

INSPECTION REPORT



For the Property at:
123 ABC STREET
MEDICINE HAT, AB

Prepared for: JOHN SMITH
Inspection Date: Monday, January 4, 2021
Prepared by: Westley Franks



Hat Property Inspections
130 - 7th Street NE
Medicine Hat, AB T1A 5P6
403.977.7017
AB License # 350776

www.hatpropertyinspections.ca
wes@hatpropertyinspections.ca



May 8, 2024

Dear John Smith,

RE: Report No. 1097
123 ABC Street
Medicine Hat, AB

Thank you very much for choosing Hat Property Inspections to perform your home inspection. I trust the experience was both useful and enjoyable. Please feel free to contact me with any questions about the report or the home.

The inspection and the attached report are in accordance with the requirements of the American Society of Home Inspectors (ASHI) Standards of Practice. A copy of which was provided as our inspection agreement.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. I encourage you to read the Standards of Practice so that you clearly understand what things are included in a home inspection and report.

The intent of the Inspection is to find significant problems that would affect your decision to purchase. I always miss some minor things. Any minor problems included in the report as a courtesy were discovered while looking for significant ones. The Inspection is a sampling process, each and every part of the home will not be inspected, I don't see everything. I record the visible conditions on a given date and time. I cannot predict the future behavior of the home.

The report has been prepared for the exclusive use of my client. Use of the report by any other party is not intended, therefore I accept no responsibility for any such use. I can not provide cost estimates for any of the conditions I have found. I encourage you to consult a qualified licensed contractor if you require cost estimates.

Again, thanks very much for choosing me to perform your home inspection.

Sincerely,

Westley Franks
on behalf of
Hat Property Inspections

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EXECUTIVE SUMMARY

123 ABC Street, Medicine Hat, AB January 4, 2021

Report No. 1097

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This EXECUTIVE SUMMARY outlines the potentially more significant conditions found during the Inspection. The conditions listed in the Summary are some of the higher priority items that;

- Have reached the end of their life expectancy
- Do not function as intended
- May adversely affect the habitability of the home
- Require further evaluation by an expert
- Are unsafe

This summary is often the most important part of the report for people making their purchase decision. This section is provided as a courtesy for quick reference and cannot be considered a substitute for reading the entire report. The complete report may include additional information of concern. Please read the complete report document.

[Click this link for some important home maintenance program Information](#)

Roofing

SLOPED ROOFING \ Asphalt shingles

Condition: • [Near end of life expectancy](#)

Cupping, curling and granular loss of shingles

Implication(s): Chance of water damage to structure, finishes and contents

Location: Throughout Roof

Task: Get an expert opinion from a qualified contractor

Time: Priority 1 Action is recommended as soon as practical

Structure

FOUNDATIONS \ General notes

Condition: • Building Foundation Settlement

There is an old vertical foundation crack under the front stairs that has been repaired with polyurethan foam injection.

Implication(s): Chance of structural movement | Weakened structure | Chance of water damage to contents, finishes and/or structure

Location: North foundation wall under stairs

Task: Monitor the condition, if the condition changes, Get an expert opinion from a qualified contractor,

Time: Priority 4 Action recommended at the home owners discretion

Electrical

SERVICE DROP AND SERVICE ENTRANCE \ Service mast and conductors

Condition: • Near end of life expectancy

Implication(s): Over heating wiring and equipment, Damage to conductor insulation

Location: Exterior main electrical service

Task: Get an expert opinion from a qualified contractor,

Time: Priority 3 Action is recommended as soon as practical

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DISTRIBUTION SYSTEM \ Aluminum wiring (wires)

Condition: • [Aluminum electrical branch circuit wiring is present in the home, this wiring has a history of a overheating if it](#) was not installed and maintained properly. Over time aluminum wiring connections can become loose or rusted causing problems in the electrical circuits of the home. All aluminum wire connections in the electrical panel should be tightened, and all the receptacles, switches and lights should be "Pig Tailed" to copper wire using the proper aluminum wire connectors and de-oxidization compound. It is also recommended that the aluminum wiring branch circuits be protected with Arc-Fault protection.

Implication(s): Fire hazard | Over heating wiring | Damage to conductor insulation | Damage to equipment

Location: Throughout the home

Task: Repair and maintain by a qualified contractor,

Time: Priority 1 Action is recommended as soon as possible

DISTRIBUTION SYSTEM \ Smoke / Carbon monoxide detectors

Condition: • There are No Smoke alarms present in the home. It is recommended that new 120 volt / battery back up CO/Smoke and Smoke alarms be installed and interconnected. This condition is typical for homes of this age.

Implication(s): Fire hazard | Life safety hazard

Location: Main floor and basement

Task: Provide new by a qualified contractor

Time: Priority 1 Action is recommended as soon as possible

Cooling & Heat Pump

AIR CONDITIONING \ Life expectancy

Condition: • [Near end of life expectancy](#)

Implication(s): Equipment failure | Reduced comfort

Location: Air Conditioner

Task: Get an expert opinion from a qualified and licensed contractor,

Time: Priority 4 Action is recommended at the home owners discretion

Insulation and Ventilation

ATTIC/ROOF \ Insulation

Condition: • [This Insulation material may be Vermiculite. It may contain Asbestos.](#)

Vermiculite insulation should not be disturbed. This is a condition that is typical for homes of this age.

Implication(s): Environmental contamination

Location: Through out Attic

Task: Get a expert opinion from a qualified contractor

Time: Priority 4 Action recommended at the home owners discretion

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Plumbing

SUPPLY PLUMBING \ Water supply piping in building

Condition: • Polybutylene (PB) supply water plumbing pipe has been found in the home. This piping has a history of a significantly high rate of failure. There have been instances in the past when this kind of pipe has ruptured or the connectors have failed. This pipe is no longer used in residential plumbing applications for this reason.

Implication(s): Chance of water damage to structure, finishes and contents | Leakage

Location: Throughout the home

Task: Get an expert opinion from a qualified contractor

Time: Priority 3 Action recommended as soon as practical

FIXTURES AND FAUCETS \ Toilet

Condition: • Leak

Moisture detected around toilet, Possible wax seal leak

Implication(s): Chance of water damage to contents, finishes and/or structure | sewage entering the building

Location: Main floor bathroom

Task: Repair by a qualified contractor,

Time: Priority 2 Action is recommended as soon as practical

THIS CONCLUDES THE SUMMARY SECTION.

The remainder of the report describes each of the home's major systems, explains any deficiency's I found, their priority, and the implications, details any recommendations I have for improvements, and includes the limitations that restricted my inspection.

PRIORITY DESCRIPTIONS

Priority 1 Highest priority - significant condition

Priority 2

Priority 3

Priority 4

Priority 5 Lowest priority - minor condition

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- 13.0 HOME REFERENCE GUIDE - E BOOK

[Click this link for some important home inspection scope information "When Things Go Wrong"](#)

ROOFING

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Building System Descriptions

General:

• Example Roof Photos



1. Example Roof Photos



2. Example Roof Photos



3. Example Roof Photos



4. Example Roof Photos

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5. Example Garage Roof Photos

- To help prevent roof leaks, it is recommended that you get a roof tune-up by a qualified roofing contractor every year
- See Home Reference Library e Book at the end of this report for more general information about Roofing Systems

The home is considered to face: • South

Sloped roofing material: • [Asphalt shingles](#)

Sloped roof flashing material: • Metal

Approximate age: • 15-20 years

Typical life expectancy: • Asphalt shingles 15-20 years

Detached garage sloped roof:

- Asphalt shingles
- Approximate age
15 - 20 years old

Inspection Methods and Limitations

Inspection performed: • By walking on roof

Age determined by: • Reported by seller

Not included as part of a building inspection: • The PROBABILITY that a ROOF WILL LEAK cannot be determined in a home inspection. Any Roof new or old may leak during the proper weather conditions such as heavy wind, rain or hail. • The PROBABILITY that a ROOF WILL SUFFER WIND DAMAGE cannot be determined in a home inspection. Any roof new or old may have shingles break, bend or blow off in heavy wind. • The remaining LIFE EXPECTANCY of a ROOF cannot be determined in a home inspection. • The inspection will not provide an opinion as to the load-bearing adequacy of any ROOF STRUCTURAL SYSTEM.

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Observations and Recommendations

SLOPED ROOFING \ Asphalt shingles

1. Condition: • [Near end of life expectancy](#)

Cupping, curling and granular loss of shingles

Implication(s): Chance of water damage to structure, finishes and contents

Location: Throughout Roof

Task: Get an expert opinion from a qualified contractor

Time: Priority 1 Action is recommended as soon as practical



6. *Near end of life expectancy*

SLOPED ROOF FLASHINGS \ Drip edge flashings

2. Condition: • Missing drip edge flashing

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Through out House Roof edge

Task: Provide by a qualified contractor

Time: Priority 4 Action recommended at the home owners discretion

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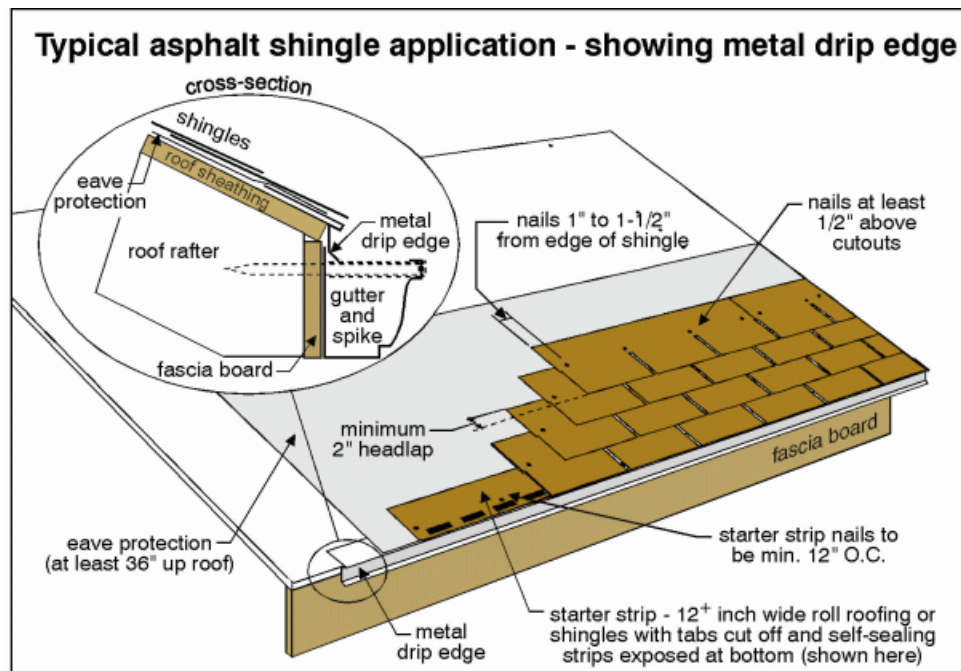
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7. Missing drip edge flashing

