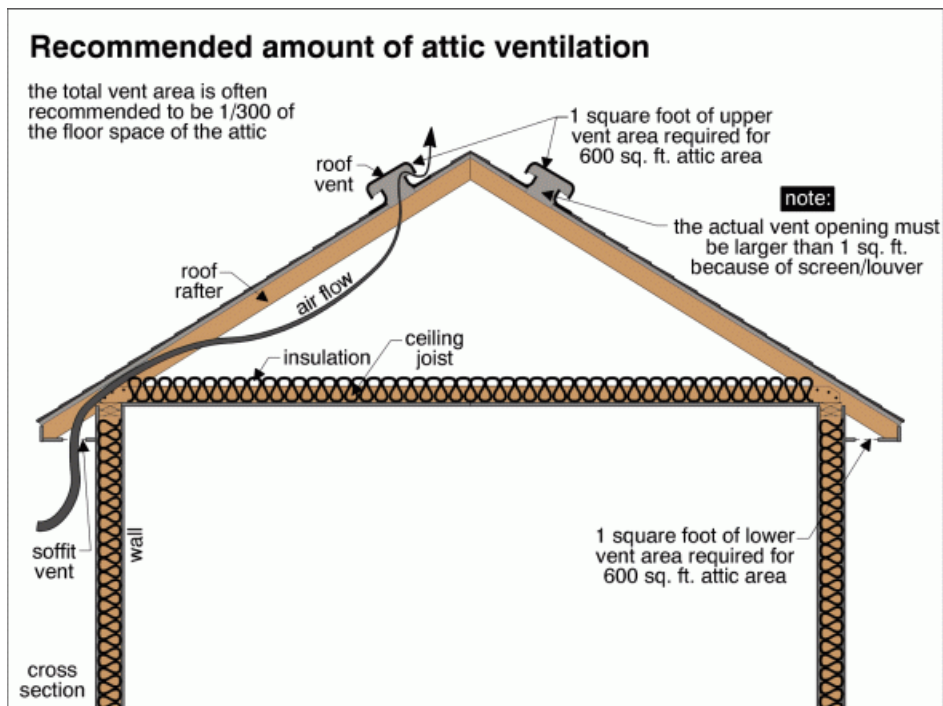
INTERIOR



46. Cannot mix different types of exhaust vents

51. Condition: • [Missing](#)

Implication(s): Chance of condensation damage to finishes and/or structure



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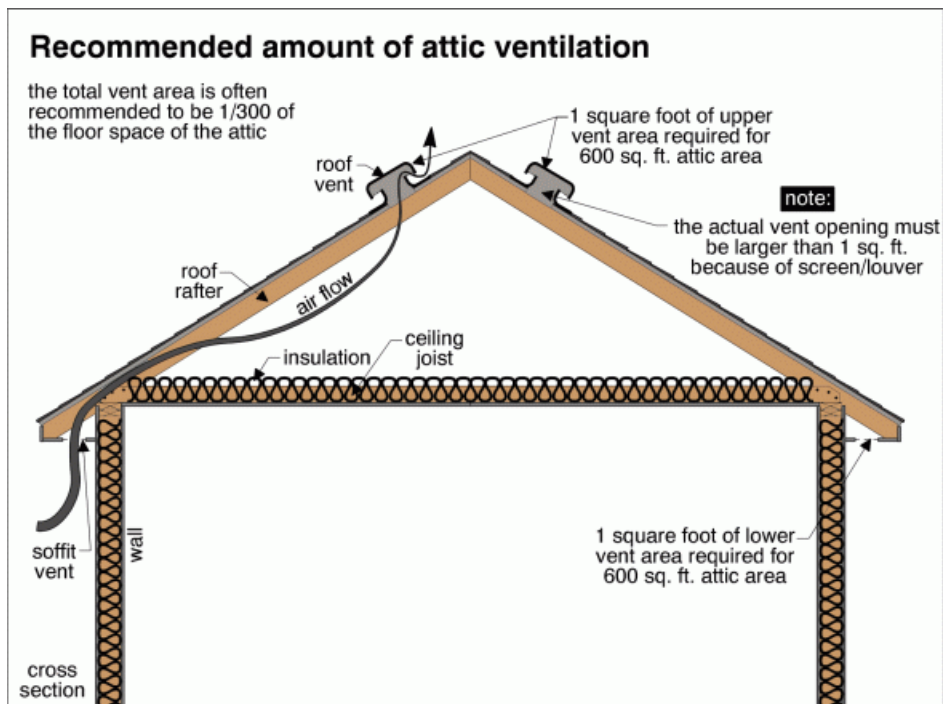


47. Missing exhaust vents

## 52. Condition: • [Obstructed](#)

The cut-outs in the roof deck should be larger, for maximum air flow. Also, more vents will help remove heat/moisture out of the attic.

**Implication(s):** Chance of condensation damage to finishes and/or structure





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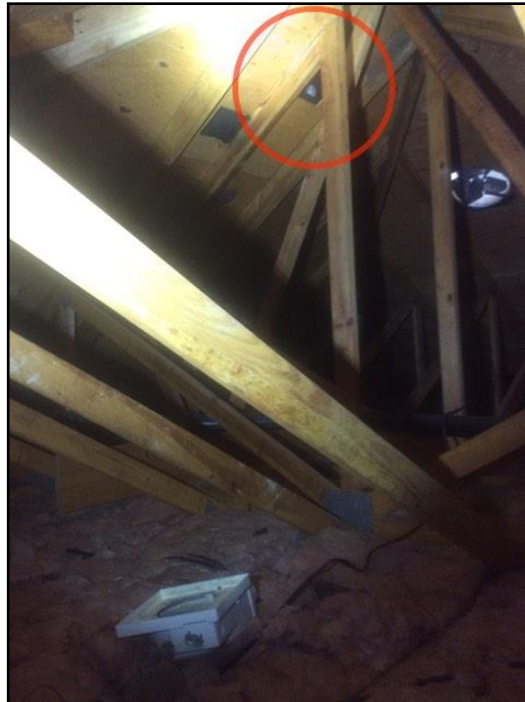
HEATING

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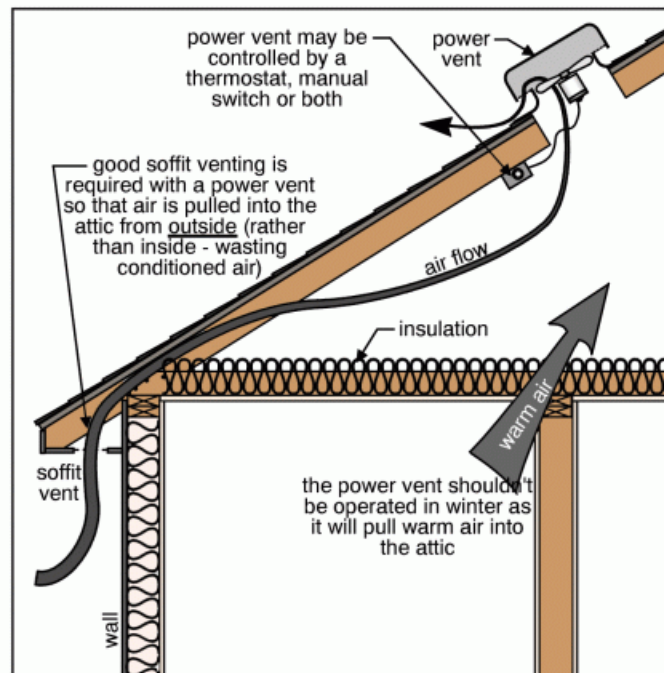
48. Obstructed vents