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Building System Descriptions

General:

- Example Exterior photos



8. Example Exterior photos

9. Example Exterior photos

- A good way to help prevent a wet basement is to ensure that gutter down spouts are extended 6 feet away from the building during heavy rain.
- See Home Reference Library e Book at the end of this report for more general information about Exterior Systems

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout type: • [Eave mounted](#)

Downspout discharge: • [Above grade](#)

Lot slope: • [Flat](#)

Soffit (underside of eaves) and fascia (front edge of eaves): • [Wood](#)

Wall surfaces: • [Stucco](#) • Wood Siding

Flashings and trim: • Metal • Wood

Driveway: • Back parking area gravel

Walkway: • Concrete

Exterior steps: • Concrete

Patio: • Concrete

Garage: • Detached

Garage vehicle doors: • Wood

Garage vehicle door operator (opener): • Automatic

Detached garage exterior: • Gutters and down spouts, aluminum, eave mounted, above grade discharge • Wall surface stucco

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Inspection Methods and Limitations

Upper floors inspected from: • Ground level

Exterior inspected from: • Ground level

Not included as part of a building inspection: • The cause of EXTERIOR BUILDING CRACKS cannot be determined in a home inspection. Cracks may be superficial or may indicate a potential problem that is beyond the scope of the home inspection. • The cause of poured CONCRETE MOVEMENT such as the settling, heaving or cracking of sidewalks, patios, drive ways or retaining walls, cannot be determined in a home inspection. Poured concrete movement may be superficial or may indicate a potential problem that is beyond the scope of the home inspection. • Underground components - Perimeter weeping tile / drainage systems & septic fields • Erosion control, earth stabilization measures • Fences and boundary walls • Screens, shutters, awnings, and similar seasonal accessories • Recreational facilities

Observations and Recommendations

WALLS \ Stucco

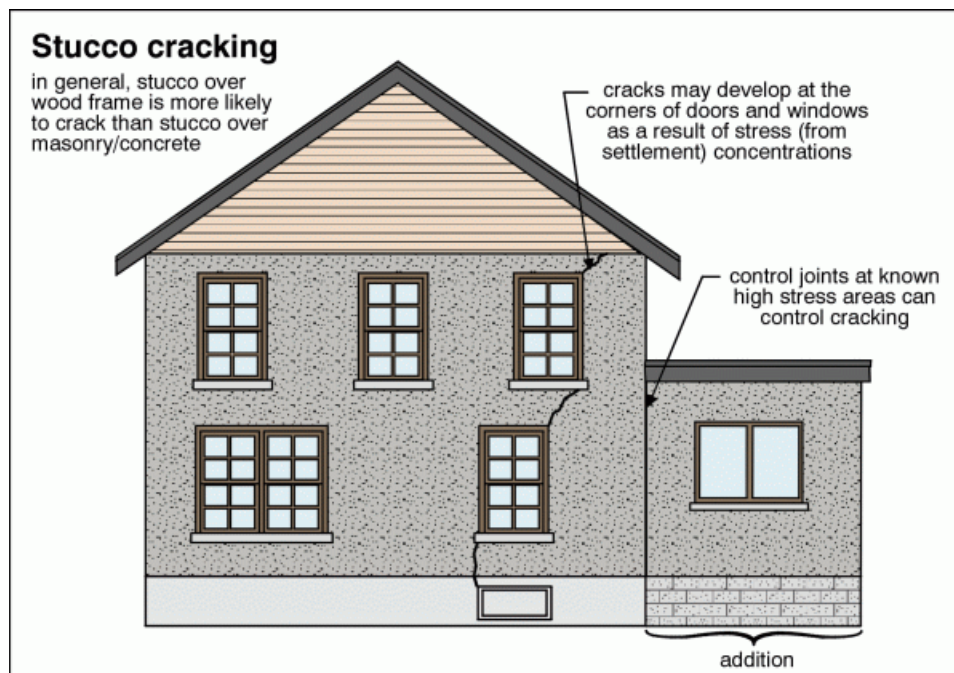
3. Condition: • Minor stucco drying cracks

Implication(s): Shortened life expectancy of material

Location: Exterior North Wall

Task: Monitor the condition

Time: Priority 5 Action recommended at the home owners discretion



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10. Minor stucco drying cracks

WINDOWS \ General notes

4. **Condition:** • Water damage / Rot

Implication(s): Chance of water damage to structure | Material deterioration

Location: North basement bedroom window

Task: Repair by a qualified contractor,

Time: Priority 3 Action is recommended as soon as practical



11. Water damage / Rot

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General notes

5. **Condition:** • Water proofing and cladding adequacy

The inspection will not provide an opinion as to the adequacy of the decks water proofing membrane and cladding.

There may have been water leakage causing damage in the past that is impossible to see from a visual inspection.

Implication(s): Chance of water damage to structure | Material deterioration

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Location: Deck

Task: Monitor the condition, if the condition changes, get an expert opinion from a qualified Exterior contractor,

Time: Action is recommended at the home owners discretion

GARAGE \ Vehicle door operators (openers)

6. Condition: • [Fails to auto reverse](#)

Implication(s): Physical injury

Location: Garage over head door

Task: Repair by a qualified contractor,

Time: Priority 4 Action recommended at the home owners discretion



12. Fails to auto reverse



13. Fails to auto reverse

Building System Descriptions

General: • See Home Reference Library e Book at the end of this report for more general information about Structural Systems

Configuration: • [Basement](#)

Foundation material: • [Poured concrete](#)

Floor construction: • Built up beams on posts • Wood Joists • Wood beams • Wood columns • Subfloor - plywood

Exterior wall construction: • [Wood frame](#)

Roof and ceiling framing: • [Trusses](#) • Plywood sheathing

Stairs construction: • Treads Wood • Stringers Wood • Risers wood • Not Glued

Inspection Methods and Limitations

Inspection limited/prevented by: • Ceiling, wall and floor coverings • Storage / furnishings

Attic/roof space: • Inspected from access hatch

Crawlspace and under stair landings: • Entered but access was limited

Percent of foundation not visible: • 95 %

Not included as part of a building inspection: • The inspection will not provide an opinion as to the adequacy of any BUILDING STRUCTURAL SYSTEM or FOUNDATION. • The cause of FOUNDATION CRACKS cannot be determined in a home inspection. Cracks may be superficial or may indicate a potential problem that is beyond the scope of the home inspection. • The inspection does not include testing for GROUND WATER, land subsidence, land heaving, hydrological, or geological problems. The inspection will not provide an opinion as to the adequacy of any soil conditions. The inspection will not determine if the home has flooded in the past from surface or ground water or if it is located in a flood plane area. • The inspection cannot CAN NOT PREDICT how often or how badly a BASEMENT WILL LEAK, any basement can leak during the proper weather conditions, such as heavy rain or a high level of ground water. • The attic space can not be entered, attic load bearing components concealed by insulation cannot be traversed • The crawlspace could not be entered, less than 24 inches of vertical clearance cannot be entered in under-floor crawlspace areas

Environmental issues are outside the scope of a home inspection: • The inspection does not include testing for vermin, pests or wood destroying organisms

Observations and Recommendations

FOUNDATIONS \ General notes

7. Condition: • Typical minor foundation cracks

This condition is typical for homes of this age

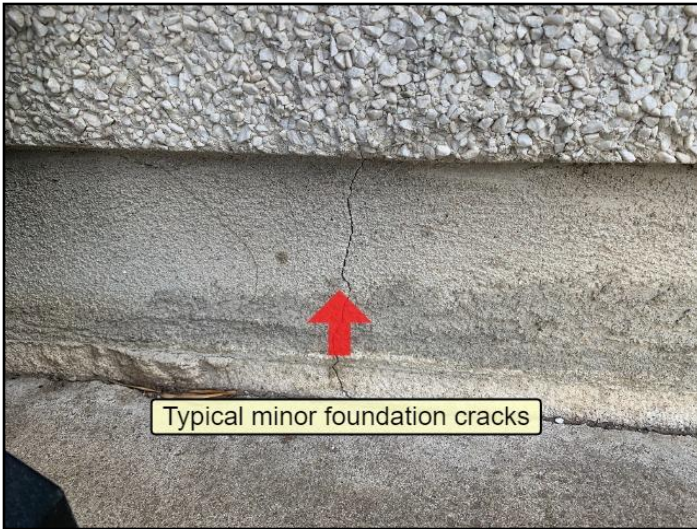
Implication(s): Chance of water entering building | Chance of damage to structure

Location: South and West Foundation wall

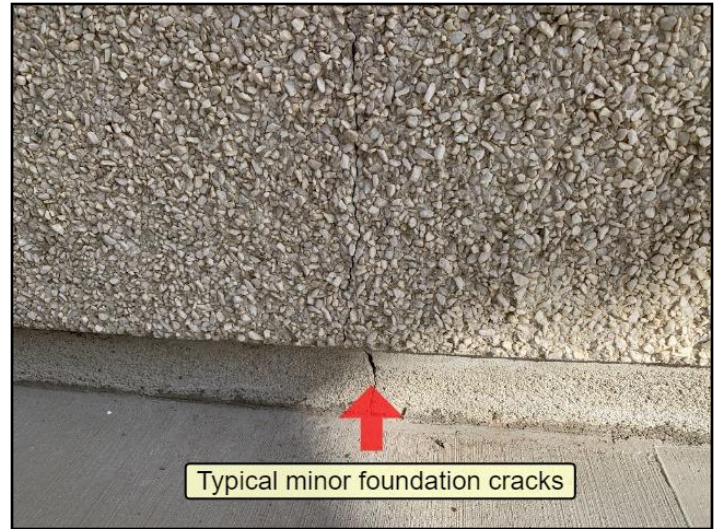
Task: Monitor the condition, if the condition changes, Get an expert opinion from a qualified contractor

Time: Priority 5 - Action recommended at the home owners discretion

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14. Typical minor foundation cracks



15. Typical minor foundation cracks

8. Condition: • Building Foundation Settlement

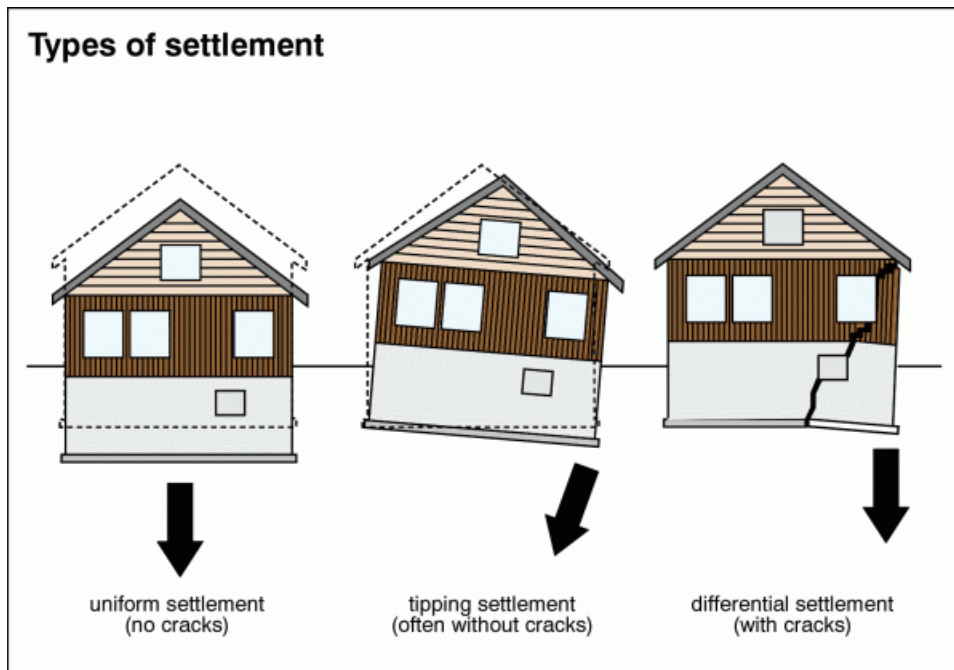
There is an old vertical foundation crack under the front stairs that has been repaired with polyurethan foam injection.

Implication(s): Chance of structural movement | Weakened structure | Chance of water damage to contents, finishes and/or structure

Location: North foundation wall under stairs

Task: Monitor the condition, if the condition changes, Get an expert opinion from a qualified contractor,

Time: Priority 4 Action recommended at the home owners discretion



Crack repair - epoxy and polyurethane injection

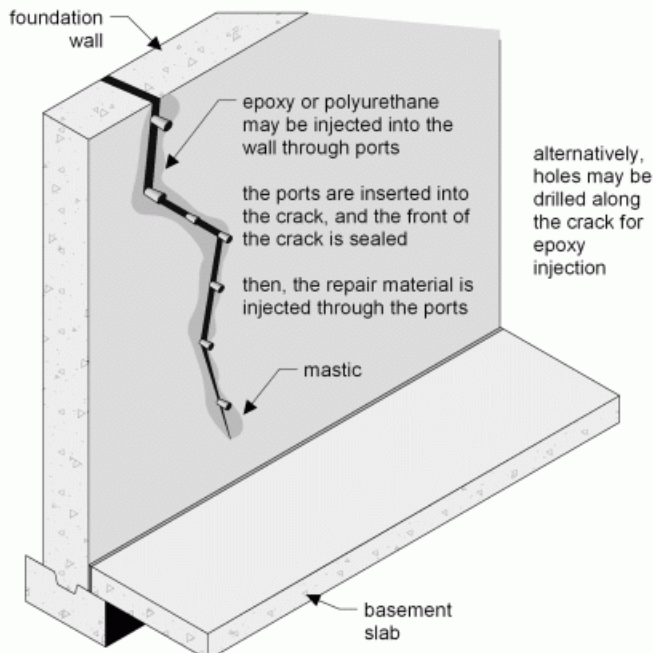
polyurethane is flexible and is not a structural repair, however, it can prevent leakage

it starts out with low viscosity, then expands within the crack

do-it-yourself crack repair kits usually feature polyurethane foam

epoxy is as strong as concrete and forms a structural seal

however, it hardens slowly, and if there is space at the back of the crack, it may leak out

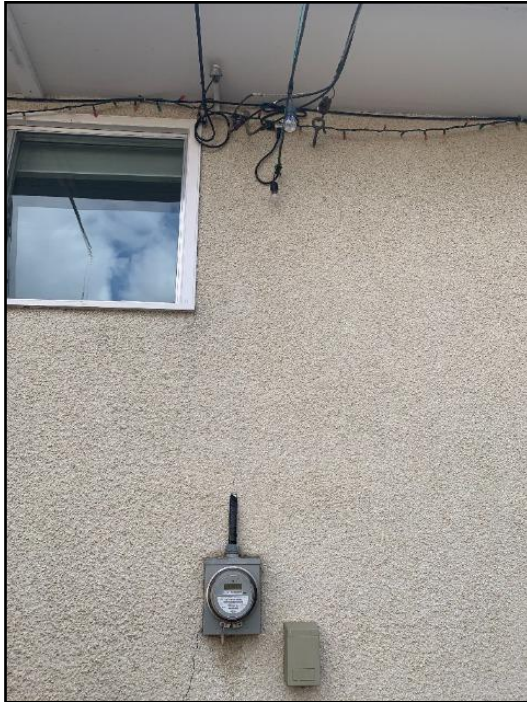


16. Foundation Settlement crack prior repairs

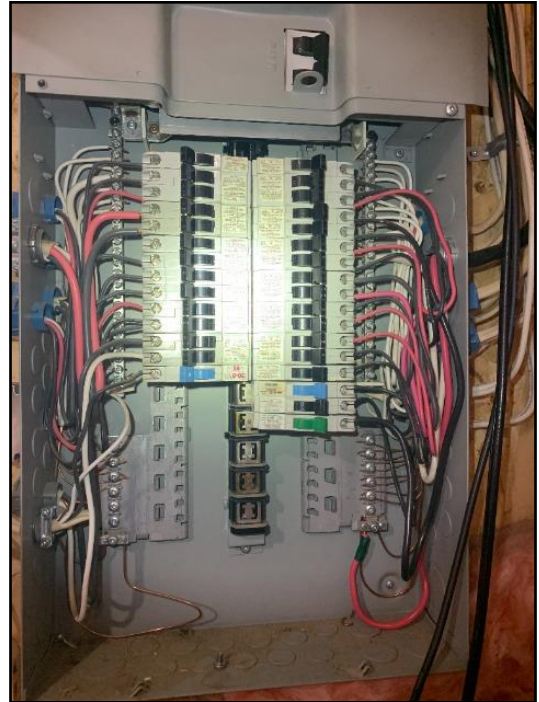
Building System Descriptions

General:

- Example Electrical system photos



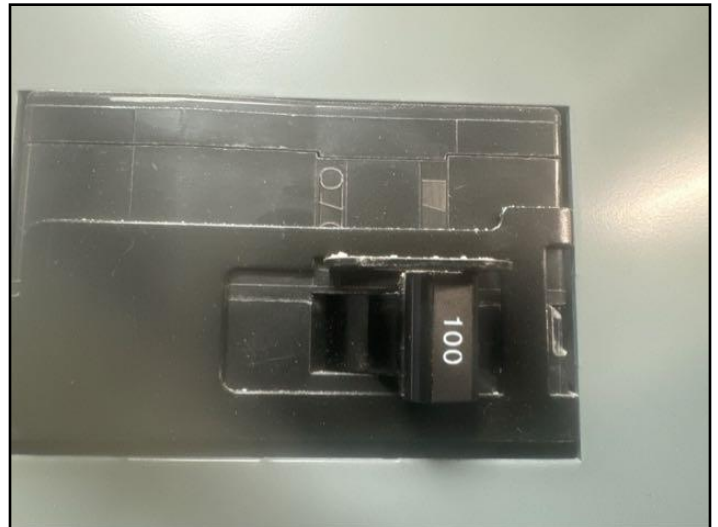
17. Example Electrical system photos



18. Example Electrical system photos



19. Example Electrical system photos



20. Example Electrical system photos

- See Home Reference Library e Book at the end of this report for more general information about Electrical Systems

Service entrance cable and location: • [Overhead](#)

Service size: • 100 Amps (120/240 Volts)

Main disconnect/service box rating: • [100 Amps](#)

Main disconnect/service box type and location:

- The age of the electrical service box and cable is;
57 years old

System grounding material and type: • [Copper - water pipe](#)

Distribution panel type and location:

- The age of this electrical panel and circuit breakers is;
57 years old

Distribution panel rating: • [100 Amps](#)

Electrical panel manufacturers: • Federal Pioneer Electric (FPE Stab-Lok)

Distribution wire (conductor) material and type: • Copper - non-metallic sheathed • Aluminum - non-metallic sheathed

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom](#) • [GFCI - kitchen](#) • [No Arc-fault circuit](#)
interrupters present

Smoke alarms (detectors): • None noted

Carbon monoxide (CO) alarms (detectors): • None noted

Inspection Methods and Limitations

Inspection limited/prevented by: • Electrical wiring that is concealed behind walls, ceilings and floors cannot be inspected. A Home Inspection can not determine if concealed electrical wiring has been damaged by nails, staples or other construction activity's. If you are concerned about damage to electrical wiring being a fire hazard, it is recommended that you get a further evaluation by a qualified Electrical Contractor.

System ground: • Quality and continuity of system grounding not verified

Circuit labels: • The accuracy of the circuit index (labels) was not verified.