## ATTIC/ROOF \ Power vent

53. Condition: • [Inoperative in summer](#)

Implication(s): Increased cooling costs | Reduced comfort

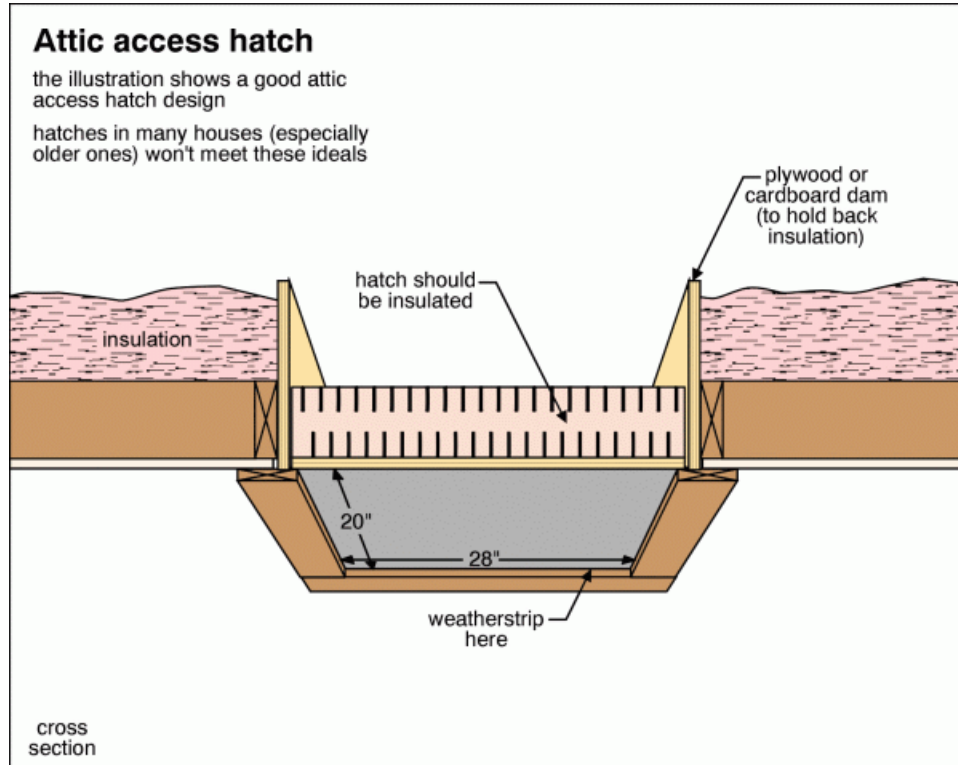
### Attic power vents



## ATTIC/ROOF \ Hatch

54. Condition: • [Not insulated and not weatherstripped](#)

Implication(s): Chance of condensation damage to finishes and/or structure | Increased heating and cooling costs | Reduced comfort



## FOUNDATION \ Interior insulation

55. Condition: • [Vapor barrier in wrong location](#)

Implication(s): Chance of condensation damage to finishes and/or structure

Location: Crawl Space



49. Exposed combustible insulation

# INSULATION AND VENTILATION

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**56. Condition:** • [None at rim joist](#)

**Implication(s):** Increased heating costs

**57. Condition:** • [Loose, sagging or voids](#)

**Implication(s):** Increased heating costs

**Location:** Crawl Space

## **FOUNDATION \ Crawlspace floor**

**58. Condition:** • [No vapor barrier](#)

All debris and cardboard needs to be removed from crawl space. The vapor barrier needs to be tightly sealed at all seams and run-up the wall. Also, the exterior perimeter walls should be insulated, as well as the band joist area. The crawl needs to be treated like the other conditioned parts of the home.

**Implication(s):** Chance of condensation damage to finishes and/or structure



**50.** *No vapor barrier*



ROOFING

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INTERIOR

## Description

**Water supply source:** • Public

**Service piping into building:** • [Copper](#)

**Supply piping in building:** • [Copper](#)

**Main water shut off valve at the:** • Basement

**Water flow and pressure:** • [Functional](#)

**Water heater fuel/energy source:** • [Gas](#)

**Water heater type:** • [Conventional](#) • Owned

**Water heater exhaust venting method:** • Natural draft

**Water heater manufacturer:** • Lochinvar

**Tank capacity:** • 50 gallons

**Water heater approximate age:** • 1 year

**Typical life expectancy:** • 8 to 12 years

**Water heater failure probability:** • [Low](#)

**Waste disposal system:** • [Public](#)

**Waste and vent piping in building:** • [Plastic](#) • [ABS plastic](#) • [PVC plastic](#)

**Pumps:** • [Sump pump](#)

**Gas piping:** • Steel

**Main fuel shut off valve at the:** • Gas meter

**Backwater valve:** • Not present

## Limitations

**Items excluded from a building inspection:** • Humidifier

**Items excluded from a building inspection:** • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water heater relief valves are not tested

## Recommendations

### FIXTURES AND FAUCETS \ Faucet

**59. Condition:** • [Drip, leak](#)

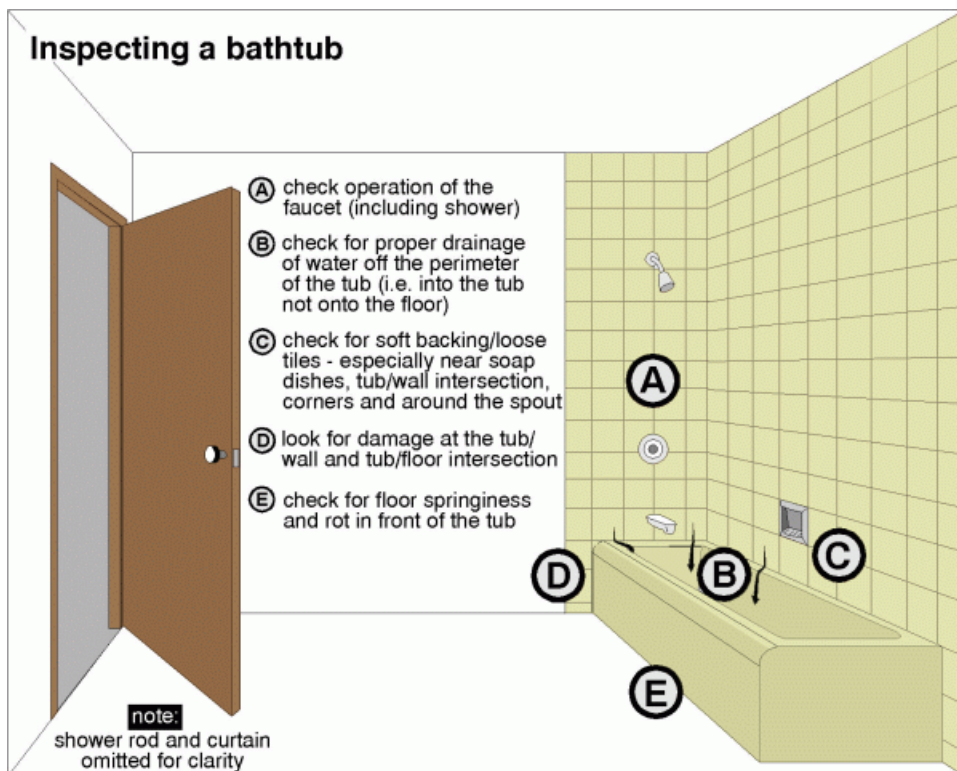
**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** West Exterior Wall