Not included as part of a building inspection: • Determination of the age or testing of smoke and carbon monoxide alarms • Low voltage control wiring systems and components • Remote control devices • Shaw cable or TELUS services, equipment and cabling • Security systems and intercoms • Satellite dishes, equipment and cabling are not inspected

Observations and Recommendations

SERVICE DROP AND SERVICE ENTRANCE \ Service mast and conductors

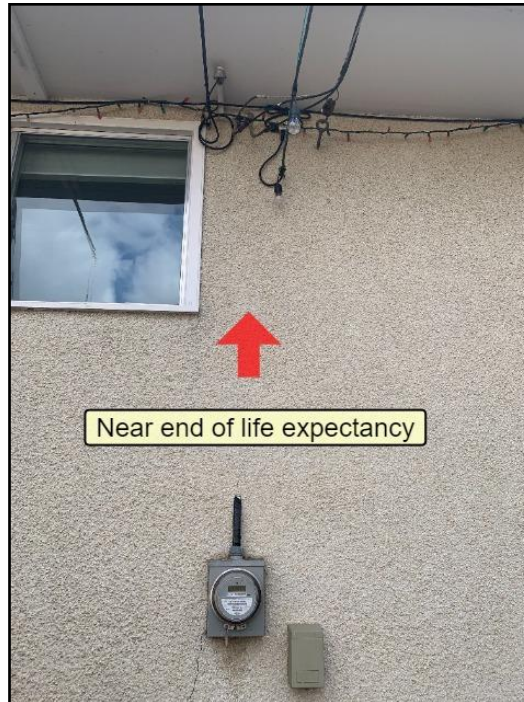
9. Condition: • Near end of life expectancy

Implication(s): Over heating wiring and equipment, Damage to conductor insulation

Location: Exterior main electrical service

Task: Get an expert opinion from a qualified contractor,

Time: Priority 3 Action is recommended as soon as practical



21. Near end of life expectancy

DISTRIBUTION SYSTEM \ Aluminum wiring (wires)

10. Condition: • [Aluminum electrical branch circuit wiring is present in the home, this wiring has a history of a](#) overheating if it was not installed and maintained properly. Over time aluminum wiring connections can become loose or rusted causing problems in the electrical circuits of the home. All aluminum wire connections in the electrical panel should be tightened, and all the receptacles, switches and lights should be "Pig Tailed" to copper wire using the proper aluminum wire connectors and de-oxidization compound. It is also recommended that the aluminum wiring branch circuits be protected with Arc-Fault protection.

Implication(s): Fire hazard | Over heating wiring | Damage to conductor insulation | Damage to equipment

Location: Throughout the home

Task: Repair and maintain by a qualified contractor,

Time: Priority 1 Action is recommended as soon as possible

ELECTRICAL

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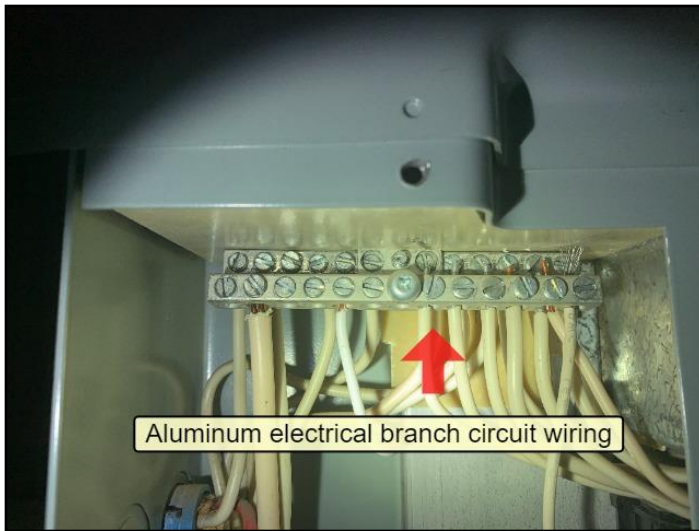
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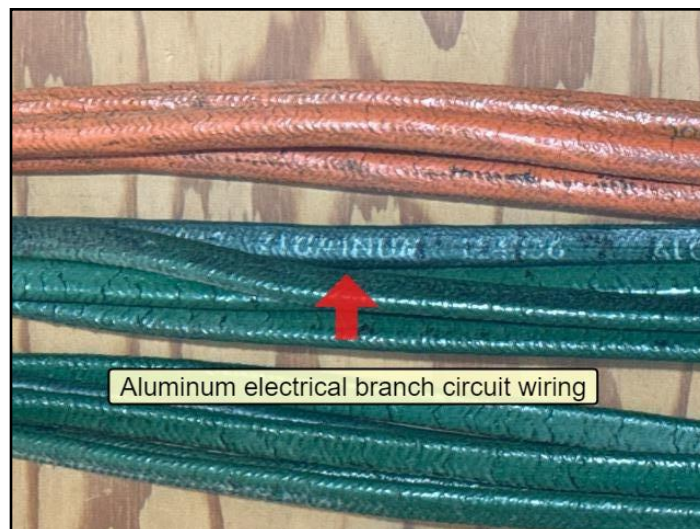
REFERENCE



22. Aluminum electrical branch circuit wiring



23. No "Pig tailing" to copper wire



24. Aluminum electrical branch circuit wiring

DISTRIBUTION SYSTEM \ Outlets (receptacles)

11. Condition: • [GFCI recommended \(Ground Fault Circuit Interrupter\)](#)

This is a recommended safety improvement not a deficiency. This condition is typical for homes of this age.

Implication(s): Electric shock

Location: Exterior and bathrooms

Task: Provide new by a qualified contractor

Time: Priority 4 Action recommended as soon as practical



25. GFCI recommended



26. GFCI recommended

DISTRIBUTION SYSTEM \ Smoke / Carbon monoxide detectors

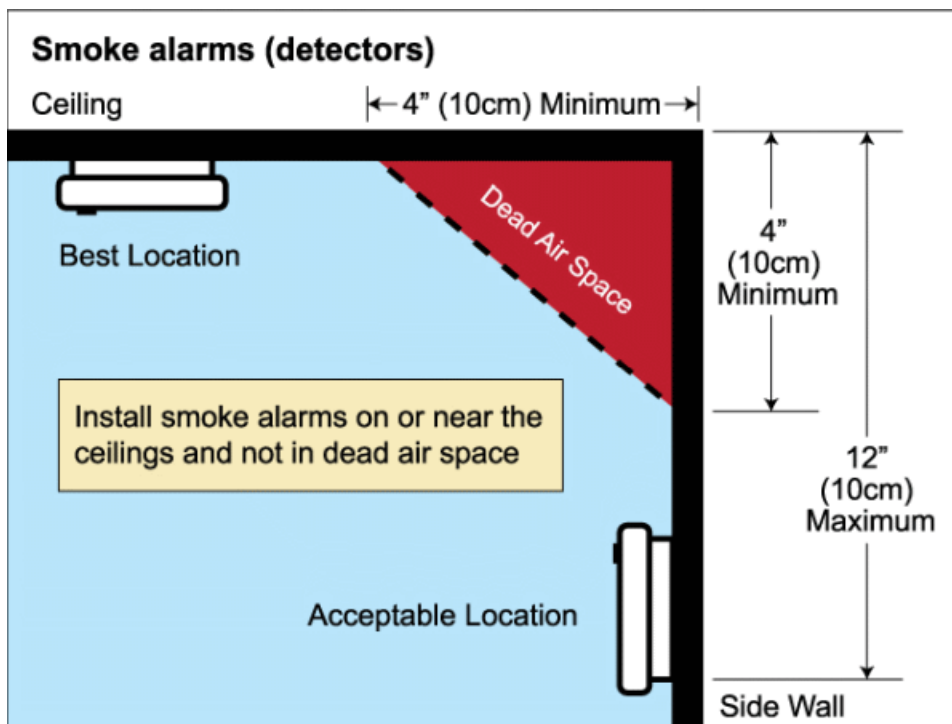
12. Condition: • There are No Smoke alarms present in the home. It is recommended that new 120 volt / battery back up CO/Smoke and Smoke alarms be installed and interconnected. This condition is typical for homes of this age.

Implication(s): Fire hazard | Life safety hazard

Location: Main floor and basement

Task: Provide new by a qualified contractor

Time: Priority 1 Action is recommended as soon as possible



27. No Smoke alarms present



28. No Smoke alarms present

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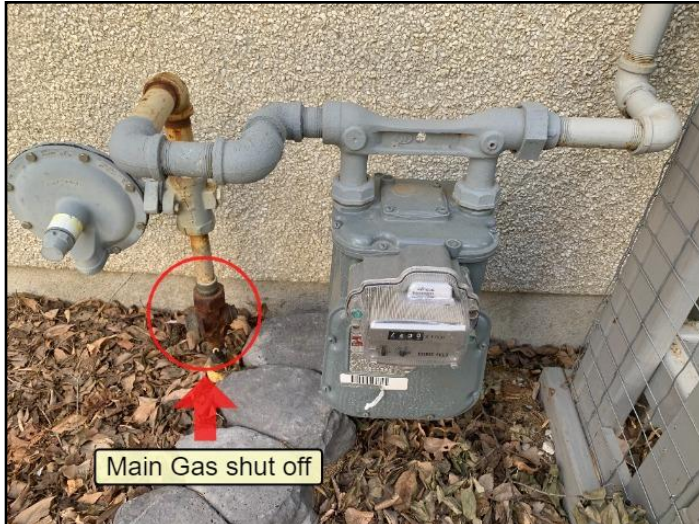
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Building System Descriptions

General:

- Example Heating system photos



29. Heating system photos



30. Heating system photos



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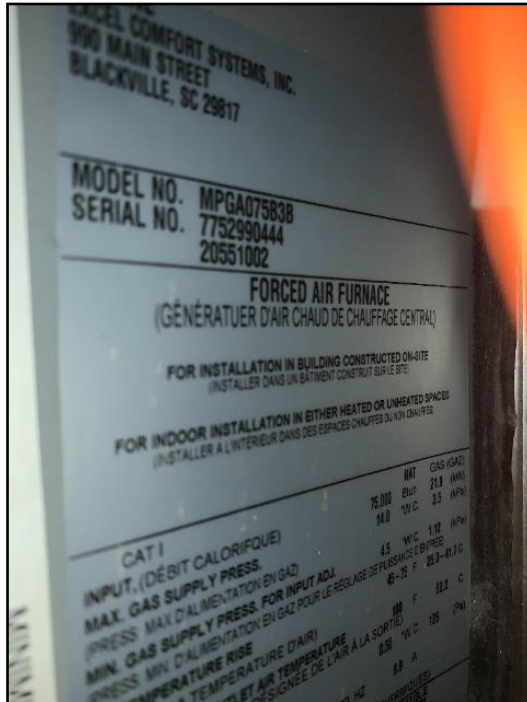
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33. Heating system photos



34. Wood fire place photos



35. Wood fire place photos

- **CHANGE FURNACE FILTER** - Clogged air filters are the primary cause of furnace problems. They become clogged by dust, pets, essential oils and smoke. It is recommend that you change the furnace filter prior to occupying the home, and then regularly, usually every 3 months.
- **CLEAN OUT FURNACE & DUCTS** - Dust, hair and debris can collect in the furnace and the duct system. It is recommended that you have the furnace & ducts cleaned by a qualified duct cleaning company regularly, usually every 2 -3 years.

A dirty furnace and duct system can cause poor Air Quality, Poor Furnace Performance & Air Flow.

- See Home Reference Library e Book at the end of this report for more general information about Heating Systems

HEATING

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Heating system type: • Furnace (forced air)

Fuel/energy source: • [Gas](#)

Furnace manufacturer: • Ducane

Garage heater: • There is no heat in the garage

Heat distribution: • Forced air ducts and registers

Approximate capacity: • [75,000 BTU/hr](#)

Efficiency: • [Mid-efficiency](#)

Exhaust venting method: • [Induced draft](#)

Combustion air source: • Outside - fresh air duct

Approximate age: • [19 years](#)

Typical life expectancy: • Furnace (conventional or mid-efficiency) 20 to 25 years

Main fuel shut off at: • Gas meter outside

Supply temperature: • 40°C

Exhaust pipe (vent connector): • Galvanized steel

Wood burning fire place or stove: • Wood burning fire place metal

Chimney/vent: • [Metal](#)

Location of the thermostat for the heating system: • First Floor • Hallway

Inspection Methods and Limitations

Fireplace gas and wood: • Connection to chimney not inspected • Quality of chimney draw cannot be determined • Dataplate not found

Heat exchanger: • Not visible

Not included as part of a building inspection: • Heating ducts that are concealed behind walls, ceilings and floors cannot be inspected. • Heat exchangers • Interiors of vent systems, flues, and chimneys • Safety Devices • Humidifiers and dehumidifiers • Electronic air cleaners are not inspected • Heat loss calculations are not performed

Observations and Recommendations

FIREPLACE \ General notes

13. Condition: • A home inspection does not include a WETT (Wood Energy Technology Transfer) Inspection of wood burning fire places and stoves

Location: Wood Fire Place

Task: Get an expert opinion from a qualified contractor

Time: Priority 5 Action recommended at the home owners discretion

COOLING & HEAT PUMP

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Building System Descriptions

General:

- Example Cooling system photos



36. Cooling system photos

37. Cooling system photos

- See Home Reference Library e Book at the end of this report for more general information about Cooling Systems

Air conditioning type: • Central air by the furnace forced air system

Manufacturer: • Goodman

Cooling capacity: • [30,000 BTU/hr](#) • [2.5 Tons](#)

Compressor type: • Electric

Compressor approximate age: • 19 years

Typical life expectancy: • 15 to 20 years

Supply temperature: • 12°C

Condensate system: • Discharge into waste plumbing

Inspection Methods and Limitations

Not included as part of a building inspection: • Indoor Evaporator Coil • Cooling system adequacy and distribution balance. • Heat Gain/Loss Calculations

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Observations and Recommendations

AIR CONDITIONING \ Life expectancy

14. Condition: • [Near end of life expectancy](#)

Implication(s): Equipment failure | Reduced comfort

Location: Air Conditioner

Task: Get an expert opinion from a qualified and licensed contractor,

Time: Priority 4 Action is recommended at the home owners discretion



38. *Near end of life expectancy*

Building System Descriptions

General:

- Example Insulation photos



39. Attic insulation photos



40. Attic insulation photos



41. Attic insulation photos



42. Attic insulation photos

- See Home Reference Library e Book at the end of this report for more general information about Insulation Systems

Attic/roof insulation material: • Glass fiber blown in • Vermiculite

Attic/roof insulation amount/value: • [R-40](#)

Attic/roof air/vapor barrier: • [Plastic](#)

Attic/roof ventilation: • [Roof vent](#) • [Gable vent](#)

Wall insulation material: • [Glass fiber](#)

Wall insulation amount/value: • [R-12](#)

INSULATION AND VENTILATION

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Wall air/vapor barrier: • Plastic

Foundation wall insulation material: • [Glass fiber](#)

Foundation wall insulation amount/value: • [R-12](#)

Foundation wall air/vapor barrier: • Plastic

Inspection Methods and Limitations

Attic inspection performed: • From access hatch

Roof ventilation system performance: • Not evaluated

Air/vapor barrier system: • Continuity not verified

Mechanical ventilation effectiveness: • Not verified

Not included as part of a building inspection: • Insulation cannot be disturbed • The amount and energy efficiency of Insulation, or vapor barriers that are hidden behind walls, ceilings and floors can not be determined in a home inspection. • The Inspection can give no opinion to the energy efficiency of the insulation systems in the home.

Observations and Recommendations

ATTIC/ROOF \ Insulation

15. Condition: • [This Insulation material may be Vermiculite. It may contain Asbestos.](#)

Vermiculite insulation should not be disturbed. This is a condition that is typical for homes of this age.

Implication(s): Environmental contamination

Location: Through out Attic

Task: Get a expert opinion from a qualified contractor

Time: Priority 4 Action recommended at the home owners discretion



43. *This Insulation material may be Vermiculite*

16. Condition: • Possible gaps or voids

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Implication(s): Increased heating and cooling costs | Reduced comfort

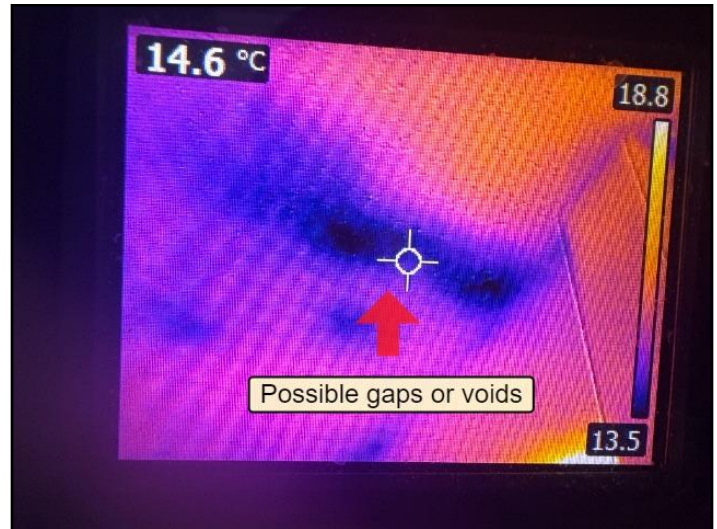
Location: Main floor en-suite

Task: Monitor the condition

Time: Priority 5 Action recommended at the home owners discretion



44. Possible gaps or voids



45. Possible gaps or voids

ATTIC/ROOF \ Hatch/Door

17. Condition: • Not insulated and weather stripped

Implication(s): Increased heating and cooling costs | Reduced comfort | Chance of condensation damage to finishes and/or structure

Location: Attic hatch

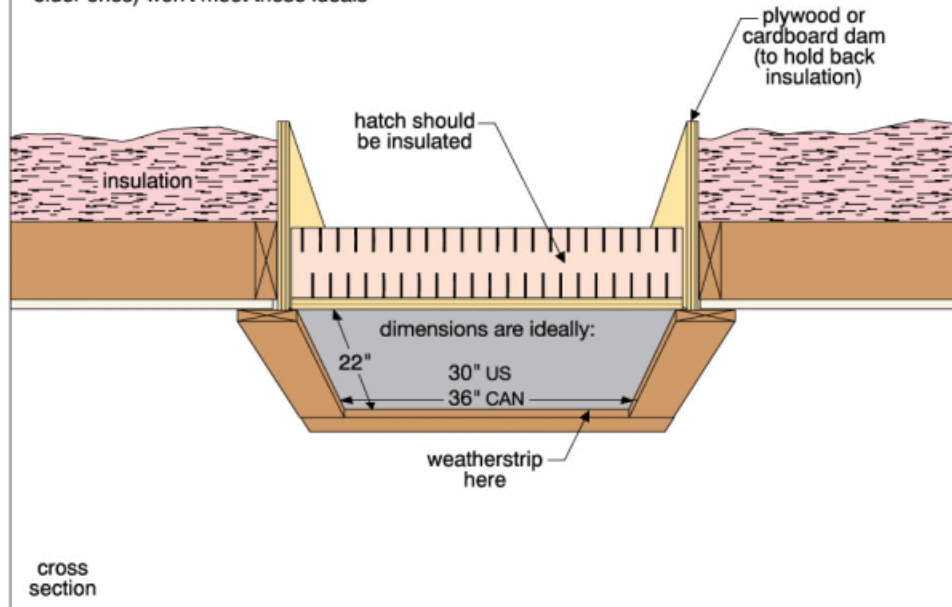
Task: Improve by a qualified tradesman

Time: Priority 3 Action recommended at the home owners discretion

Attic access hatch

the illustration shows a good attic access hatch design

hatches in many houses (especially older ones) won't meet these ideals



46. Not insulated and weather stripped

VENTILATION \ General notes

18. Condition: • Attic Insulation, vapor seal and ventilation suspect

Condensation and water stains from "Attic Rain" where found in the attic.

Recommend improving the attic insulation and improving the ceiling vapor seal at large penetrations like the attic hatch, exhaust fans and pot lights to prevent warm air escaping from the home into the attic.

Recommend increasing the attic ventilation to quickly remove moisture from the attic.