### FIXTURES AND FAUCETS \ Bathtub

**60. Condition:** • [Slow drain](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure



51. Slow drain

## FIXTURES AND FAUCETS \ Shower stall enclosure

61. Condition: • [Leak](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Basement

## GAS SUPPLY \ Gas piping

62. Condition: • Ideally, all gas piping should be "black" pipe/iron pipe, then transitioned to corrugated stainless steel tubing (CCST) where flexible tubing meets movable appliances (i.e. stove, dryer).

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## Description

Major floor finishes: • [Carpet](#) • [Hardwood](#)

Major wall and ceiling finishes: • [Gypsum board](#)

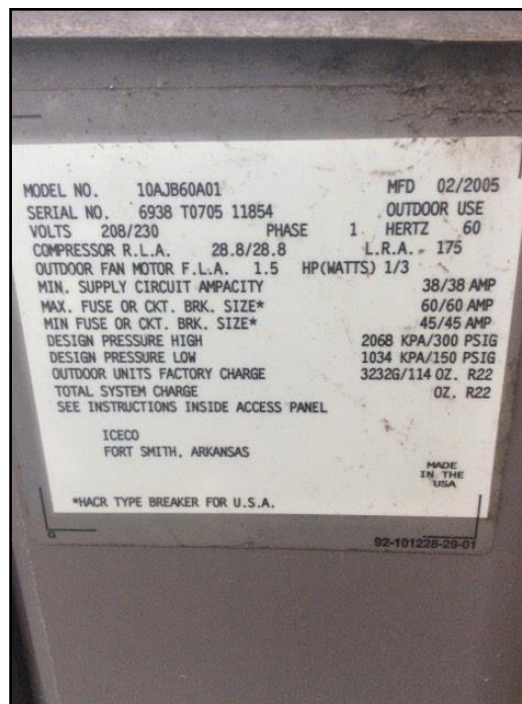
Windows: • [Casement](#)

Glazing: • [Double](#)

Evidence of basement leakage: • Stains • Mold • Auxilliary power for sump pump • Dehumidifier in basement

Evidence of crawlspace leakage: • Stains • Mold

Inventory Air Conditioner: • Rheem



52. Rheem

Inventory Dishwasher: • Miele

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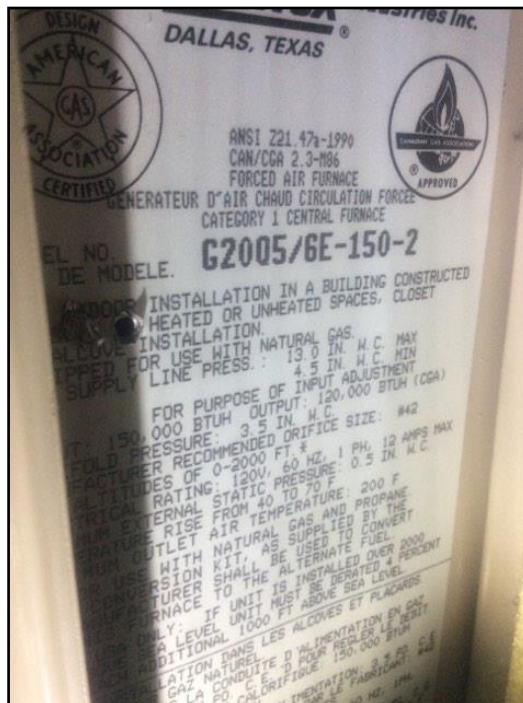
PLUMBING

INTERIOR



53.

Inventory Furnace: • Lennox



54. Lennox

Inventory Water Heater: • Lochinvar



# INTERIOR

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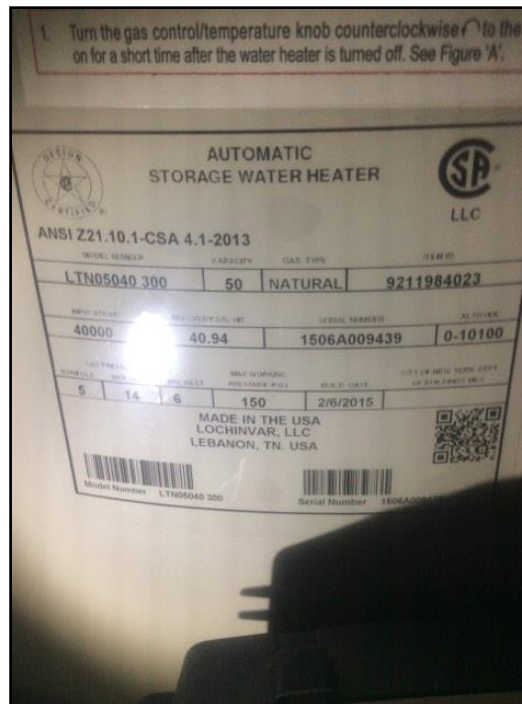
HEATING

COOLING

INSULATION

PLUMBING

INTERIOR



55. Lochinvar

## Limitations

**Inspection limited/prevented by:** • Carpet • Storage/furnishings • New finishes/paint • Storage in closets/cupboards

**Cosmetics:** • No comment offered on cosmetic finishes

**Appliances:** • Self-cleaning features on ovens not tested • Effectiveness of dishwasher drying cycle not tested • Appliances are not moved during an inspection

## Recommendations

### General

**63.** • Mold-like substance found. The mold on the drywall should be removed by removing the drywall. Moldy drywall should never be cleaned, always replace the drywall. Do not use bleach. Reference these two sites <http://www.nyc.gov/html/doh/html/environmental/mold.shtml> and <http://www.epa.gov/mold>

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56. Mold in sump closet



57. Mold in sump closet



58. Mold in sump closet

## CEILINGS \ General

64. Condition: • Stains

Implication(s): Cosmetic defects

Location: Basement

# INTERIOR

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59. Stains

65. Condition: • [Cracked](#)

Implication(s): Cosmetic defects | Damage or physical injury due to falling materials

Location: Second Floor, above spiral staircase



60. Cracked

66. Condition: • [Cracked](#)

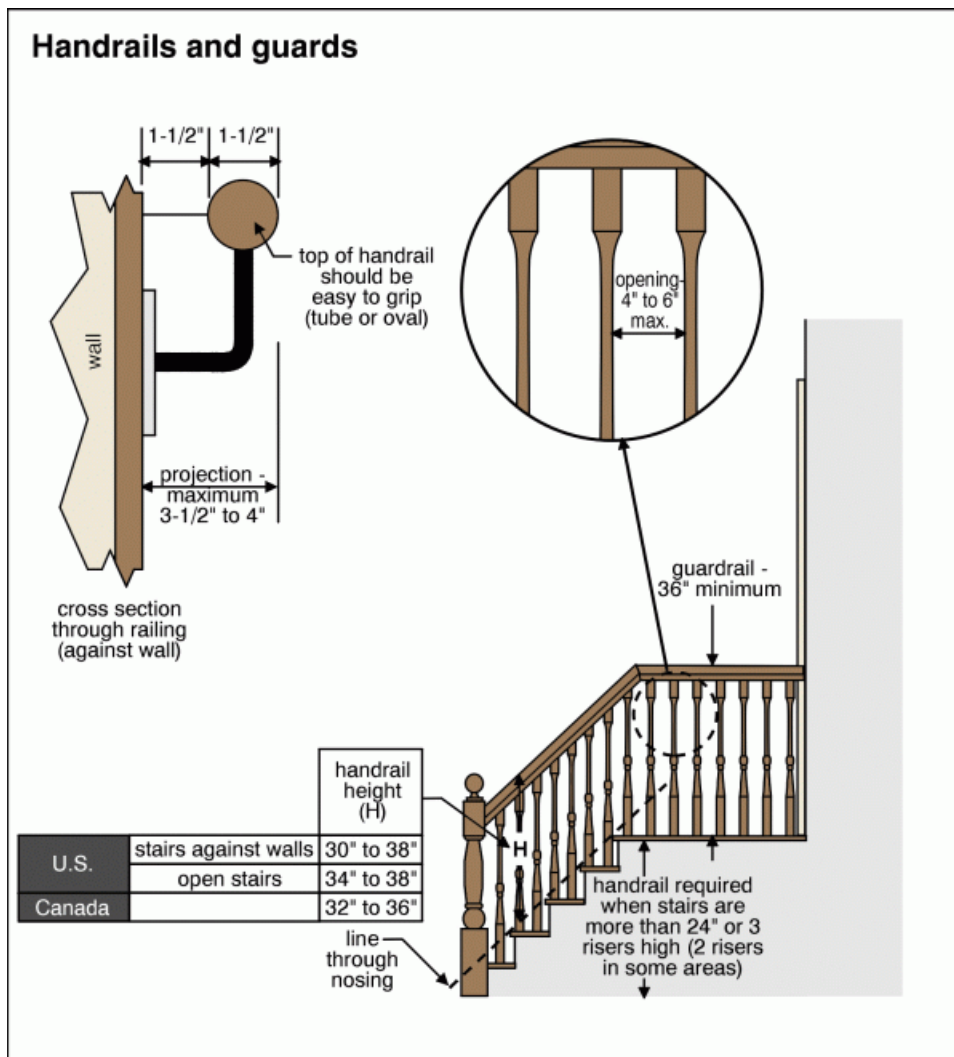
In foyer, close to where weak cantilevered balcony is located (Photo does not reveal crack)