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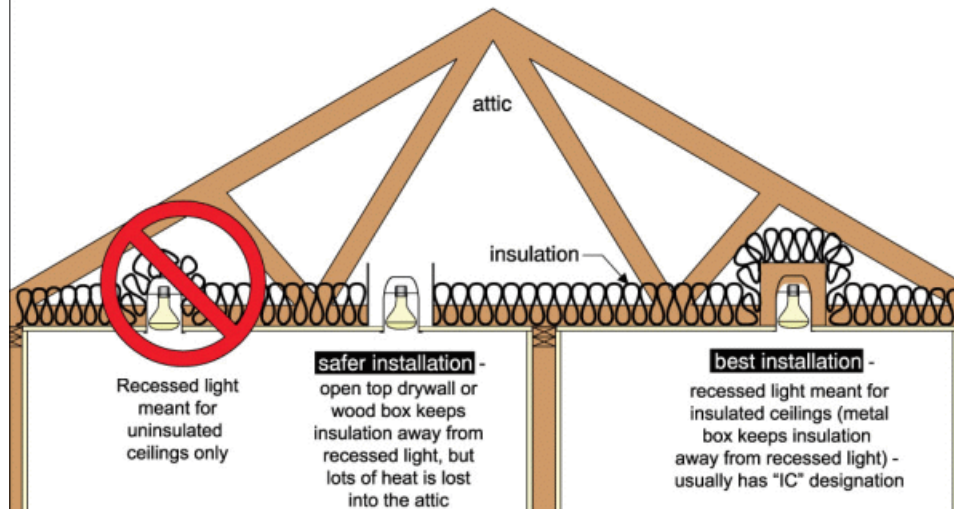
Implication(s): Chance of condensation damage to finishes and/or structure | Reduced life expectancy of shingles

Location: Throughout Attic

Task: Improve by qualified contractor,

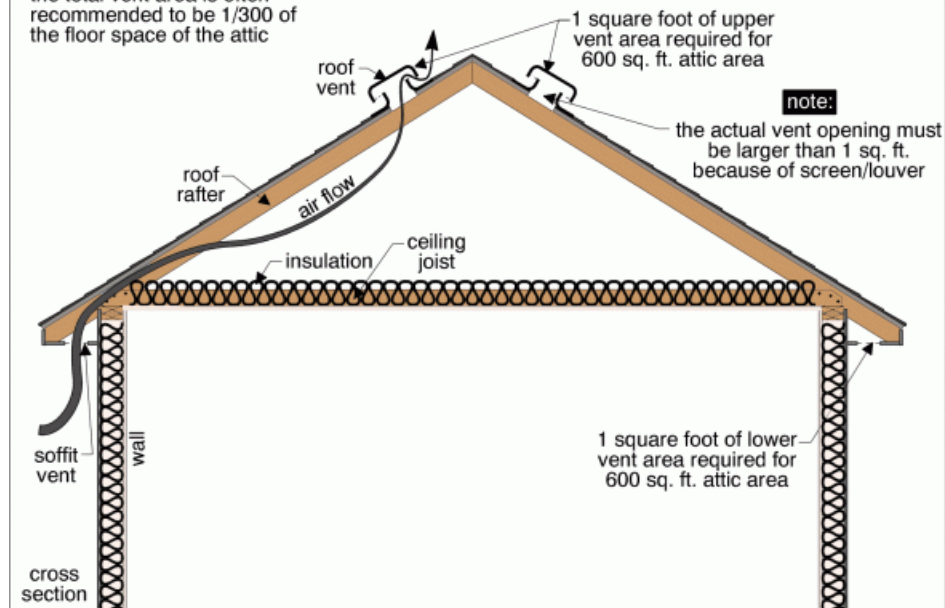
Time: Priority 3 Action recommended as soon as practical

Recessed lights in insulated ceilings



Recommended amount of attic ventilation

the total vent area is often recommended to be 1/300 of the floor space of the attic



INSULATION AND VENTILATION

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47. Suspected condensation in attic



48. Suspected condensation in attic

Building System Descriptions

General:

- Example Plumbing system photos



49. Example Plumbing system photos



50. Example Plumbing system photos



51. Example Plumbing system photos



52. Example Plumbing system photos



53. Example Plumbing system photos

- **CLEAN OUT MAIN SEWER LINE** - Main sewer lines can become clogged with roots, kitchen grease & other waste . A clogged sewer line can lead to drains backing up flooding the home with water or sewage from the floor drain. This can cause water damage or sewage contamination to finishes and contents. It is recommended that you have the main sewer line of the home cleaned out by a qualified contractor prior to occupying the home.
- See Home Reference Library e Book at the end of this report for more general information about Plumbing Systems

Service piping into building: • [Copper](#)

Supply piping in building: • [Copper](#) • Polybutylene (PB)

Main water shut off valve at the: • Basement • Basement under the stairs

Water flow and pressure: • [Typical for neighborhood](#) • [Functional](#)

Water heater type: • [Conventional](#)

Water heater location: • Basement • Utility room

Water heater fuel/energy source: • [Gas](#)

Water heater exhaust venting method and type: • Natural draft - galvanized steel

Water heater manufacturer: • Giant

Water heater tank capacity: • [40 gallons](#)

Water heater approximate age:

- 3 years
- Year of manufacture
2021

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Water heater typical life expectancy: • 8 to 12 years

Hot water temperature (Generally accepted safe temp. is 50 deg C): • 53°C

Waste and vent piping in building: • [ABS plastic](#) • [Copper](#)

Sewer cleanout location: • Basement • Utility room

Sump Pumps: • None noted

Floor drain location: • Near water heater • Basement utility room

Gas meter location: • Exterior rear

Gas piping material: • Steel

Main gas shut off valve location: • Gas meter outside

Main sewer lines typical life expectancy: • Cast Iron 60 - 70 years • Poly / plastic 80 - 100 years

Backwater valve: • None noted

Exterior hose bibb (outdoor faucet): • Frost free • Exterior hose bibb (outdoor faucet) and lawn service (irrigation) shut off valves. These valves must be closed in winter and the exterior pipes drained to prevent the water from freezing and potentially breaking the pipe inside the house.

Supply water lines typical life expectancy: • Copper 50 - 70 years • Plastic 30 - 50 years

Inspection Methods and Limitations

Not included as part of a building inspection: • The remaining LIFE EXPECTANCY of a HOT WATER TANK cannot be determined in a home inspection. Hot water tanks can be unpredictable and their life expectancy can be affected by factors such as the maintained water temperature of the tank, the hardness or softness of the water, and the frequency of the use. • The MAIN WATER SHUT OFF VALVE, and any other water isolation valves can not be operated during a home inspection. • Plumbing supply and waste piping that are concealed behind walls, ceilings and floors cannot be inspected • The PROBABILITY of a SEWER LINE BACK UP can not be determined in a Home Inspection. A Home Inspection does NOT include scoping of any of the homes waste pipes or sewer lines. • The performance of floor drains or clothes washing machine drains • Tub/sink overflows • Water heater relief/safety valves • Dishwasher connections • Washing machine connections • Humidifier water connections • Fridge ice machine connections • Water treatment/conditioning systems • Hot tubs/pools • Landscape irrigation systems • Water features are not included as part of a home inspection

Observations and Recommendations

SUPPLY PLUMBING \ Water supply piping in building

19. Condition: • Polybutylene (PB) supply water plumbing pipe has been found in the home. This piping has a history of a significantly high rate of failure. There have been instances in the past when this kind of pipe has ruptured or the connectors have failed. This pipe is no longer used in residential plumbing applications for this reason.

Implication(s): Chance of water damage to structure, finishes and contents | Leakage

Location: Throughout the home

Task: Get an expert opinion from a qualified contractor

Time: Priority 3 Action recommended as soon as practical

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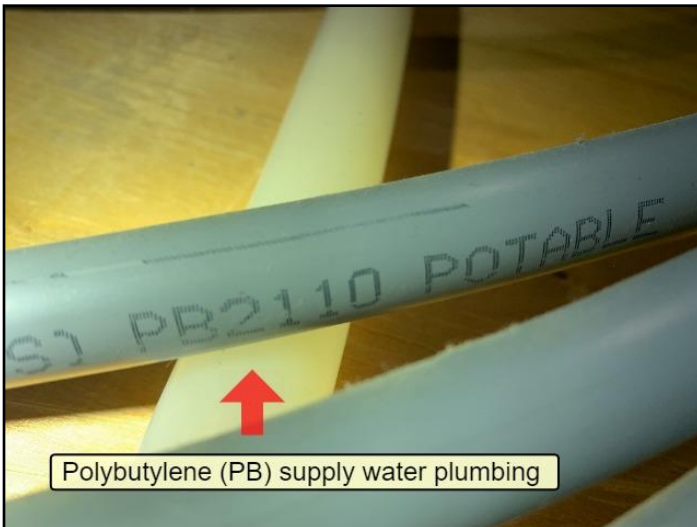
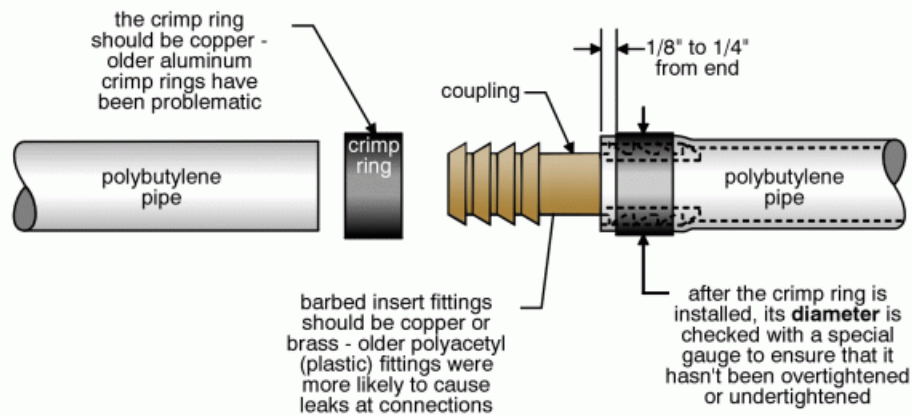
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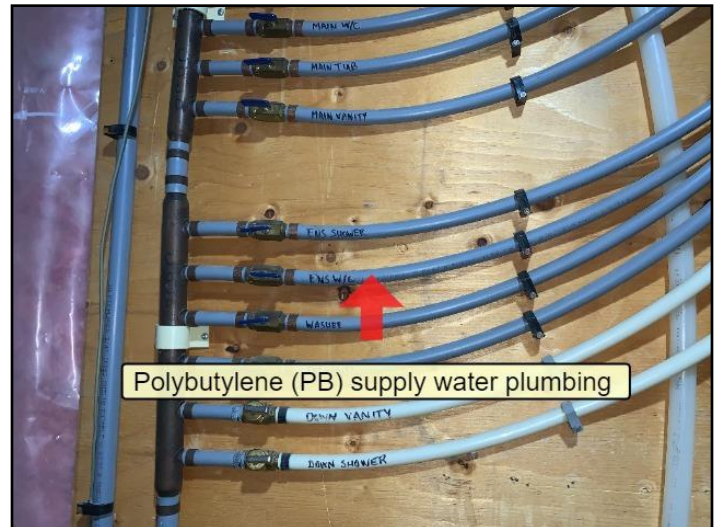
SUMMARY B

REFERENCE

Polybutylene pipe - crimp fitting



54. Polybutylene (PB) supply water plumbing



55. Polybutylene (PB) supply water plumbing

WASTE PLUMBING \ Venting system

20. Condition: • Plumbing vent is too short

Implication(s): Leaves & debris could easily clog the vent | Ineffective waste plumbing drainage | Poor drain siphoning | Sewer gasses to enter the living space