**Implication(s):** Cosmetic defects | Damage or physical injury due to falling materials

## STAIRS \ Spindles or balusters

**67. Condition:** • [Too far apart](#)

**Implication(s):** Fall hazard





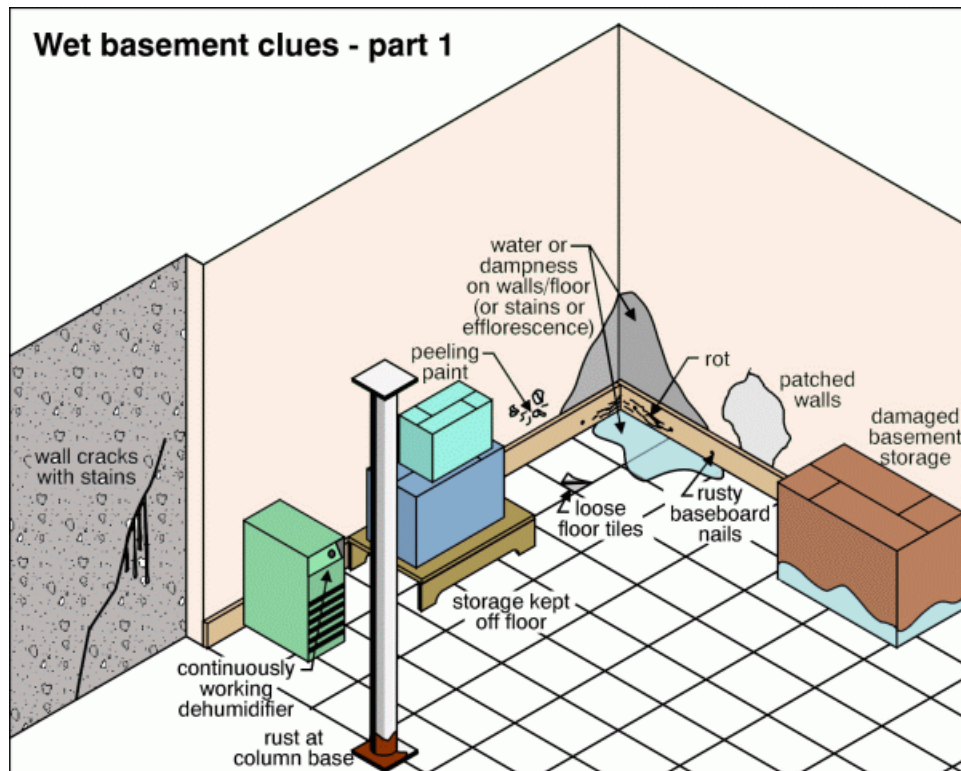


61. Too far apart

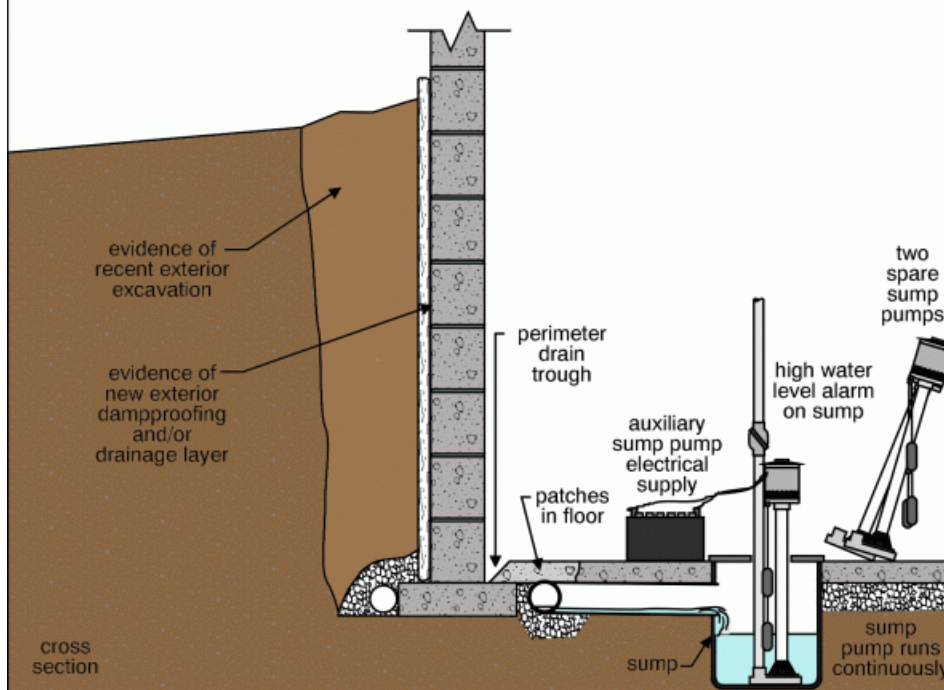
## BASEMENT \ Wet basement - evidence

68. Condition: • [Efflorescence](#)

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure



## Wet basement clues - part 2

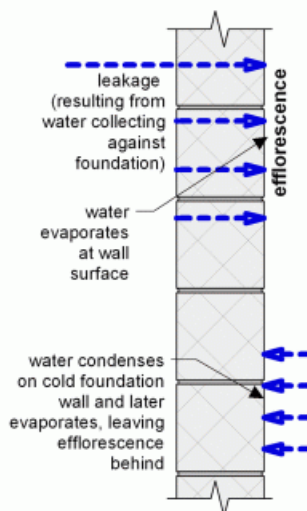


## Basement leakage clues - efflorescence

efflorescence is a powdery, white substance that appears when water with dissolved minerals evaporates



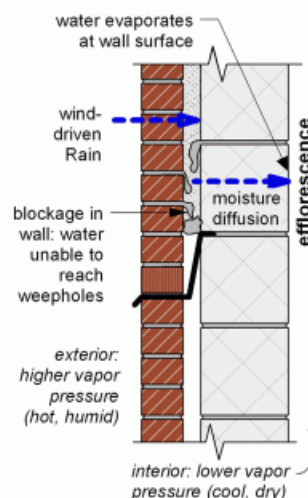
efflorescence may form because of water on the surface of the wall, either from leaks or from condensation, for example:

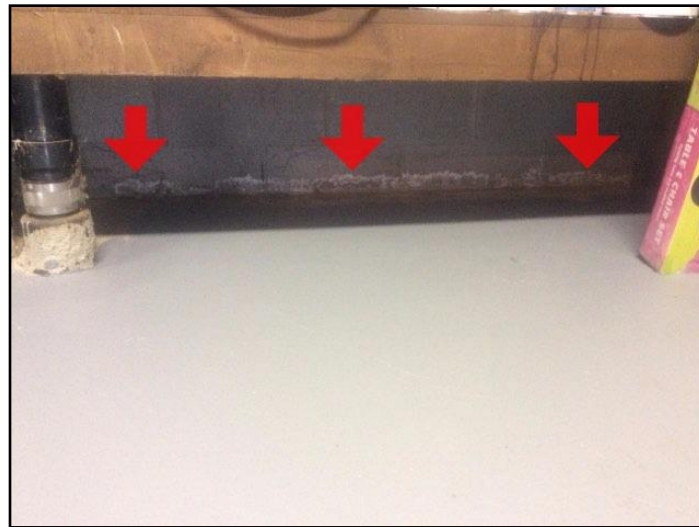


efflorescence may also form because of moisture diffusion through a wall

concrete and clay are not water-tight

for example:

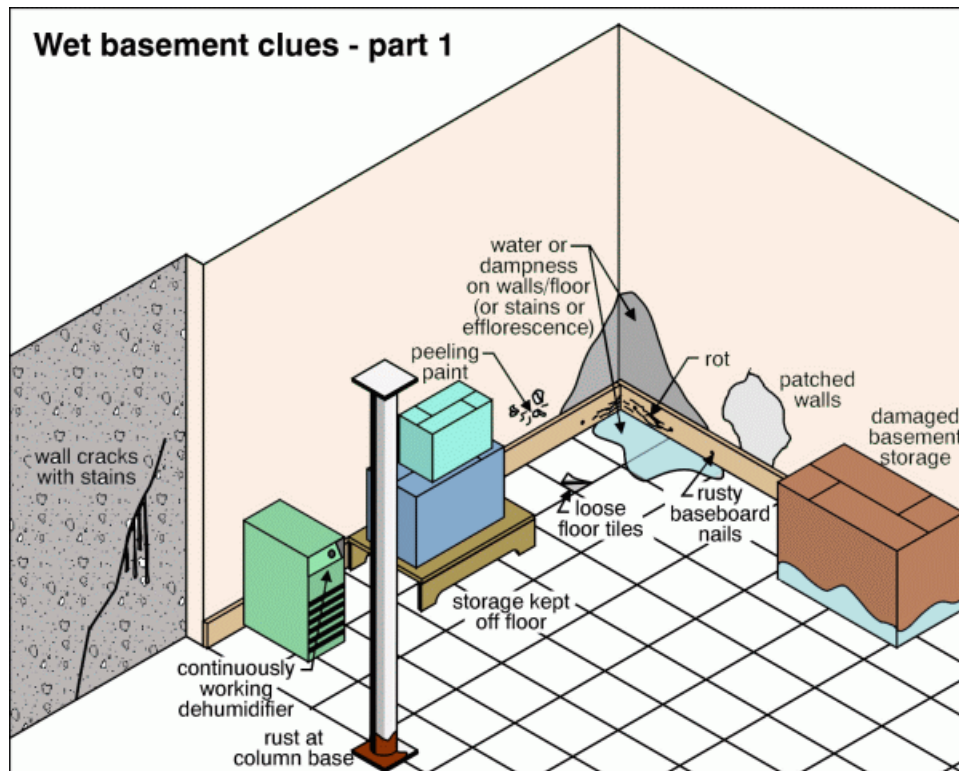




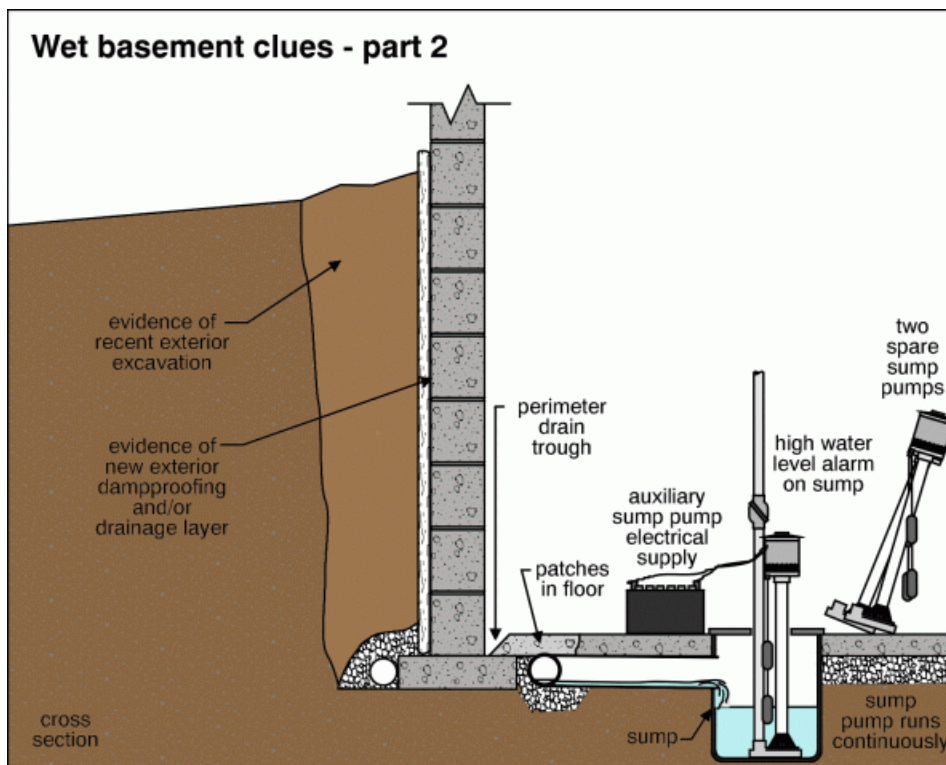
62. Efflorescence

69. Condition: • [Mold](#)

**Implication(s):** Cosmetic defects | Chance of water damage to contents, finishes and/or structure | Contaminants may enter building air







63. Mold



64. Mold





65. Mold

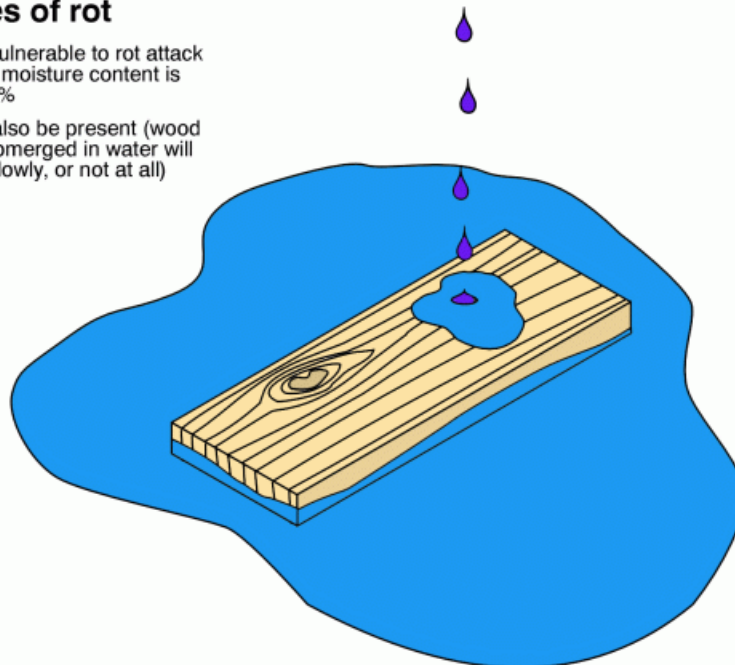
70. Condition: • [Rot](#)

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure | Material deterioration