Location: North Roof

Task: Improve by a qualified contractor

Time: Priority 3 Action is recommended as soon as practical

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56. Plumbing vent is too short

FIXTURES AND FAUCETS \ Toilet

21. Condition: • Leak

Moisture detected around toilet, Possible wax seal leak

Implication(s): Chance of water damage to contents, finishes and/or structure | sewage entering the building

Location: Main floor bathroom

Task: Repair by a qualified contractor,

Time: Priority 2 Action is recommended as soon as practical



57. Moisture detected around toilet,



58. Moisture detected around toilet,

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Building System Descriptions

General: • DRYER VENT CLEANING - Dryer vents can become clogged with lint build up, a clogged dryer vent can cause moist dryer air to enter the home, cause poor dryer performance and be a fire hazard. It is recommended that you clean out the dryer vent prior to occupying the home. • Minor wall and ceiling cracks are typically found in most homes and are not a cause for concern • See Home Reference Library e Book at the end of this report for more general information about Interior Systems

Major floor finishes: • [Carpet](#) • [Resilient](#) • Tile • Vinyl

Major wall finishes: • Drywall/plaster

Major ceiling finishes: • Drywall/plaster • Stipple/texture

Windows: • Aluminum sliders • Vinyl sliders • Wood fixed

Glazing: • [Double](#)

Exterior doors - type/material: • Hinged • Metal-clad • [Wood](#)

Oven fuel: • Electricity

Cooktop fuel: • Electricity

Appliances: • Refrigerator • Microwave oven • Dishwasher • Waste disposal • Stove

Laundry room ventilation: • Clothes dryer vented to exterior

Inspection Methods and Limitations

Inspection limited/prevented by: • Storage/furnishings

Not included as part of a building inspection: • THE PROBABILITY THAT A WINDOW WILL LEAK cannot be determined in a home inspection. Any Window new or old may leak during the proper weather conditions such as wind driven rain. Condensation can occur on any window given the right conditions such as poor ventilation. Both leaking and condensation can lead to moisture cumulating in the trim and walls around the window. A home Inspection cannot determine the presence of hidden water damage. • A home inspection does not include comments on window coatings, treatments, seals between panes of glass, window coverings or blinds • The cause of interior DRYWALL CRACKS cannot be determined in a home inspection. Cracks may be superficial or may indicate a potential problem that is beyond the scope of the home inspection.

Cosmetics: • A home inspection does not include comments on the condition or quality of wall and ceiling finishes, floor coverings and aesthetics.

Appliances: • Appliances tested - Stoves, ranges, cook tops, microwaves, dishwashers and garbage disposals • APPLIANCES NOT TESTED - Washing machines, dryers, refrigerators, refrigerator ice machines, freezers, trash compactors, central vacuums, accessibility equipment, saunas, hot tubs • Appliances are not moved during a home inspection • Effectiveness of dishwasher cycles and self-cleaning features on ovens are not tested

Basement leakage: • The inspection cannot predict how often or how badly basement will leak, any basement can leak during the proper weather conditions, such as heavy rain. It is strongly recommended that all down spouts discharge 6' from the building.

Environmental issues are outside the scope of a home inspection: • The inspection does not include TESTING FOR visible or concealed MOULD • The inspection does not include AIR QUALITY TESTING or determine the presence of

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mould spores, radon, contaminants or toxic materials that may be suspected of posing a risk to health. • The inspection does not include TESTING FOR visible or concealed ASBESTOS materials. Many common construction materials may contain Asbestos.

Observations and Recommendations

CEILINGS, WALLS AND FLOORS \ General notes

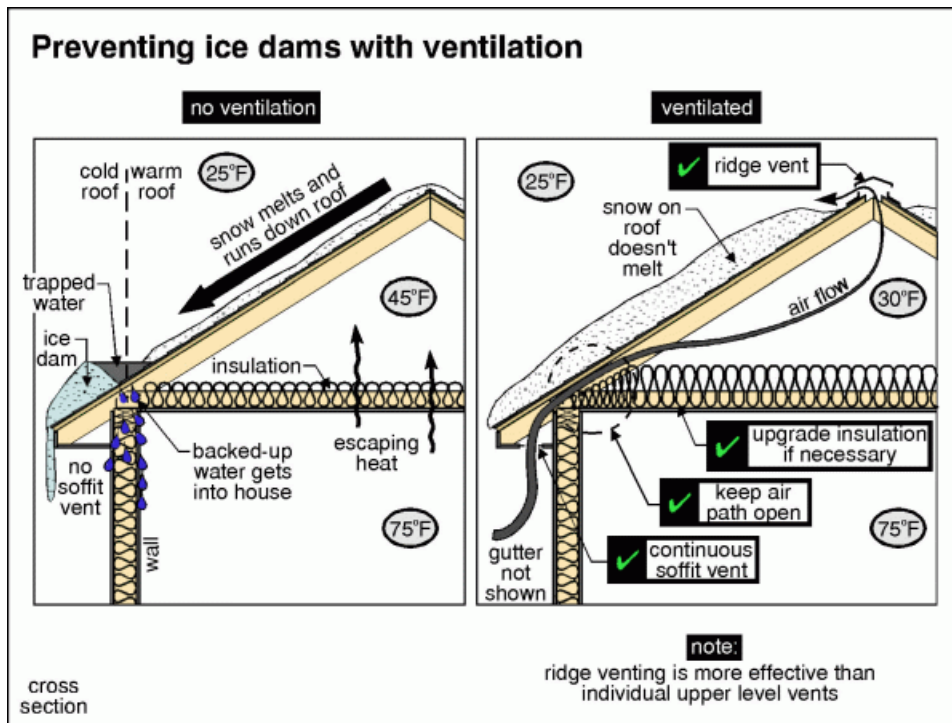
22. Condition: • Staining or discoloration possible ice damming

Implication(s): Material deterioration | Chance of water damage to structure

Location: Main floor bedroom North

Task: Improve by a qualified contractor

Time: Priority 53Action recommended at the home owners discretion



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Blocked soffit vents



Staining or discoloration

59. Blocked soffit vents

60. Staining or discoloration

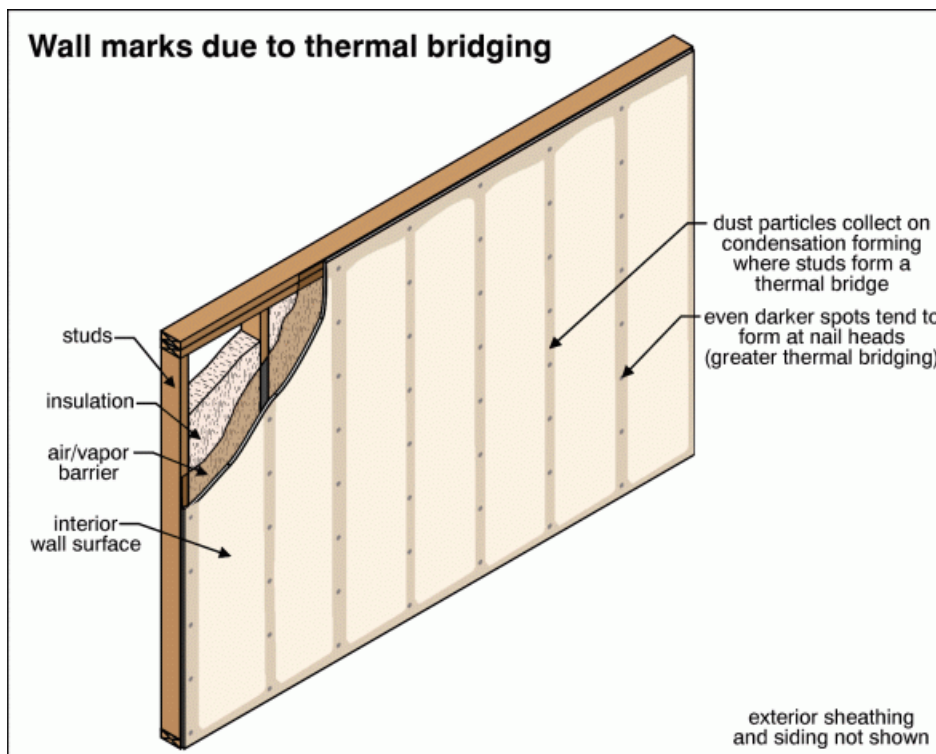
23. Condition: • [The Ghosting Effect is caused by warm moist air from the home leaking through the drywall in areas of poor insulation at the studs and rafters.](#) This thermal bridging causes condensation as the warm moist meets the cold outside air. As it condenses it leaves behind air contaminants, smoke and dust that causes the staining.

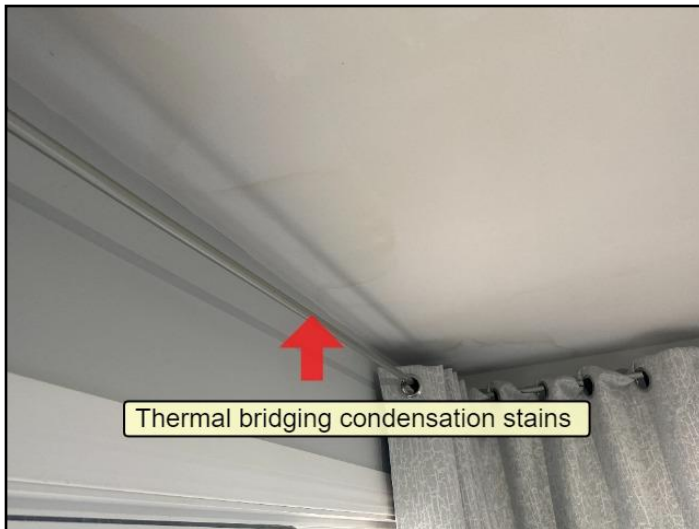
Implication(s): Material deterioration

Location: Main floor bedroom

Task: Monitor the condition

Time: Priority 4 Action recommended at the home owners discretion





61. Thermal bridging



62. Thermal imaging of the area

WINDOWS \ General notes

24. Condition: • Moisture detected around window

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Main floor North and middle bedrooms