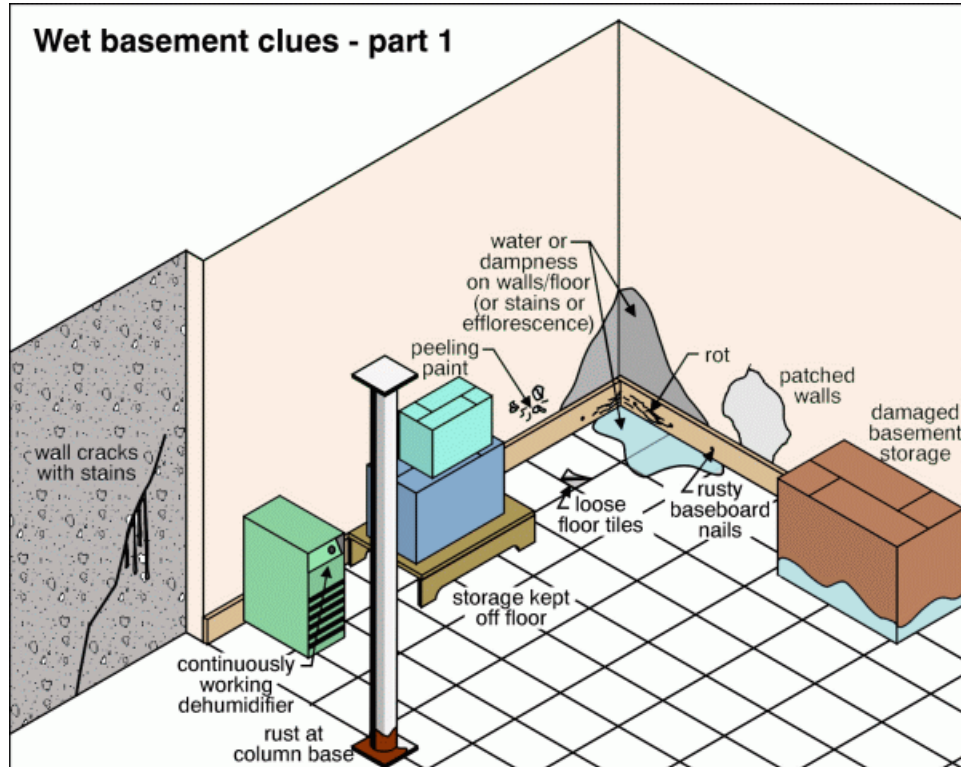
## Causes of rot

wood is vulnerable to rot attack when the moisture content is above 20%

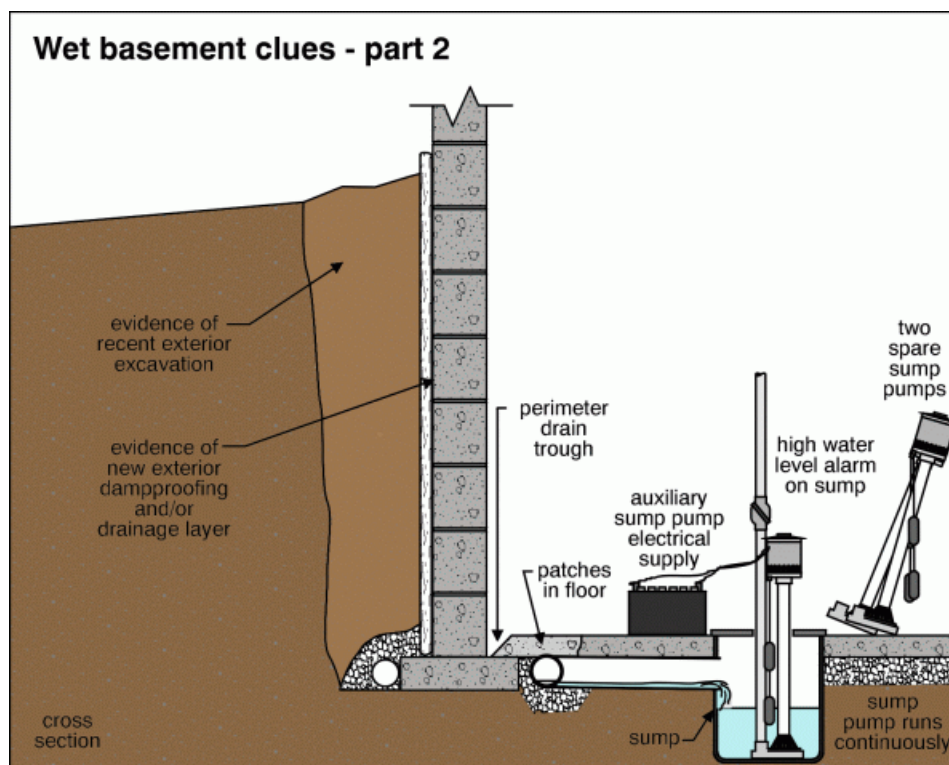
air must also be present (wood totally submerged in water will rot very slowly, or not at all)



## Wet basement clues - part 1



## Wet basement clues - part 2

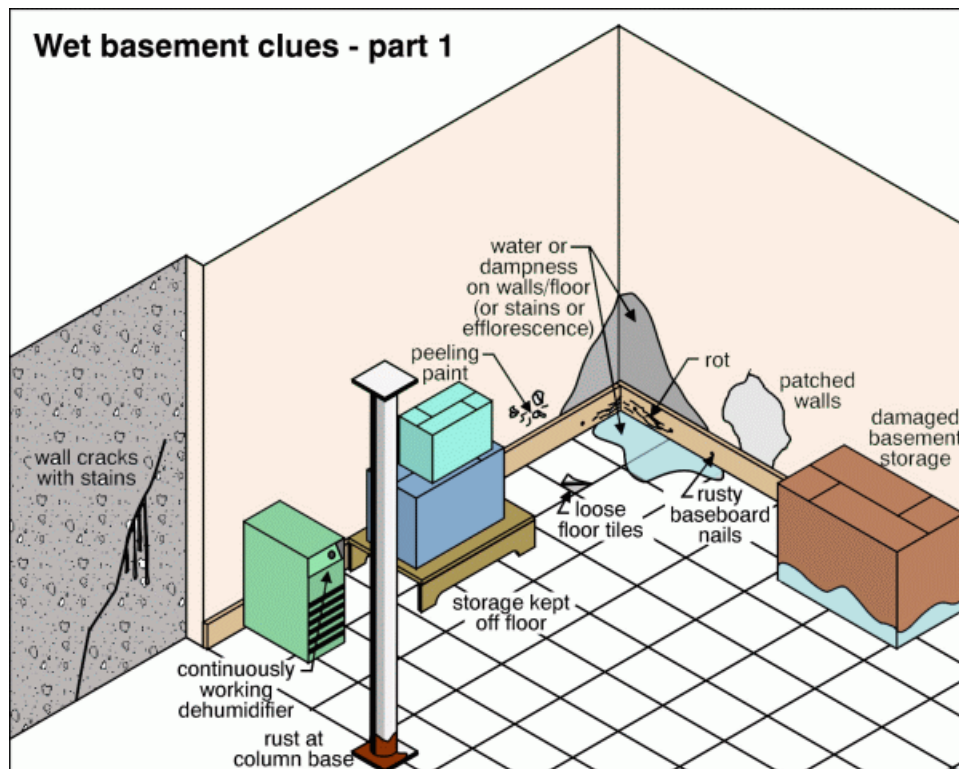




66. Rot

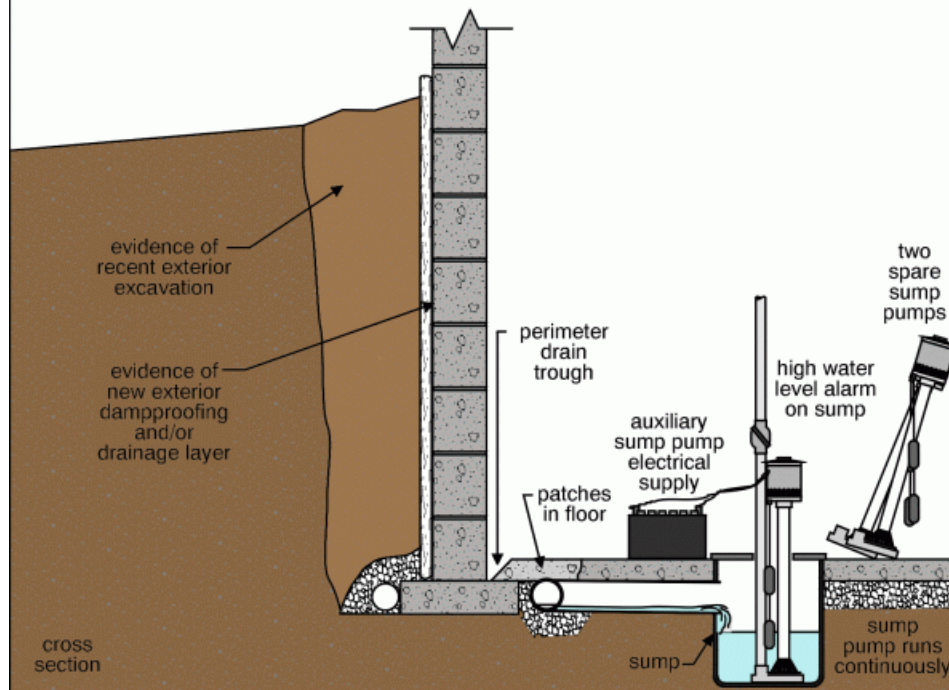
71. Condition: • [Stains](#)

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure

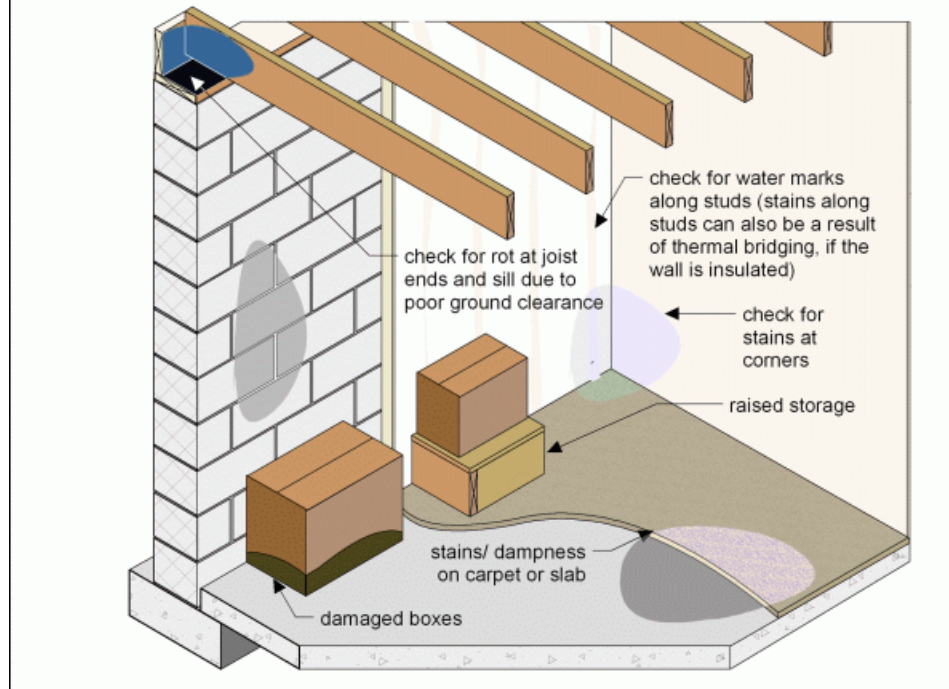




## Wet basement clues - part 2



## Basement leakage clues - rot, stains or water marks





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67. Stains



68. Stains



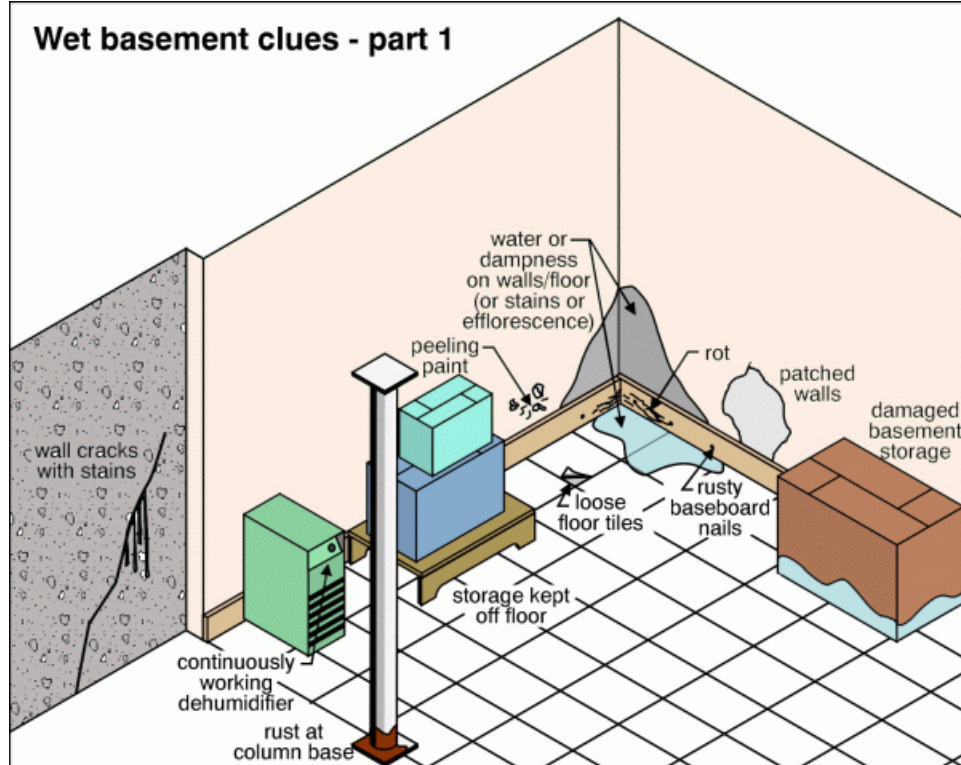
69. Stains

## CRAWLSPACE \ Wet crawlspace - evidence

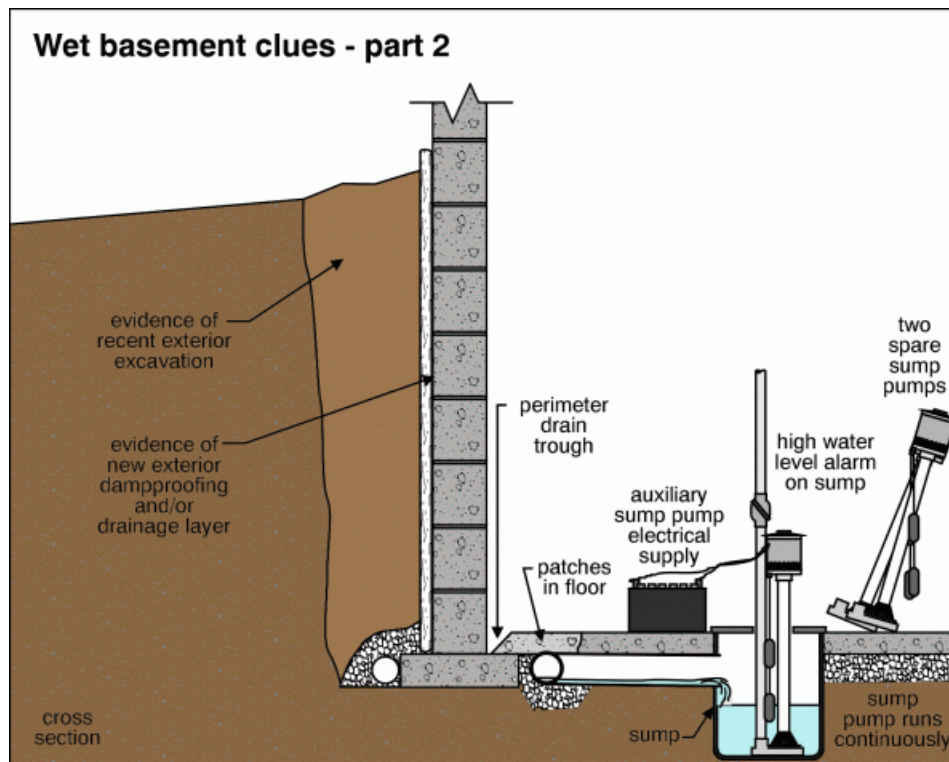
72. Condition: • [Mold](#)

**Implication(s):** Cosmetic defects | Chance of water damage to contents, finishes and/or structure | Contaminants may enter building air

## Wet basement clues - part 1



## Wet basement clues - part 2



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70. *Mold*

**END OF REPORT**