Task: Repair by a qualified contractor,

Time: Priority 2 Action is recommended as soon as practical



63. Moisture detected around window



64. Moisture detected around window



65. Moisture detected around window



66. Moisture detected around window

WINDOWS \ Means of egress/escape

25. Condition: • Restricted emergency exit

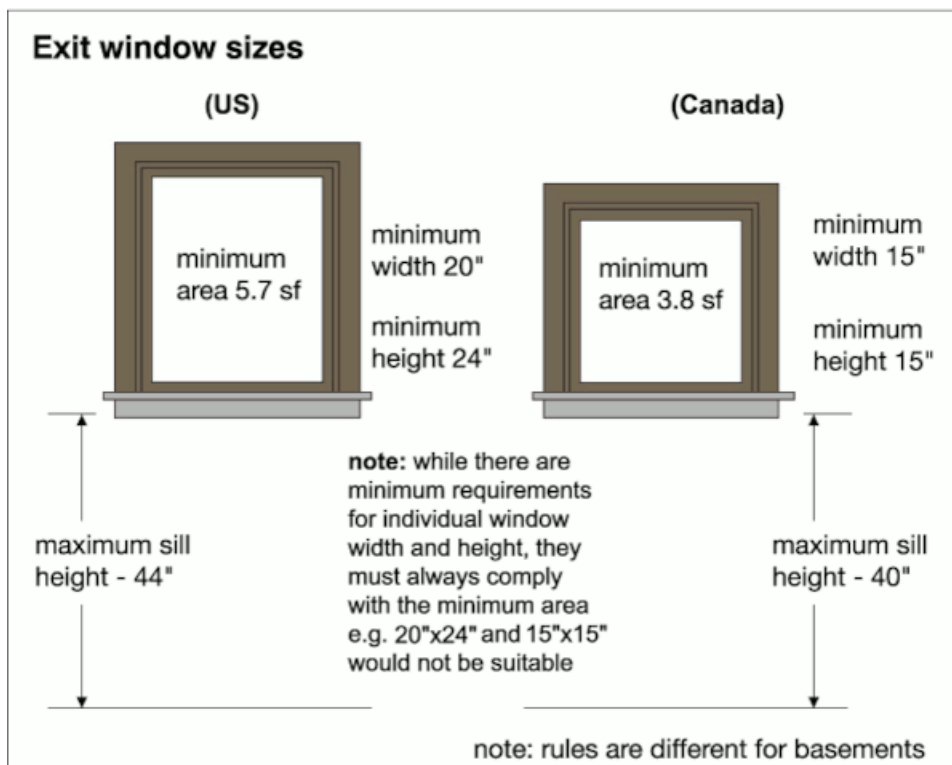
This condition is typical for homes of this age

Implication(s): Restricted emergency exits

Location: Basement bed room

Task: Provide new by a qualified contractor

Time: Priority 5 Action recommended at the home owners discretion





67. Restricted emergency exit

EXHAUST FANS \ General notes

26. Condition: • Inadequate air movement

Implication(s): Chance of condensation damage to finishes and/or structure

Location: Main floor bathroom

Task: Replace by a qualified contractor,

Time: Priority 3 Action recommended as soon as practical



68. Inadequate air movement

EXHAUST FANS \ Kitchen range exhaust system (range hood)

27. Condition: • Range hood not vented to exterior

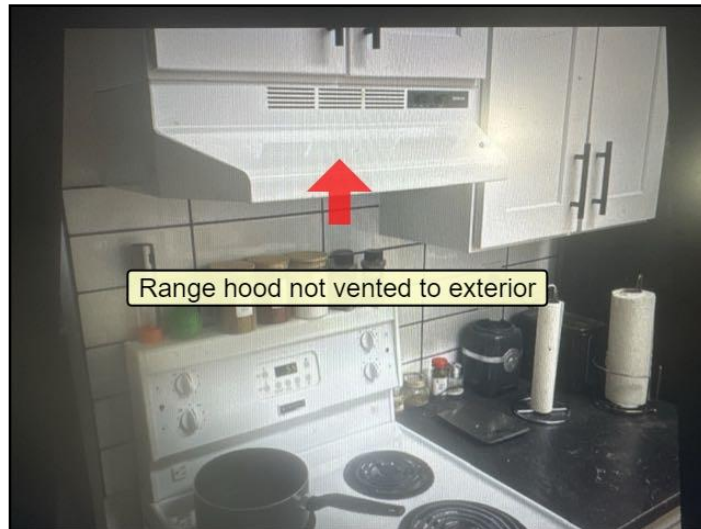
This condition is typical for homes of this age

Implication(s): Chance of condensation damage to finishes and/or structure

Location: Kitchen cook top

Task: Provide new by a qualified contractor

Time: Priority 3 Action is recommended as soon as practical



69. Range hood not vented to exterior

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Observations and Recommendations

RADON \ Radon Testing

28. Condition: • Once you own the home, it is recommended that a long term 3-12 month Radon test be preformed
What is Radon? Why Test for Radon?

Radon is a naturally occurring radioactive gas that is formed by the breakdown of uranium in soil, rock, and water. It cannot be detected by the senses. You cannot see it, smell it, or taste it. However, it can be detected easily with radon measurement devices.

When radon enters an enclosed space, such as a home, it can accumulate to high concentrations and become a health concern. Radon can enter a home any place it finds an opening where the house contacts the soil: cracks in foundations and floor slabs, gaps around service pipes, floor drains, and sumps.

Radon levels in homes can vary significantly over time and from season to season. Levels are higher during winter months when houses are sealed up. A long-term measurement period, 3 to 12 months, is required to give an accurate indication of the annual average radon concentration in a home. During this type of measurement there are no requirements for the occupants to change their lifestyle once the measurement devices have been put in place.

Every home needs to be tested for Radon. In fact, 7% of homes in Canada have high Radon levels and Radon is the 2nd leading cause of lung cancer after smoking contributing to 16% of lung cancers. The only way to accurately know how much Radon is in your home is to have it measured and interpreted by a Radon Measurement Professional which Health Canada refers to.

While the health risk from Radon exposure below the Canadian Guideline is small, there is no safe level of Radon. It is the choice of each homeowner to decide what level of Radon exposure they are willing to accept. Health Canada recommends remedial action if the average Radon testing results are greater than 200 Bq/m3 during a minimum 90-day test in the heating season.

Implication(s): Health Hazard

Location: Throughout the home

Task: Have your homes Radon Levels tested by Hat Property Inspections - Radon Measurement Professional

Time: The duration of Radon testing excludes it from the home purchase transaction. This is not a deficiency, this is a recommended safety improvement once you own the home, Action recommended at the home owners discretion

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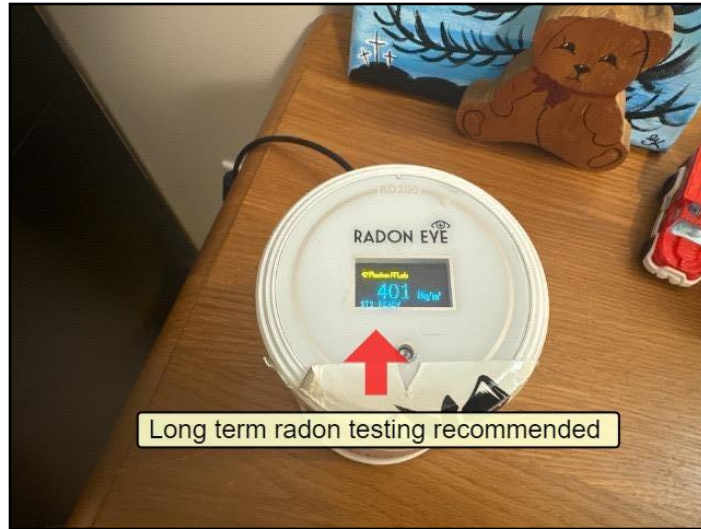
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70. Long term radon testing recommended

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GENERAL \ Information

29. Condition: • VALUE ADDED REPORT FEATURES

ADDITIONAL INFORMATION

Some items in your inspection report contain a link to additional information about that specific item. Simply click on the UNDERLINED BLUE LETTERED WORDING throughout the report to open up printable supplemental information.

HOME REFERENCE LIBRARY

The printable 460 page HOME REFERENCE LIBRARY e book is located at the end of the report, simply click on the colored arrows to access valuable information about each of the homes systems, and the home set-up & maintenance program to help you operate and maintain your home effectively. The Home Reference Library e book is in addition to the links attached to specific items in the report.

ACTION LIST CREATION TOOL

To help you with your purchase decision there is a link in the body of the report delivery Email to the ACTION LIST CREATION TOOL. This is a 2nd version of the Inspection report that only contains the conditions and deficiencies with none of the home system descriptions.

It is an interactive tool that you and your Real Estate Professional can use to list each of the conditions and deficiencies that you would like the seller to address. Simply click the link in the body of the Email and you will be taken to a separate page where all the information and pictures of every condition and deficiency in the report are listed. The link is unique to your inspection report and completely interactive.

Here you can quickly draft your list:

- Select items to add to the list, edit the text - add, remove or edit anything
- Select actions and add \$ cost amounts to each
- Preview any time and publish to PDF when finished and send to the seller.

You can also use the action list once you own the home, as an interactive home upgrade project list, to keep track of any repairs or improvements required. The action list creation tool is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete INSPECTION REPORT document.

HomeBINDER SUBSCRIPTION

As part of my service, you will receive a FREE PREMIUM LIFETIME SUBSCRIPTION to HomeBINDER. This convenient private and secure cloud based application helps you maintain and manage your largest investment. HomeBinder will help you with;

- Home Maintenance Reminder Email Alerts.
- Automated Recall Alerts for all your Major Appliances, Furnace & Water Heater.
- Document & Photo Storage - your Home Inspection is automatically stored here and you can create a home inventory for fire or theft and store all your home-related documents in one place.
- Home Renovation Project Management Tools to plan & track projects.

SUMMARY B

123 ABC Street, Medicine Hat, AB January 4, 2021

Report No. 1097

www.hatpropertyinspections.ca

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And Much More!

THERMAL IMAGING DISCLAIMER

The Thermal Imaging Technology used by Hat Property Inspections during your home inspection is for the purpose of enhancing the visual inspection only. I am not a certified thermal / infrared thermography technician, and the home inspection report does not include a thermal imaging report.

Any thermal imaging photos that are included in the report are done so as a courtesy and are for your general information purposes only. Thermal Imaging is totally reliant on temperature differences, it can not detect water leakage, damage to concealed components, or problems with insulation & construction components. Thermal Imaging is not x-ray vision.

END OF REPORT

REFERENCE LIBRARY

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The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS