



YOUR INSPECTION REPORT

Inspection, Education, Knowledge. Since 2006.

PREPARED BY:
ADAM HANNAN



FOR THE PROPERTY AT:

135 Giltspur Drive
Toronto, ON M3L 1M4

PREPARED FOR:
GILLIAN RITCHIE

INSPECTION DATE:
Tuesday, October 14, 2025

TIP

THE
INSPECTION
PROFESSIONALS

THE INSPECTION PROFESSIONALS, INC.
3120 Rutherford Rd.
Concord, ON L4K 0B2

416-725-5568
HST# 89249 4501 RT0001

www.inspectionpros.ca
adam@inspectionpros.ca



TIP

THE
INSPECTION
PROFESSIONALS

October 15, 2025

Dear Gillian Ritchie,

RE: Report No. 8666, v.2
135 Giltspur Drive
Toronto, ON
M3L 1M4

Thank you for choosing The Inspection Professionals to perform your Property Inspection. You can navigate the report by clicking the tabs at the top of each page. The Reference tab includes a 500-page Reference Library.

The Inspection Professionals (TIP) is a certified multi-inspector award-winning company founded by Adam Hannan. Since 2006, Adam has performed thousands of residential and commercial inspections and has become a respected expert in his field. Adam has a passion for education and has been an inspection instructor teaching at Community Colleges and Universities since 2009.

Adam is a Certified Master Inspector and member of the International Association of Certified Home Inspectors (CPI # NACHI07020704)

"We inspect every home as if we were buying it for ourselves. We care about our clients and we strive to exceed expectations. We offer a professional unbiased opinion of the current performance of the home regardless of who we are working for."

-Adam

BUYERS -

An Onsite Review is an essential component to a complete home inspection. In order to more thoroughly familiarize yourself with the property and our findings, please book an Onsite Review at your convenience by calling (416) 725-5568. Once we have completed the Onsite Review, we will transfer the inspection report to the buyer. The fee for this service is only \$295. A full phone report review is also available.

Sincerely,

ADAM HANNAN
on behalf of
THE INSPECTION PROFESSIONALS, INC.

THE INSPECTION PROFESSIONALS,
INC.
3120 Rutherford Rd.
Concord, ON L4K 0B2
416-725-5568
HST# 89249 4501 RT0001
www.inspectionpros.ca
adam@inspectionpros.ca

SUMMARY

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

This 1958 solid masonry semi-detached home with a rear addition clad in EIFS stucco is in average condition overall compared to homes of similar age and style.

The sloped roof covering over the main home is approximately 5 years old and in good condition overall. The majority of windows were replaced in 2013 with double-glazed units.

As is typical for homes of this age, there is a mix of newer and older systems and components.

IMPORTANT NOTES ABOUT THIS REPORT

This summary outlines some of the potentially significant issues that may require short-term attention due to cost, safety, or performance concerns. This section is provided as a courtesy only and is not a substitute for reading the entire report. Please review the full report in detail.

It is not possible for a home inspector to predict the future. We recommend budgeting between 0.5% to 1% of the home's value annually for unforeseen repairs and maintenance. This applies to any property you may consider.

Things will wear out, break down, and fail without warning. This is a normal part of home ownership.

This inspection was performed in accordance with the most recent CAHPI Standards of Practice.

NOTE: ALL ELECTRICAL ISSUES ARE CONSIDERED PRIORITY ITEMS.

NOTE: THE TERM 'MINOR' GENERALLY REFERS TO COSTS UNDER \$1000.

NOTE: FOR DIRECTIONAL PURPOSES, "FRONT" OF HOUSE IS REFERENCED AS FACING THE FRONT DOOR FROM THE OUTSIDE.

During a home inspection, we evaluate all visible systems and components. Hundreds of potential minor issues exist in every home old or new. This inspection is not a technical audit. (A technical audit can be performed at an additional cost.)

The focus of this inspection was to identify major issues with major systems and components.

For clarity, major issues generally fall into four categories:

- 1) OBSERVABLE STRUCTURAL DEFECTS
- 2) OBSERVABLE WATER LEAKAGE OR DAMAGE -- Roofing, Plumbing, and Basement.
- 3) OBSERVABLE ELECTRICAL DEFECTS
- 4) LIFESPAN SYSTEMS -- Roof Covering, Heating, Cooling, Windows

Disclaimer / Note to prospective buyers: This inspection report was performed for our client(s) named on this report. No liability is assumed for third parties reviewing this report. An onsite review must be arranged if you are a buyer, including signature on our inspection agreement. By relying on this report without our onsite review, you agree to waive all rights.

For approximate cost guidance on common home components, click here:

<http://www.inspectionlibrary.com/costs.htm>

SUMMARY

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

Roofing

FLAT ROOFING \ Modified bitumen

Condition: • Aging

Location: Flat roof

Task: Inspect annually and replace when necessary

Time: Consult roofing specialist for timeline

Cost: Major when time to replace.

Exterior

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

Condition: • [Missing](#)

A door opens directly onto a flat roof with no guardrails or protective barriers. To reduce the fall hazard, either:

1. Install a guardrail at the door to prevent access to the roof, or
2. Provide guards and spindles around the roof perimeter if it is intended as a walkable space.

Implication(s): Fall hazard

Location: Exterior flat roof

Task: Install guards at door or at flat roof

Time: As soon as possible

Cost: Depends on approach

Electrical

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

Condition: • [Poor location](#)

The electrical panel is located in a bathroom with a shower, which is typically not permitted due to the risk of moisture exposure. Moisture and condensation can lead to corrosion, electrical faults, and potential fire hazards. Special provisions or exemptions may be required, and consultation with a licensed electrician is strongly recommended to assess compliance and determine corrective measures. Relocation may be necessary.

Implication(s): Difficult to service

Location: Basement Bathroom

Task: Further evaluation / Correct

Time: As Soon As Possible

Cost: Consult specialist

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • Ungrounded Wiring - We noted ungrounded outlets in some areas of the home. This is typical for homes of this era, as conductors did not include a ground wire. For occupant safety, it is recommended to upgrade ungrounded circuits with GFCI protection. For electronic equipment such as computers, true grounding is recommended. Additionally, consult with your insurance company for their requirements regarding ungrounded wiring.

Implication(s): Shock Hazard

Location: Various

SUMMARY

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

Task: Provide GFCI outlets or GFCI breakers for these areas

Time: As soon as possible

Cooling & Heat Pump

AIR CONDITIONING \ Life expectancy

Condition: • [Near end of life expectancy](#)

Typical Life Expectancy for this type of unit is 10-15 years but can often last longer with regular servicing. The current unit is 10 years old.

Implication(s): Equipment failure | Reduced comfort

Location: Exterior

Task: Replace

Time: When necessary / Unpredictable

Cost: \$3,500 - and up

Plumbing

WATER HEATER \ Life expectancy

Condition: • [Near end of life expectancy](#)

Typical life expectancy is 10-15 years. The current unit is 12 years old

Implication(s): No hot water

Location: Basement Water Heater

Task: Replace

Time: When necessary / Unpredictable

Cost: Rental \$35-\$55 monthly. Purchase \$2000 - and up

WATER HEATER - GAS BURNER AND VENTING \ Venting system

Condition: • [Poor connections](#)

Vent is not connected to water heater

Implication(s): Equipment not operating properly | Hazardous combustion products entering home

Location: Basement Water Heater

Task: Correct

Time: As Soon As Possible

Cost: Minor

Condition: • [Spillage or backdraft at the draft hood](#)

Implication(s): Equipment not operating properly | Hazardous combustion products entering home

Location: Basement Water Heater

Task: Further evaluation / Correct

Time: As Soon As Possible

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for

SUMMARY

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a home inspection. These may have to be adjusted based on the findings of specialists.

<http://www.inspectionlibrary.com/wtgw.htm>

ROOFING

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

Descriptions

Sloped roofing material:

- [Asphalt shingles](#)



1. Asphalt shingles



2. Asphalt shingles

Flat roofing material:

- [Modified bitumen membrane](#)



3. Modified bitumen membrane

Approximate age: • Sloped areas over home 4-6 years.

Flat roof at rear is aging.

Typical life expectancy: • 15-25 years

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • All Roofing issues have POTENTIAL worst-case implications such as damage to contents, structure and/or finishes.

RECOMMENDATIONS \ Overview

Condition: • Annual roof tune-ups are recommended to find and repair damage to roofing materials, flashings and caulking. Roof tune-ups reduce the risk of leaks and resulting water damage and help extend the service life of the roof.

ROOFING

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

Location: Exterior Roof

Task: Inspect annually

Time: Ongoing

SLOPED ROOFING \ Asphalt shingles

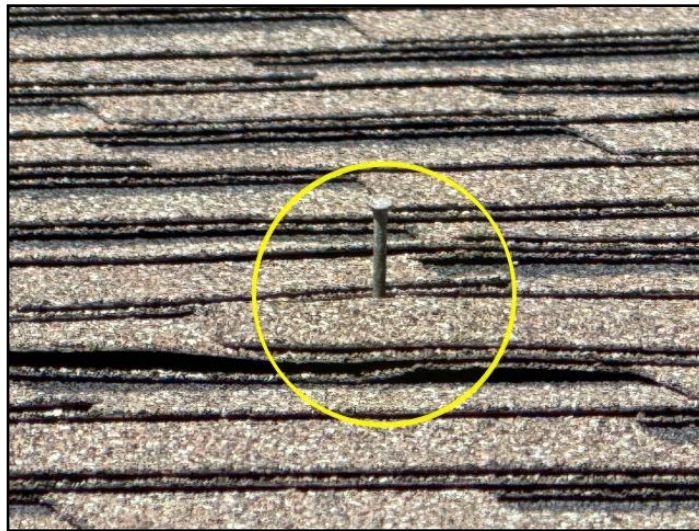
Condition: • [Exposed fasteners](#)

Location: Rear Exterior Sloped Roof

Task: Secure and seal

Time: Less than 1 year

Cost: Minor Regular maintenance item



4. *Exposed fasteners*

SLOPED ROOF FLASHINGS \ Roof vent

Condition: • [Exposed fasteners not sealed](#)

Location: Exterior Roof

Task: Seal

Time: Less than 1 year

Cost: Minor

ROOFING

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE



5. Exposed fasteners not sealed

FLAT ROOFING \ Modified bitumen

Condition: • Aging

Location: Flat roof

Task: Inspect annually and replace when necessary

Time: Consult roofing specialist for timeline

Cost: Major when time to replace.



6. Aging

Condition: • [Blisters](#)

ROOFING

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

Location: Various flat roof

Task: Inspect annually

Time: Ongoing

Condition: • [Ponding](#)

Water ponding on roof. Consult roofing contractor to access low areas and improve flat roof drainage

Location: Exterior flat roof

Task: Evaluate and improve

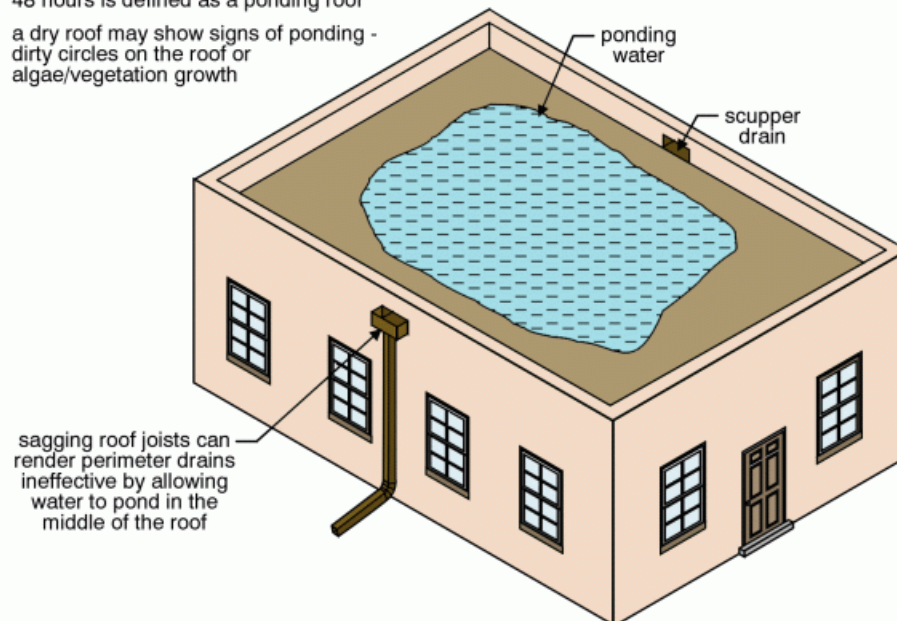
Time: Less than 1 year

Cost: Consult specialist

Ponding on flat roofs

any roof that still has water on it after 48 hours is defined as a ponding roof

a dry roof may show signs of ponding - dirty circles on the roof or algae/vegetation growth



7. Ponding

ROOFING

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

Inspection Methods and Limitations

General and Best Practices: • Most roofs are susceptible to ice damming under the right weather conditions. This is where ice forms at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather • • Roof replacement best practices - Strip Roof Covering when replacing. When replacing a roof covering, it is best practice to remove the old layer before installing the new one. While adding a new layer over the existing roof is sometimes done to reduce costs, it can conceal damaged roof boards, flashings, or other components. Installing a third layer is not recommended. Hidden defects are often only discovered during the tear-off process.

Inspection performed:

- By walking on roof
Flat roof only
- With a drone

Age determined by: • Visual inspection from roof surface • Drone • Roof age estimated using historical imagery (Google Maps) from prior years.

EXTERIOR

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

Descriptions

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout discharge: • [Above grade](#)

Lot slope: • [Away from building](#) • [Towards building](#) • [Flat](#)

Wall surfaces and trim:

• [EIFS \(Exterior Insulation and Finishing System or Synthetic Stucco\)](#)

At rear addition

Wall surfaces - masonry: • [Brick](#)

Carport: • Attached

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • All Exterior issues noted have POTENTIAL worst-case implications such as damage to contents, structure and/or finishes, moisture intrusion, personal safety, shortened life expectancy of materials, and material deterioration

ROOF DRAINAGE \ Downspouts

Condition: • [Connections loose](#)

Implication(s): Leakage

Location: Rear Left Exterior

Task: Repair

Time: Less than 1 year

Cost: Minor



8. Connections loose

EXTERIOR

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

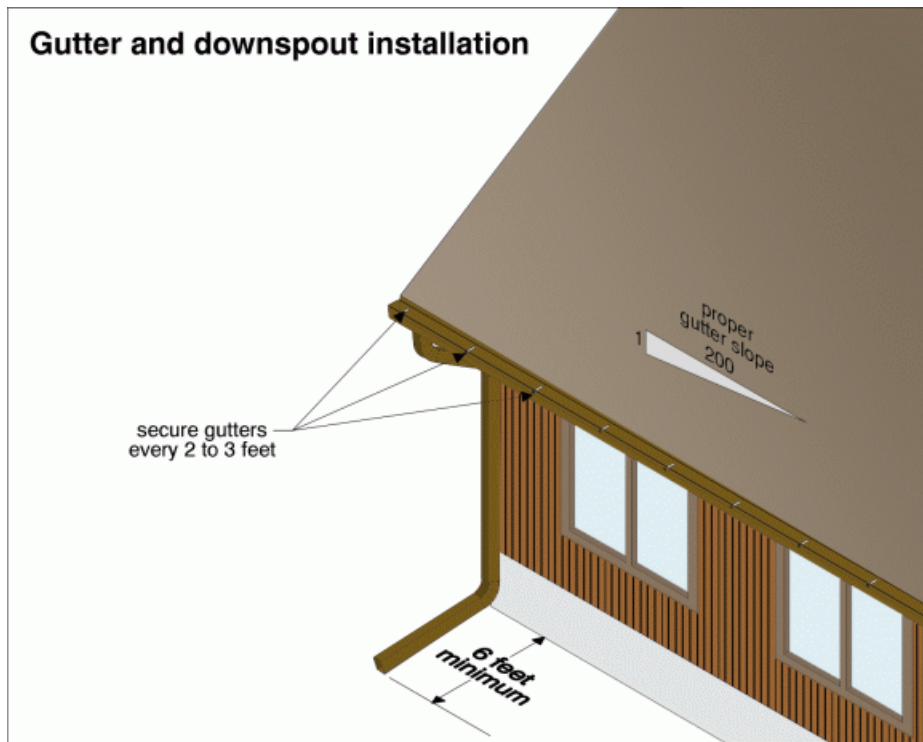
Condition: • [Discharge too close to building](#)

Location: Various Exterior right

Task: Improve

Time: Less than 1 year

Cost: Minor



EXTERIOR

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

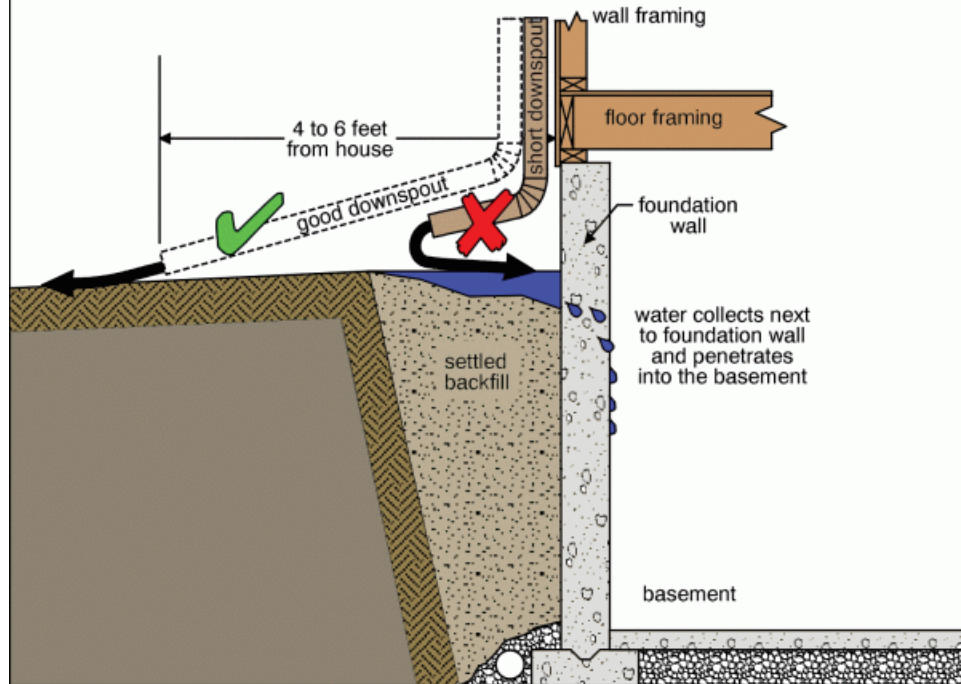
INTERIOR

MORE INFO

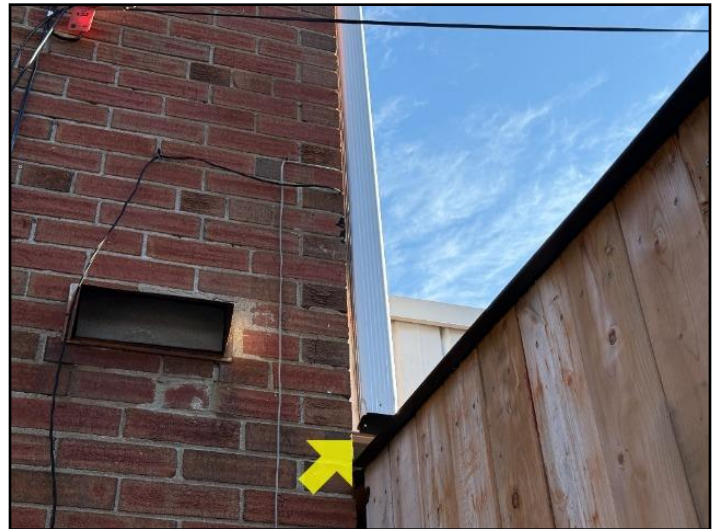
APPENDIX

REFERENCE

Downspout extension too short



9. Discharge too close to building



10. Discharge too close to building

Condition: • [Not well secured](#)

Implication(s): Leakage

Location: Various Exterior

Task: Repair

Time: Less than 1 year

Cost: Minor

EXTERIOR

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

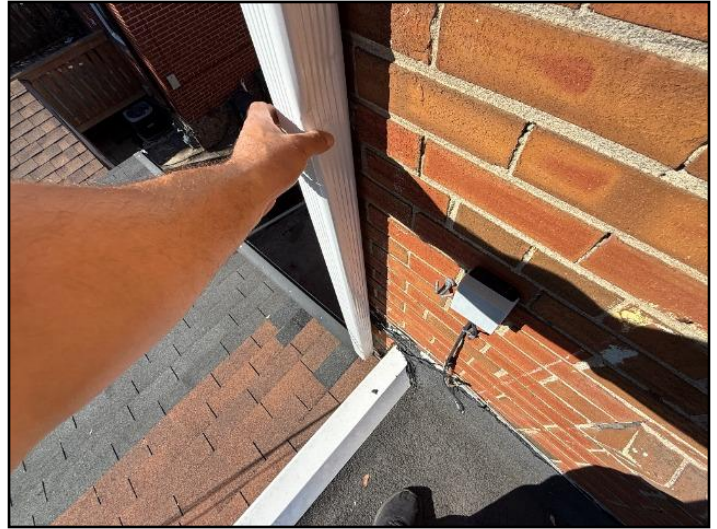
MORE INFO

APPENDIX

REFERENCE



11. Not well secured



12. Not well secured

WALLS \ Flashings and caulking

Condition: • FOR ALL HOMES - Caulking around windows, doors, and wall penetrations should be inspected regularly and improved as needed to prevent moisture entry and air leakage.



13. one example at vent

WALLS \ Masonry (brick, stone) and concrete

Condition: • [Parging damaged or missing](#)

Implication(s): Chance of damage to structure | Shortened life expectancy of material

Location: Various Exterior Wall

Task: Repair

Time: Regular maintenance

EXTERIOR

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE



14. example



15. example

Condition: • FOR ALL HOMES - Most masonry walls have small cracks due to shrinkage or minor settlement. These will not be individually noted in the report, unless leakage, building movement or similar problems are noted

Condition: • Masonry and/or mortar deterioration

Tuckpoint / Repoint mortar and patch/repair spalled masonry. This is typical maintenance for a home of this age.

Location: Various Exterior

Task: Repair

Time: Ongoing Regular maintenance



16. one example

Condition: • Mortar deterioration at window sill control joint

Provide mortar (Repointing, Tuck pointing) at various areas of the exterior window sill control joints. This is routine maintenance for homes of this age.

photos show sampling

EXTERIOR

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

Location: Various Exterior window sills

Task: Repair

Time: Less than 2 years and ongoing

Cost: Regular maintenance



17. Mortar deterioration at window sill control...



18. Mortar deterioration at window sill control...

EXTERIOR GLASS/WINDOWS \ Exterior trim

Condition: • [Sill deteriorated](#)

Masonry deterioration is commonly observed on exterior window sills. Sills typically deteriorate over time.

Implication(s): Material deterioration

Location: Front exterior second floor

Task: Repair / Replace

Time: Less than 1 year

Cost: \$500 and up

EXTERIOR

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE



19. Sill deteriorated

DOORS \ General notes

Condition: • Threshold too low

Having a minimal step makes the inside/outside transition easier. On the other hand, it also makes it more prone to snow buildup/leakage.

While it is probably not practical to improve the current situation, it will be important to keep any weatherstripping/caulking in good condition.

Implication(s): Chance of moisture intrusion

Location: Right side door

Task: Monitor for moisture intrusion / Improve

Time: If/as necessary

EXTERIOR

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE



20. Threshold too low

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General notes

Condition: • A site-built awning structure has been added over the rear steps. The columns appear to be installed directly on top of existing railing balusters, which is not a proper structural support method. While this element falls outside the scope of a standard home inspection, the installation appears improvised and may not meet structural or safety standards.

Location: Rear Exterior

Task: Recommend evaluation and correction by a qualified contractor if continued use is intended



21.



22.

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Skirting

Condition: • [Damage](#)

Location: Front Exterior Staircase

Task: Repair

EXTERIOR

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

Time: Regular maintenance



23. *Damage*

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

Condition: • [Missing](#)

A door opens directly onto a flat roof with no guardrails or protective barriers. To reduce the fall hazard, either:

1. Install a guardrail at the door to prevent access to the roof, or
2. Provide guards and spindles around the roof perimeter if it is intended as a walkable space.

Implication(s): Fall hazard

Location: Exterior flat roof

Task: Install guards at door or at flat roof

Time: As soon as possible

Cost: Depends on approach

EXTERIOR

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

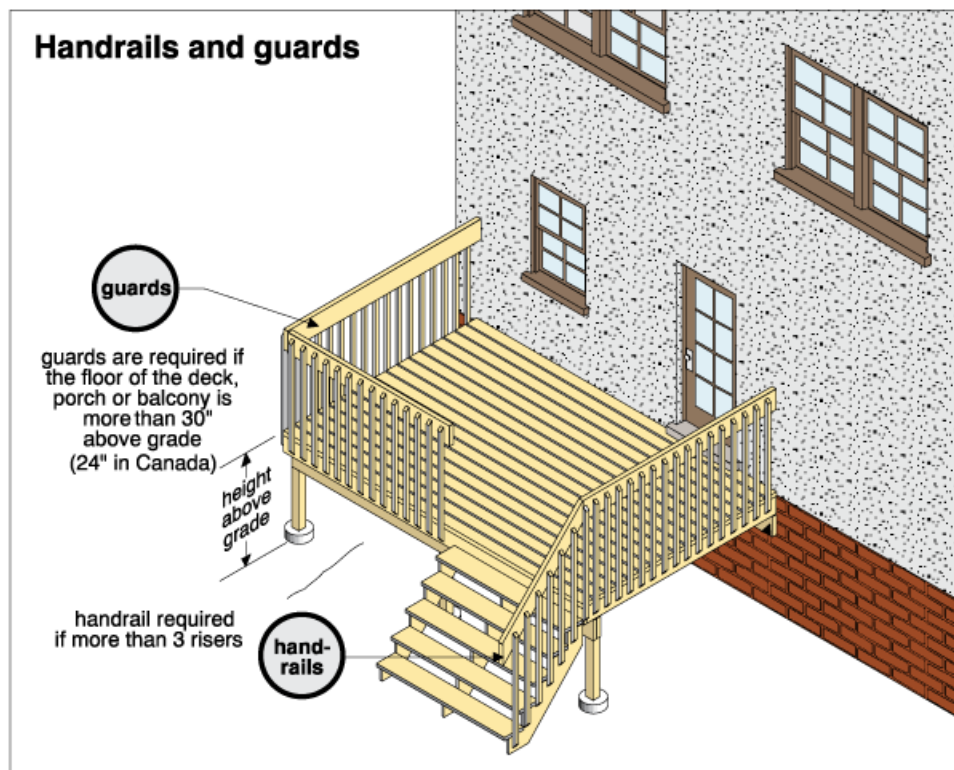
INTERIOR

MORE INFO

APPENDIX

REFERENCE

Handrails and guards



24. Missing

Condition: • [Rust](#)

Implication(s): Fall hazard

Location: Various Exterior Porch and Staircase

Task: Replace

Time: As soon as practical

Cost: Consult specialist

EXTERIOR

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE



25. one example

BASEMENT WALKOUTS \ General notes

Condition: • [Walls cracking, leaning, bowing or spalling](#)

Cracking, damaged parging (and cracking behind parging) observed along the rear foundation wall where it extends outward to form the basement walkout sidewall. Areas of damaged parging expose underlying cracks in the wall surface. The cracking may be related to differential settlement or movement of the walkout wall.

Location: Rear foundation / basement walkout wall

Task: Further evaluate and repair as recommended by a qualified foundation or masonry contractor.

Time: As soon as practical

Cost: Consult specialist



26. Walls cracking



27. Cracked parging and wall behind parging

EXTERIOR

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE



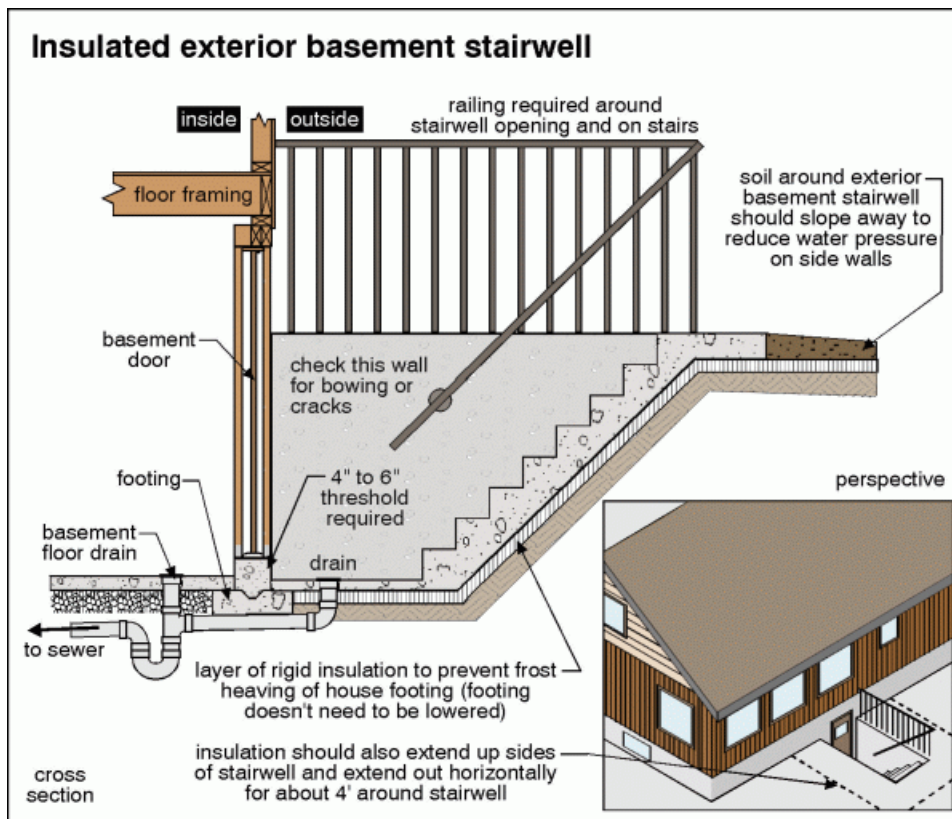
28. Spalling or damaged parging

Condition: • [Guard and handrail problems](#)

Implication(s): Fall hazard

Location: Rear Basement Exterior walkout

Task: Provide Handrails



EXTERIOR

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE



29. Handrail missing

LANDSCAPING \ Lot grading

Condition: • Low Areas.

Fill in low areas and ensure the ground slopes away from the home for at least 6 feet to promote proper drainage. This is a standard maintenance practice for all homes to prevent water accumulation near the foundation

Implication(s): Potential for water intrusion

Location: Exterior front

Task: Correct

Time: Less than 1 year

Cost: Regular maintenance item

EXTERIOR

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

Recommended grading slopes



30. Low Areas.

Condition: • FOR ALL HOMES - During rainfall, walk the perimeter of the home to observe whether any areas allow water to drain toward the foundation. Improve grading in those areas as needed to promote proper drainage away from the structure.

REGULAR MAINTENANCE \ Comments \ Additional

Condition: • The following are minor exterior deficiencies and upkeep items noted during the inspection. These are common for the age of the home and should be addressed through routine maintenance to reduce risk of deterioration or

EXTERIOR

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

moisture intrusion:

- Spalling or cracking at front steps - repair
- Minor damage at EIFS stucco - repair
- Vent loose - right side - improve seal
- Window frame at right side vestibule exhibits rot - replace or cap
- Rear second floor sliding screen difficult to operate - Adjust

Location: Various Exterior

Task: Repair or Replace or Improve or Monitor

Time: Regular maintenance / Routine upkeep



31. front steps



32. vent at right side



33. Minor damage at EIFS stucco



34. Right side vestibule window

EXTERIOR

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

OUTBUILDINGS \ Observations

Condition: • Exterior rear BBQ shelter (outside scope of home inspection)

A small wood-framed shelter over the backyard barbecue area was observed to be unstable and leaning. This structure is not part of the home inspection scope; however, its instability may present a safety concern. Recommend repair or removal as needed for safety.

Location: Rear Exterior



35.

Inspection Methods and Limitations

Inspection limited/prevented by:

- Inaccessible wall
Left side

Inspection limited/prevented by: • Storage in carport

No or limited access to: • Space between buildings

Upper floors inspected from: • Ground level

Not included as part of a building inspection: • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Screens, shutters, awnings, and similar seasonal accessories • Outbuildings other than garages and carports

STRUCTURE

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

Descriptions

Configuration: • [Basement](#)

Foundation material: • [Poured concrete](#) • [Masonry block](#)

Floor construction: • [Joists](#) • Subfloor - plank

Exterior wall construction:

• [Wood frame](#)

At rear addition

• [Masonry](#)

Roof and ceiling framing: • Rafters • [Plank sheathing](#)

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • All Structure issues have POTENTIAL worst-case implications such as damage to contents, structure and/or finishes, and personal safety.

FOUNDATIONS \ General notes

Condition: • Typical Minor Cracks - Block, Brick, Stone

Almost all houses have minor settlement and/or cracks. Monitor all cracks for movement and nuisance water leakage.

Repair cracks only if necessary

Implication(s): Damage to contents, finishes and/or structure / Nuisance

Location: Various Exterior Wall

Task: Monitor / Repair

Time: Ongoing / If necessary

ROOF FRAMING \ Sheathing (roof/attic)

Condition: • Water stains or discoloration - Attic plank boards

Discoloration or water staining was noted on the plank board sheathing in the attic. This is a common observation in older homes and is typically the result of historical moisture exposure, condensation, or natural aging and weathering of the wood.

Location: Various Attic

Task: For Your Information

Inspection Methods and Limitations

Inspection limited/prevented by: • Finishes, insulation, furnishings and storage conceal structural components.

Attic/roof space: • Inspected from access hatch

Percent of foundation not visible: • 90 %

Not included as part of a building inspection: • An opinion about the adequacy of structural components

Descriptions

General: • ALL ELECTRICAL CONDITIONS ARE CONSIDERED PRIORITY ITEMS

Service entrance cable and location: • [Overhead - cable type not determined](#)

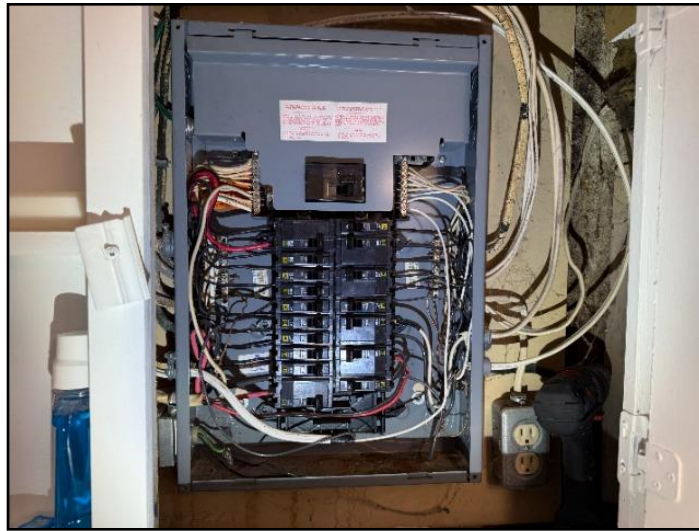
Service size: • [100 Amps \(240 Volts\)](#)

Main disconnect/service box type and location: • [Breakers - basement](#)

System grounding material and type: • [Copper - water pipe](#)

Distribution panel type and location:

• [Breakers - basement](#)



36. Breakers - basement

Distribution panel rating: • [125 Amps](#)

Distribution wire (conductor) material and type: • [Copper - non-metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded and ungrounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom and exterior](#)

Smoke alarms (detectors): • Provide New

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • ALL ELECTRICAL recommendations are safety-related. POTENTIAL worst-case implications include fire and shock hazards. Treat them as high-priority items and assume the time frame is Immediate / As soon as possible unless otherwise noted.

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

Condition: • [Rust or water in panel](#)

Rust was noted in panel, potentially due to the humid bathroom environment.

Implication(s): Electric shock | Fire hazard

Location: Basement Bathroom

Task: Further evaluation

Time: As Soon As Possible



37. Rust or water in panel

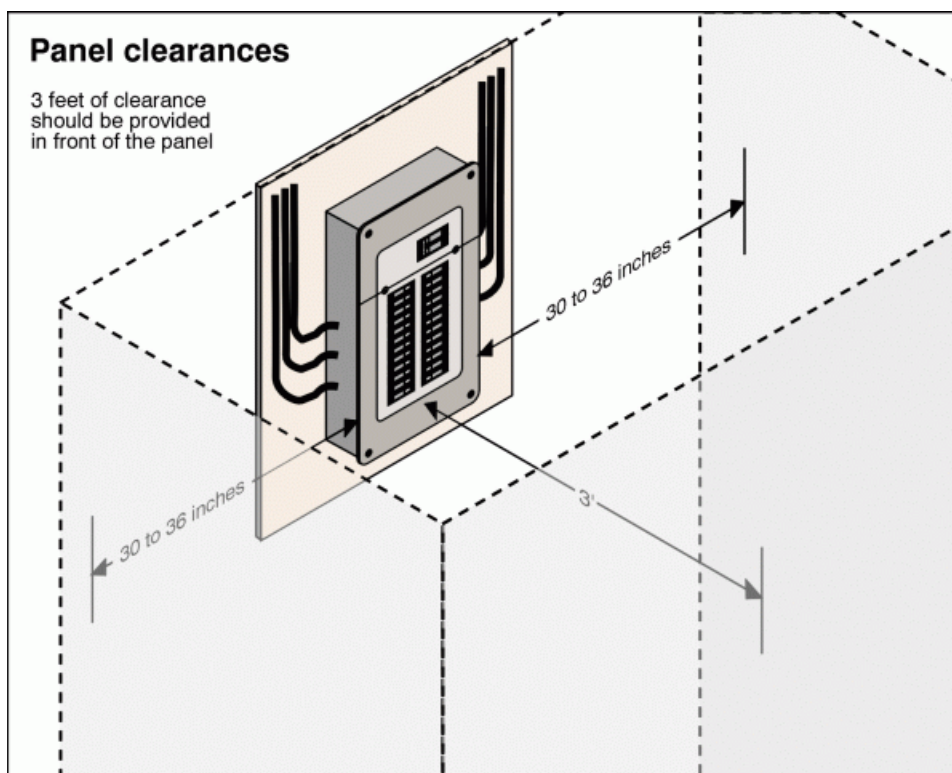
Condition: • [Poor access](#)

Implication(s): Difficult to service

Location: Basement Panel

Task: Further evaluation / Correct

Time: Less than 1 year



**38.** *Poor access***Condition:** • [Poor location](#)

The electrical panel is located in a bathroom with a shower, which is typically not permitted due to the risk of moisture exposure. Moisture and condensation can lead to corrosion, electrical faults, and potential fire hazards. Special provisions or exemptions may be required, and consultation with a licensed electrician is strongly recommended to assess compliance and determine corrective measures. Relocation may be necessary.

Implication(s): Difficult to service**Location:** Basement Bathroom**Task:** Further evaluation / Correct**Time:** As Soon As Possible**Cost:** Consult specialist**Condition:** • Missing or Improper Panel Cover Fasteners

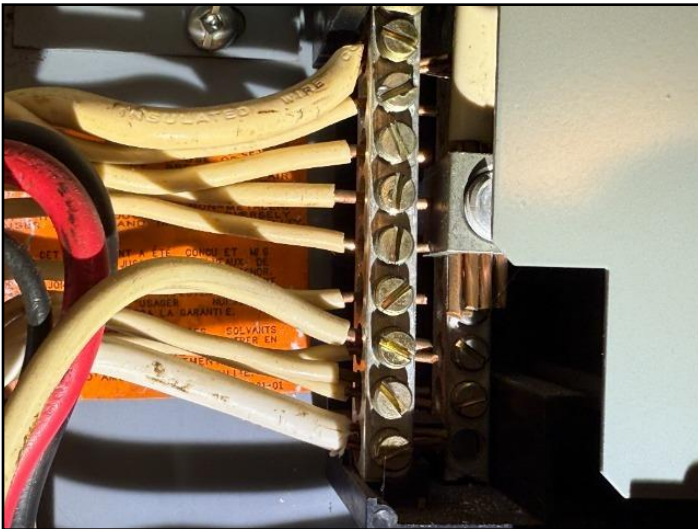
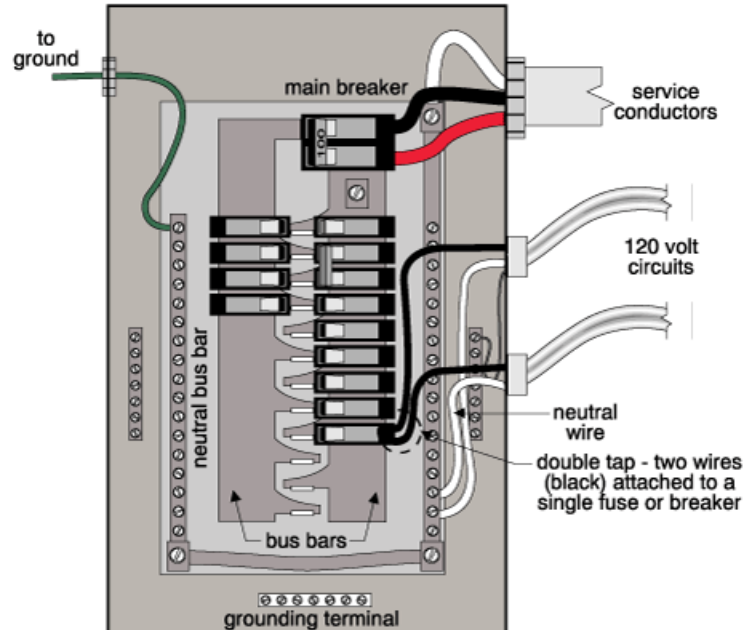
one wood screw was used

Location: Basement Panel bottom right**Task:** Provide proper panel fastener**Time:** When servicing panel**Cost:** Minor**SERVICE BOX, GROUNDING AND PANEL \ Panel wires****Condition:** • [Double taps](#)

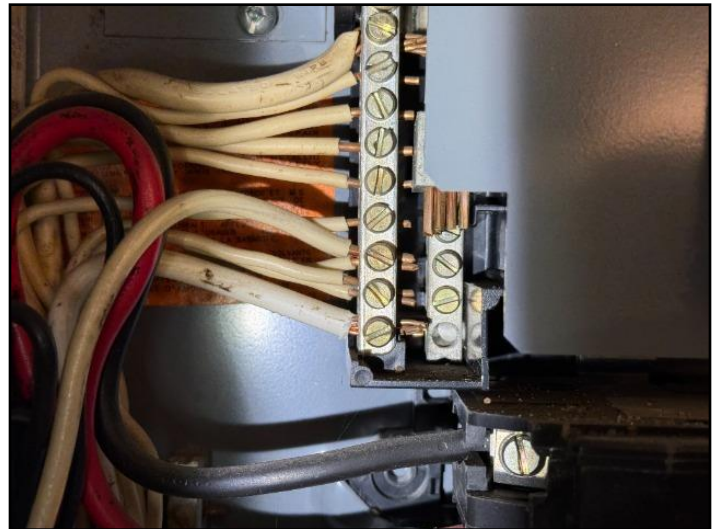
Various Neutrals are double lugged. This is no longer an acceptable practice in most panels.

Implication(s): Fire hazard**Location:** Basement Panel**Task:** Correct**Time:** As Soon As Possible**Cost:** Minor

Double tapping (double lugging)



39. Double taps



40. Double taps

DISTRIBUTION SYSTEM \ Wiring (wires) - installation

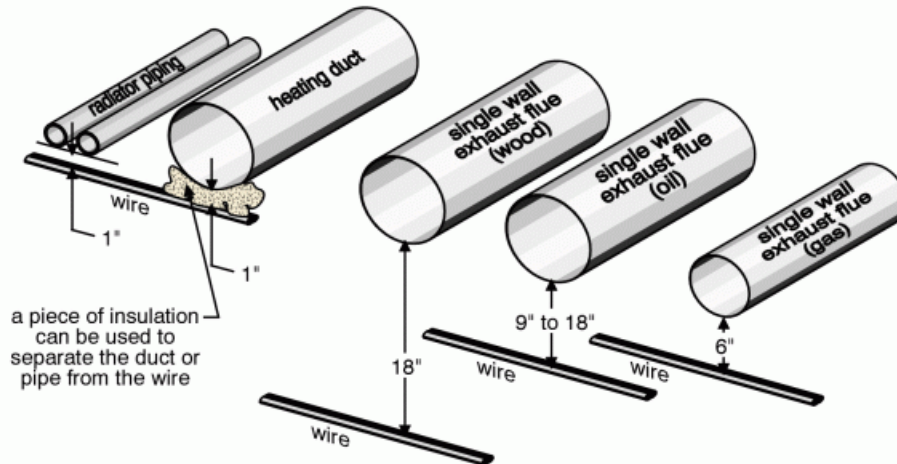
Condition: • [Too close to/touching duct, pipe, vent or chimney](#)

Implication(s): Electric shock | Fire hazard

Location: Basement

Task: Correct - Provide protective barrier between wire and duct (such as insulation)

Time: As Soon As Possible

Cost: Minor**Wire clearances from hot ducts and pipes****41.** example**DISTRIBUTION SYSTEM \ Wiring (wires) - damaged or exposed****Condition:** • [Exposed on walls or ceilings](#)**Implication(s):** Electric shock**Location:** Basement**Task:** Correct**Time:** As Soon As Possible

ELECTRICAL

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE



42. Exposed on walls or ceilings

DISTRIBUTION SYSTEM \ Junction boxes

Condition: • Cover missing

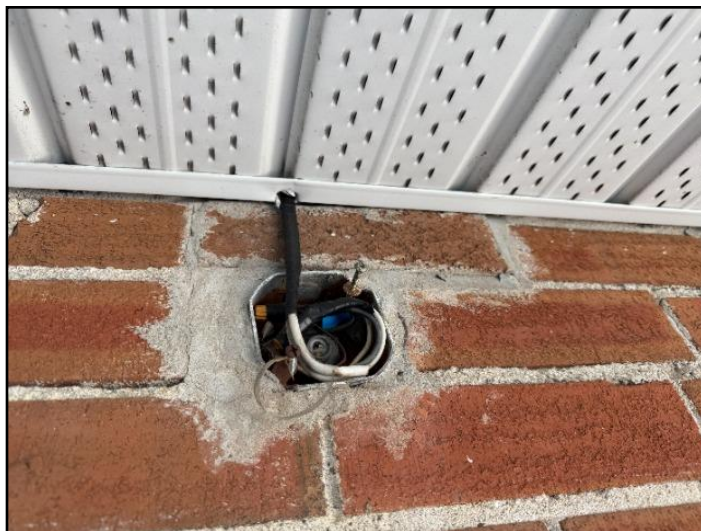
Implication(s): Electric shock, Fire hazard

Location: Exterior front

Task: Provide Cover

Time: As Soon As Possible

Cost: Minor



43. Cover missing

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • [Inoperative](#)

Implication(s): Equipment inoperative

Location: Second floor front left bedroom

ELECTRICAL

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

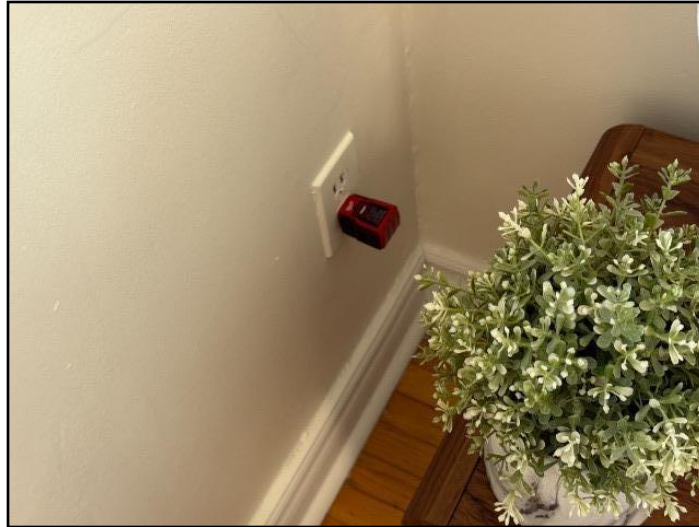
APPENDIX

REFERENCE

Task: Repair / Replace

Time: Prior to first use

Cost: Minor



44. Inoperative

Condition: • [Reversed polarity](#)

Implication(s): Electric shock

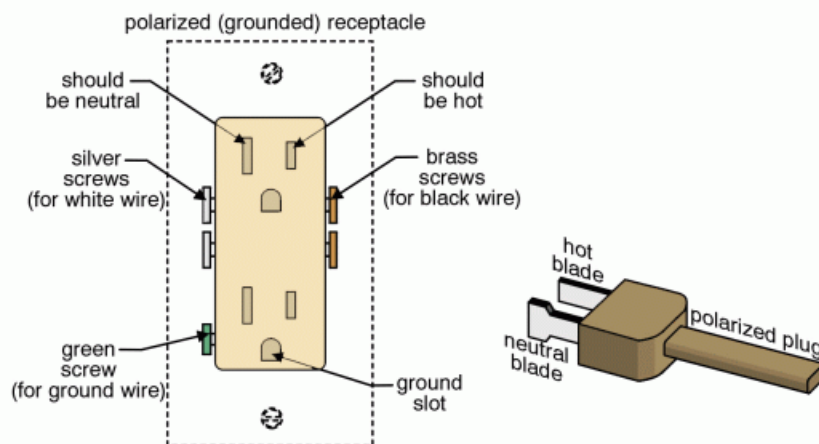
Location: Second Floor Bathroom

Task: Correct

Time: As Soon As Possible

Cost: Minor

Reversed polarity



when the polarity is reversed, the wide receptacle slot is (incorrectly) hot and the narrow slot is neutral - this is not uncommon when people forget that the black wire should be attached to the receptacle's brass screws



45. *Reversed polarity*

Condition: • Ungrounded Wiring - We noted ungrounded outlets in some areas of the home. This is typical for homes of this era, as conductors did not include a ground wire. For occupant safety, it is recommended to upgrade ungrounded circuits with GFCI protection. For electronic equipment such as computers, true grounding is recommended. Additionally, consult with your insurance company for their requirements regarding ungrounded wiring.

Implication(s): Shock Hazard

Location: Various

Task: Provide GFCI outlets or GFCI breakers for these areas

Time: As soon as possible

DISTRIBUTION SYSTEM \ GFCI (Ground Fault Circuit Interrupter) protection not noted at

Condition: • Within 6 ft. of the outer edge of a sink, shower or bathtub

Implication(s): Electric shock

Location: Basement Kitchen

Task: Upgrade to GFI outlets

Time: As Soon As Possible

Cost: Minor

DISTRIBUTION SYSTEM \ Cover plates

Condition: • For outlet (receptacle) is missing

Implication(s): Electric shock

Location: First Floor Living Room

Task: Provide Cover

Time: As Soon As Possible

Cost: Minor



46. For outlet (receptacle) is missing

DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

Condition: • Missing

Implication(s): Safety issue

Location: First Floor

Task: Provide

Time: Immediate

Cost: Minor

Condition: • General safety reminder for ALL homes -

This is a standard note included in every inspection report:

Smoke and carbon monoxide (CO) detectors should be installed on every floor level. Smoke detectors should be located near all sleeping areas, and CO detectors should be present near fuel-burning appliances, fireplaces, or attached garages.

These devices are not tested during the home inspection. Regardless of visible condition, detectors should be tested regularly and replaced every 10 years. If the age is unknown, replacement is recommended as a precaution. Batteries should be changed annually.

Inspection Methods and Limitations

System ground: • Quality of ground not determined

HEATING

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

Descriptions

Heating system type: • [Furnace](#)

Fuel/energy source: • [Gas](#)

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • [60,000 BTU/hr](#)

Efficiency: • [High-efficiency](#)

Approximate age: • [10 years](#)

Typical life expectancy: • Furnace (high efficiency) 15 to 20 years

Main fuel shut off at: • Meter

Fireplace/stove: • None

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • Set up annual service plan which includes coverage for parts and labour.

Location: Basement Furnace Room

Task: Service annually

Time: Ongoing

Cost: Regular maintenance item

FURNACE \ Humidifier

Condition: • Evidence of prior leaking

Location: Basement Furnace Area

Task: For Your Information

GAS FURNACE \ Distribution air fan (blower)

Condition: • [Dirty](#)

Implication(s): Reduced operability | Increased heating costs | Reduced comfort

Location: Basement Furnace

Task: Clean

Time: At next regular service

GAS FURNACE \ Mechanical air filter

Condition: • [Dirty](#)

Implication(s): Increased heating costs | Reduced comfort

Location: Basement Furnace

Task: Replace

Time: As Soon As Possible and ongoing

Cost: Minor Regular maintenance item

CHIMNEY AND VENT \ Masonry chimney

Condition: • Loose, missing or deteriorated masonry and/or mortar

HEATING

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

Location: Exterior Chimney

Task: Repair

Time: Less than one year / Regular maintenance

Cost: \$800 - \$1500+



47. Loose, missing or deteriorated masonry...



48. Loose, missing or deteriorated masonry...

Inspection Methods and Limitations

Safety devices: • Not tested as part of a building inspection

Heat loss calculations: • Not done as part of a building inspection

Heat exchanger: • Not visible

COOLING & HEAT PUMP

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

Descriptions

Air conditioning type: • [Air cooled](#)

Cooling capacity: • [24,000 BTU/hr](#)

Compressor approximate age: • 10 years

Typical life expectancy: • 10 to 15 years

Observations and Recommendations

AIR CONDITIONING \ Life expectancy

Condition: • [Near end of life expectancy](#)

Typical Life Expectancy for this type of unit is 10-15 years but can often last longer with regular servicing. The current unit is 10 years old.

Implication(s): Equipment failure | Reduced comfort

Location: Exterior

Task: Replace

Time: When necessary / Unpredictable

Cost: \$3,500 - and up

Inspection Methods and Limitations

Heat gain/loss calculations: • Not done as part of a building inspection

Descriptions

Attic/roof insulation material:

- [Glass fiber](#)



49. Glass fiber

- [Cellulose](#)

Attic/roof insulation amount/value: • [R-40](#)

Attic/roof air/vapor barrier: • [Kraft paper](#) • Spot Checked Only

Attic/roof ventilation: • [Roof and soffit vents](#)

Foundation wall insulation material: • Not determined

Observations and Recommendations

ATTIC/ROOF \ Hatch/Door

Condition: • [Not weatherstripped](#)

Implication(s): Chance of condensation damage to finishes and/or structure | Increased heating and cooling costs

Location: Attic

Task: Improve

Time: Less than 1 year

Cost: Minor

PLUMBING

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

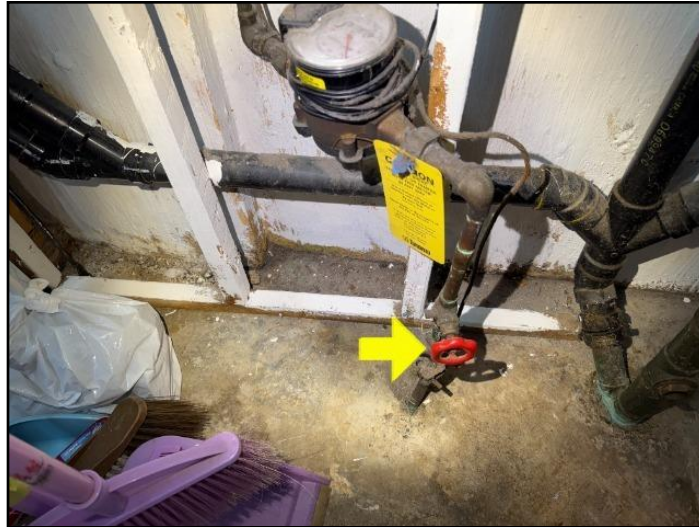
Descriptions

Service piping into building: • [Copper](#)

Supply piping in building: • [Copper](#)

Main water shut off valve at the:

- Main water shut off valve - Basement



50. Main water shut off valve - Basement

Water flow and pressure: • [Functional](#)

Water heater type: • [Conventional](#)

Water heater fuel/energy source: • [Gas](#)

Water heater tank capacity: • 189 liters

Water heater approximate age: • 12 years

Water heater typical life expectancy: • 10 to 15 years

Waste and vent piping in building: • [Plastic](#) • [Copper](#)

Pumps:

- [Sump pump](#)



51. Sump pump

Floor drain location: • Near laundry area

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • All Plumbing issues have POTENTIAL worst-case implications of water damage to contents, finishes and/or structure, no hot or cold water, leakage, possible hidden damage, difficult to service, sewage entering building, health hazards.

WATER HEATER \ Life expectancy

Condition: • [Near end of life expectancy](#)

Typical life expectancy is 10-15 years. The current unit is 12 years old

Implication(s): No hot water

Location: Basement Water Heater

Task: Replace

Time: When necessary / Unpredictable

Cost: Rental \$35-\$55 monthly. Purchase \$2000 - and up

WATER HEATER - GAS BURNER AND VENTING \ Venting system

Condition: • [Poor connections](#)

Vent is not connected to water heater

Implication(s): Equipment not operating properly | Hazardous combustion products entering home

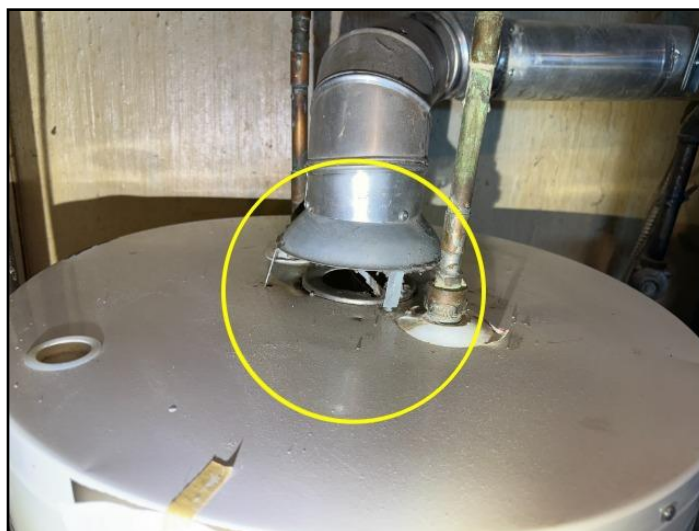
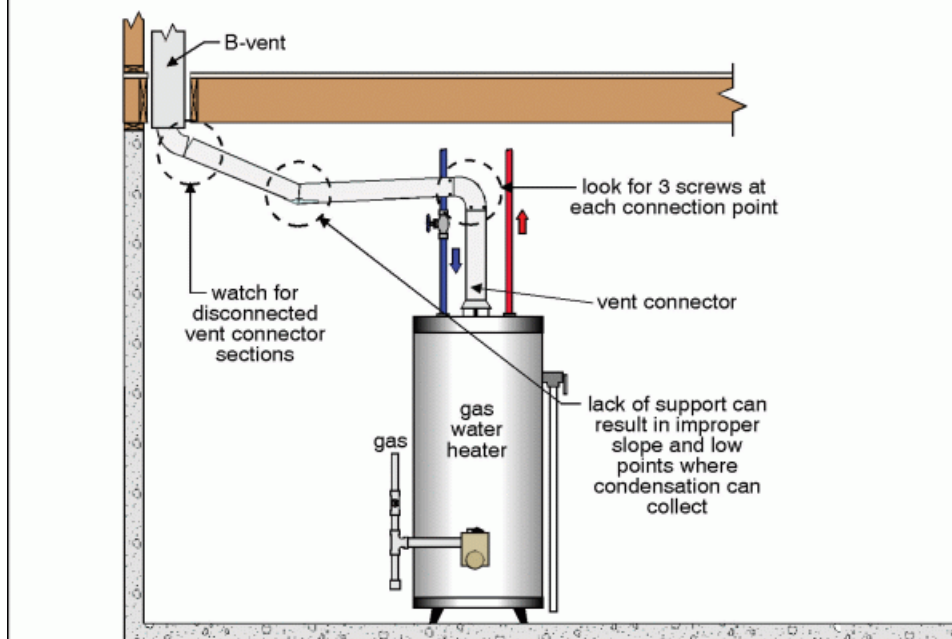
Location: Basement Water Heater

Task: Correct

Time: As Soon As Possible

Cost: Minor

Poor connections



52. vent not secured to water heater

Condition: • [Spillage or backdraft at the draft hood](#)

Implication(s): Equipment not operating properly | Hazardous combustion products entering home

Location: Basement Water Heater

Task: Further evaluation / Correct

Time: As Soon As Possible



53. Spillage or backdraft at the draft hood

WASTE PLUMBING \ Drain piping - performance

Condition: • Sewer backup insurance is recommended for ALL homes

Sewer backup can happen to any home. There are many potential causes and it is prudent for homeowners to have coverage for this.

Condition: • GENERAL RECOMMENDATION FOR ALL HOMES BUILT PRIOR TO 1975 - A videoscan of the waste plumbing is recommended to determine whether there are tree roots or other obstructions, and to look for damaged or collapsed pipe. This is common on older properties, especially where there are mature trees nearby. This is a great precautionary measure, although many homeowners wait until there are problems with the drains. The cost may be roughly \$200 to \$400, however many companies will rebate the cost if work is to be completed.

WASTE PLUMBING \ Sump pump

Condition: • Provide backup battery powered power source for sump pumps.

Noted for all homes with an active sump pump.

Location: Basement

Task: Provide backup power source

Time: Less than 1 year

FIXTURES AND FAUCETS \ Faucet

Condition: • [Hot and cold reversed](#)

Implication(s): Scalding

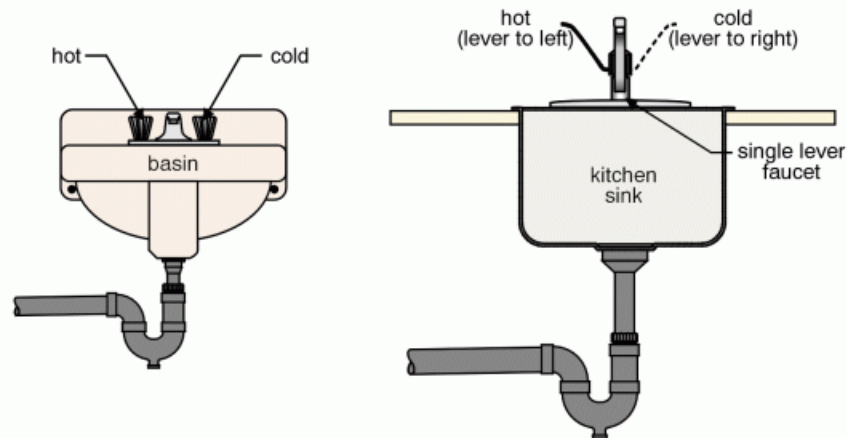
Location: Second Floor Bathroom Basin

Task: Correct

Time: As soon as practical

Cost: Minor

Hot/cold conventions



REGULAR MAINTENANCE \ Comments \ Additional

Condition: • The following are minor plumbing deficiencies and upkeep items noted during the inspection. These are common for the age of the home and should be addressed through routine maintenance to reduce risk of deterioration and/or leaks.

- Kitchen faucet loose - Secure

Location: Various

Task: Improve or Correct or Repair

Time: Regular maintenance / Routine upkeep

Inspection Methods and Limitations

Items excluded from a building inspection: • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Tub and basin overflows are not tested as part of a home inspection. Leakage at the overflows is a common problem.

INTERIOR

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

Descriptions

Major wall and ceiling finishes: • [Plaster/drywall](#) • [Stucco/texture/stipple](#)

Windows: • [Fixed](#) • [Single/double hung](#) • [Sliders](#) • [Casement](#) • [Awning](#)

Windows: • Most windows manufactured 2013

Windows at rear enclosed vestibule are older.

Glazing: • [Double](#)

Exterior doors - type/material: • Hinged • [Sliding glass](#)

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • All Interior issues have POTENTIAL worst-case implications such as damage to contents, structure and/or finishes, and personal safety.

Condition: • Typical flaws were noted on the floors, walls, and ceilings. Some finishes and fixtures in the home may need updating, which is discretionary based on the homeowner's preferences. It's important to note that renovations can be a major expense

CEILINGS \ General notes

Condition: • Patched

Area is below bathroom. Tested with moisture meter. Dry at time of inspection. No action required at this time.

Implication(s): Chance of damage to contents, finishes and/or structure

Location: First Floor

Task: For Your Information



54. Patched

FLOORS \ Wood/laminate floors

Condition: • [Stained](#)

INTERIOR

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

Dry at time of inspection

Location: Rear Second Floor

Task: For Your Information



55. Stained

WINDOWS AND DOORS \ General notes

Condition: • Aging

This is in reference to rear sliding doors at first floor and second floor and windows at rear vestibule.

Location: Rear sliding door and vestibule sliding door and window at rear vestibule

Task: Upgrade

Time: Discretionary / When necessary

Cost: Major \$60 - \$100 per square foot

WINDOWS \ General notes

Condition: • Difficult to operate

The casement crank does not close the window completely; however, the latch is still able to secure it.

Implication(s): System inoperative or difficult to operate

Location: Front Left Second Floor Bedroom

Task: Repair

Time: Regular maintenance

WINDOWS \ Hardware

Condition: • Window latch or lock difficult to operate or inoperative

Location: Rear Second Floor Bedroom and various first floor rear vestibule windows

Task: Repair

Time: Regular maintenance

DOORS \ Hardware

Condition: • [Ineffective](#)

Implication(s): Equipment ineffective

INTERIOR

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

Location: Front first floor door latch

Task: Replace

Time: Regular maintenance

Cost: Minor

Condition: • Lock mechanism faulty

Both rear and vestibule sliding door lock mechanisms are inoperative. Wooden rods are currently being used to secure the doors.

Implication(s): Poor security

Location: First floor rear and vestibule sliding doors

Task: Repair / Replace

Time: Less than 1 year

STAIRS \ Landings

Condition: • Joists supporting the stair landing appear to be end-nailed into the surrounding framing without visible metal joist hangers. This method is common in older construction but does not meet current best practices.

Note: While no significant structural performance issues were observed, mechanical fastening (such as joist hangers) improves long-term stability and load transfer. Recommend adding joist hangers or additional reinforcement for improved durability and safety - especially if any deflection or movement is noted during use.

Location: Basement below landing

Task: Improve



56. example of general area

STAIRS \ Handrails and guards

Condition: • [Missing](#)

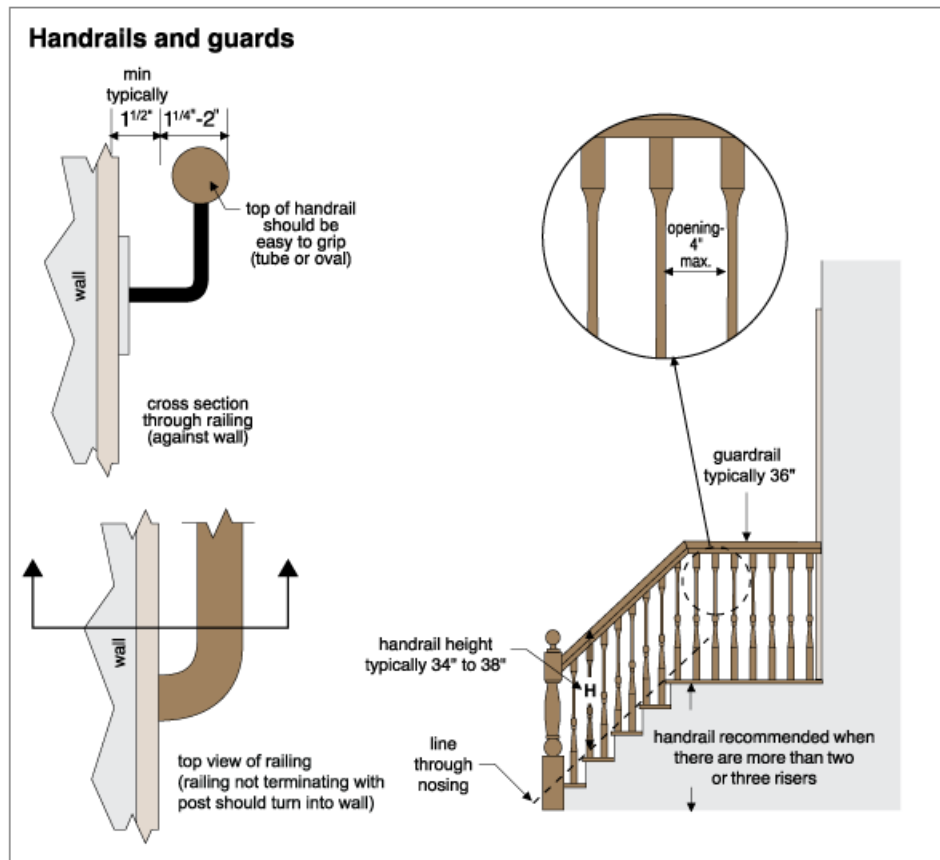
Implication(s): Fall hazard

Location: Staircase Basement

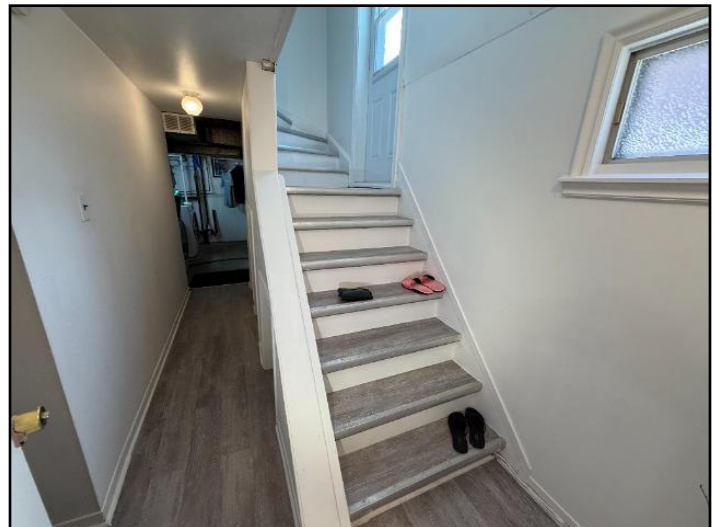
Task: Provide

Time: Less than 1 year

Cost: Minor



57. Missing



58. Missing

STAIRS \ Spindles or balusters

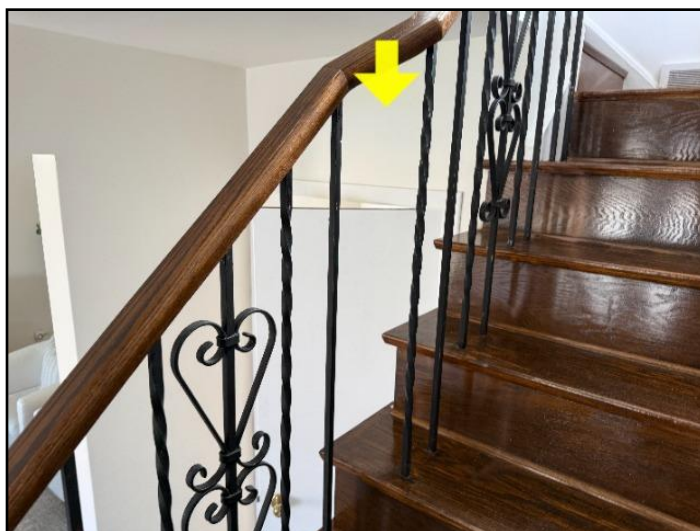
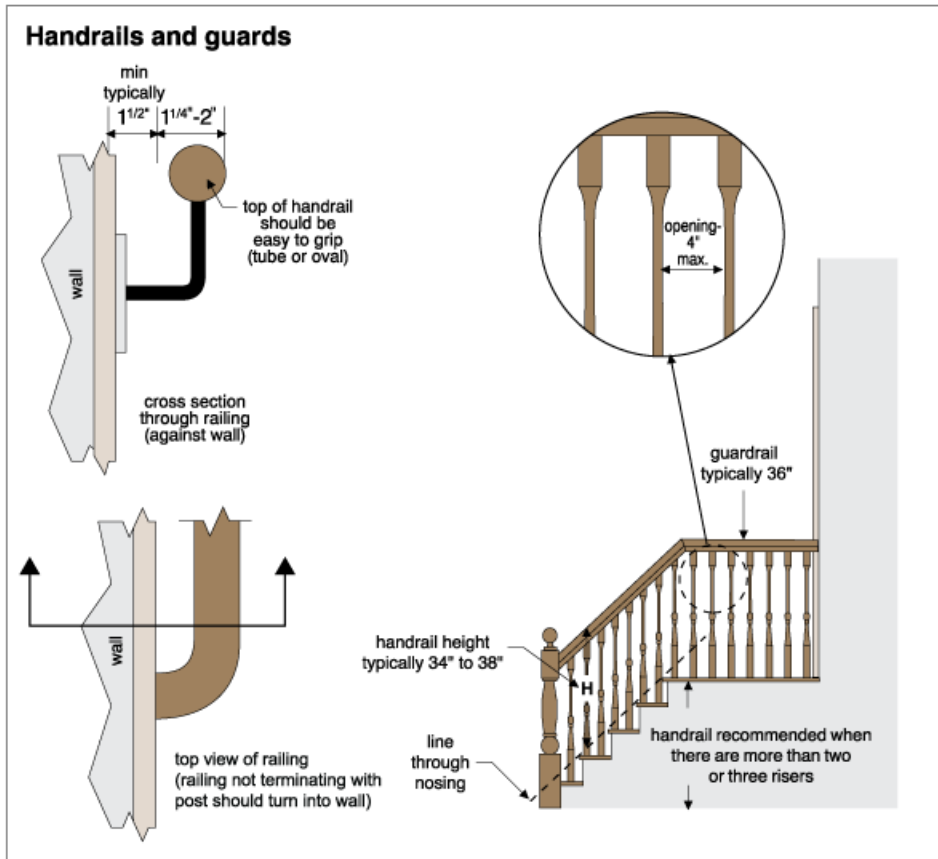
Condition: • [Too far apart](#)

Implication(s): Fall hazard

Location: First Floor Staircase

Task: Correct

Time: Less than 1 year



59. Too far apart

EXHAUST FANS \ General notes

Condition: • [Missing](#)

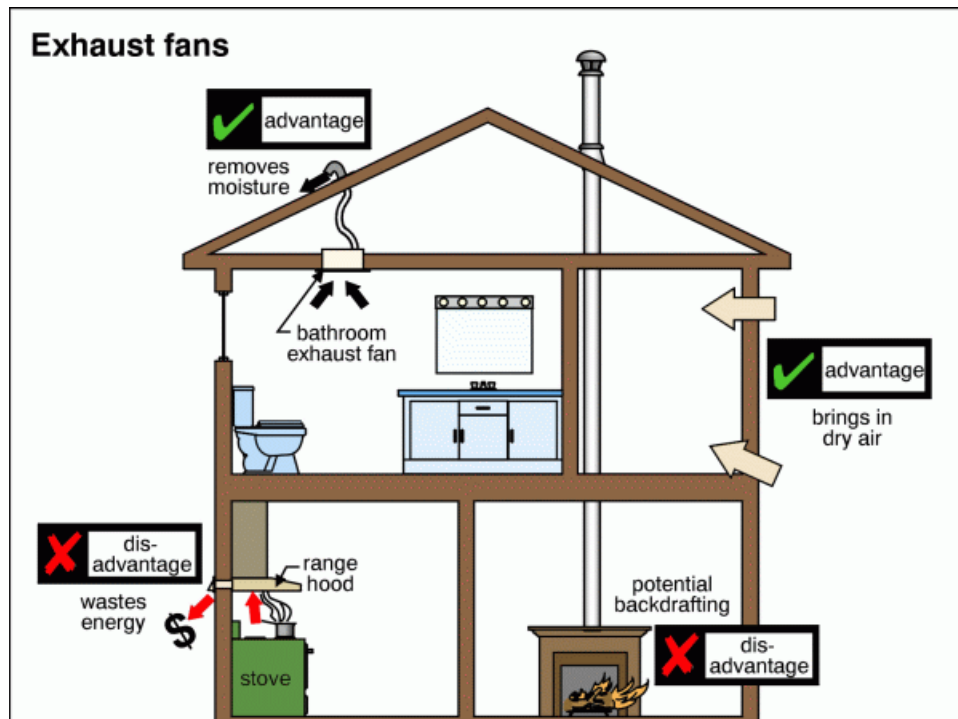
Exhaust fans in bathrooms are recommended upgrades. While not standard when the house was originally built, when only windows were required, exhaust fans help to remove moisture, which could otherwise contribute to mildew and mold growth.

Location: Second Floor Bathroom

Task: Upgrade

Time: When remodelling or as soon as practical

Cost: Typically \$1500 and up



EXHAUST FANS \ Kitchen range exhaust system (range hood)

Condition: • Inoperative

Implication(s): Equipment inoperative

Location: First Floor Kitchen

Task: Repair or replace

Time: Less than 1 year

Cost: Depends on approach

BASEMENT \ Leakage

Condition: • ***FOR FUTURE REFERENCE*** GENERAL ADVICE FOR ALL HOMES IF BASEMENT LEAKAGE IS EVER OBSERVED

Basement Leakage 4-step method. Almost every basement (and crawlspace) leaks under the right conditions. Based on a one-time visit, it is impossible to know how often or severe leaks may be. While we look for evidence of past leakage during our inspection, this is often not a good indicator of current conditions. Exterior conditions such as poorly performing gutters and downspouts, and ground sloping down toward the house often cause basement leakage problems. To summarize, wet basement issues can be addressed in 4 steps: 1. First, ensure gutters and downspouts

carry roof run-off away from the home. (relatively low cost) 2. If problems persist, slope the ground (including walks, patios and driveways) to direct water away from the home. (Low cost if done by homeowner. Higher cost if done by contractor or if driveways, patios and expensive landscaping are disturbed.) 3. If the problem is not resolved and the foundation is poured concrete, seal any leaking cracks and form-tie holes from the inside. (A typical cost is \$500 to \$600 per crack or \$300 per hole.) 4. As a last resort, dampproof the exterior of the foundation, provide a drainage membrane and add/repair perimeter drainage tile. (High cost)

BASEMENT \ Wet basement - evidence

Condition: • [Stains](#)

It is very common to find many stains in older basements. Some have likely been present for many years and they are often the result of condensation or leakage. The stains were dry at time of inspection.

Prudent to monitor, especially through the Spring or after heavy rainfalls.

Location: Basement Furnace Room

Task: Monitor for moisture / water intrusion



60. one example

BASEMENT \ Wet basements - vulnerability

Condition: • Typical of many homes with stone, brick, or block foundations, some moisture can be expected from time to time and is not unusual. Exterior grading and water management improvements are generally effective at reducing basement moisture. A dehumidifier can also be used to keep humidity levels down.

APPLIANCES \ Dryer

Condition: • Smooth walled metal vent recommended for dryers. This helps prevent lint build-up and potential fire risks.

Location: Laundry Area

Task: Improve

Time: Less than 1 year

POTENTIALLY HAZARDOUS MATERIALS \ General notes

Condition: • Possible asbestos containing materials

In homes of this age, it was common to wrap floor registers with insulation to reduce heat transfer. (and other areas near ducting) These wraps may contain asbestos; however, confirming asbestos content is outside the scope of a home

inspection. Health Canada advises that suspected asbestos materials be left undisturbed. If renovations are planned or if there are concerns, consult a qualified specialist for testing and recommendations.

Implication(s): Health hazard

Location: Various

Task: Test / Remove if confirmed

Time: Before disturbing material

Cost: \$150 - \$250 per register if asbestos is present



61. Possible asbestos containing materials



62. one example

Inspection Methods and Limitations

General: • Up until about 1985, Asbestos was used in a multitude of building materials including but not limited to: Insulation on hydronic piping, attic insulation, flooring and ceiling tiles, stucco / stipple ceilings, glue, insulation around heating ducts and registers, plaster and so on. Identification of asbestos is outside the scope of a home inspection. If you have concerns about asbestos, consult with a professional environmental company that specializes with asbestos lab testing. If you plan to remove/disturb any building material, testing for asbestos is recommended beforehand.

Inspection limited/prevented by: • Storage/furnishings • New finishes/paint • Storage in closets and cabinets / cupboards

Not included as part of a building inspection: • Carbon monoxide alarms (detectors), security systems, central vacuum • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any

Cosmetics: • No comment offered on cosmetic finishes

Appliances: • Appliances are not inspected as part of a building inspection • Appliances are not moved during an inspection

INTERIOR

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

Percent of foundation not visible: • 90 %

Basement leakage: • Storage in basement limited inspection • Basement leakage is common. Most basements will experience leakage at some point. We cannot predict future occurrence or extent of basement leakage • Monitor the basement for leaks in the Spring.

Environmental issues are outside the scope of a home inspection: • The evaluation of Mold is outside the scope of a home inspection. If the appearance of mold is observed during the normal procedure of the home inspection, it will be noted for further evaluation. If mold is not observed, it does not mean it is not present. It may be in an area that was not observed during the inspection.

MORE INFO

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

Descriptions

GOOD ADVICE FOR ALL HOMEOWNERS: • The following items apply to all homes and explain how to prevent and correct some common problems.

Roof Leaks: • Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced.

Annual Roof Maintenance: • We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of your roof.

Ice Dams on Roofs: • [Most roofs are susceptible to ice dams under the right weather conditions. This is where ice forms](#) at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather.

Maintaining the Exterior of Your Home: • Regular maintenance includes painting and caulking of all exterior wood. • To manage water drainage around the exterior, ensure that grading (ground) is maintained with a positive slope away from the home and extend any downspouts away from walls and all building components.

Insulation Amounts - Current Standards: • Attic current standards as of 2016 is R-60

Reduce Air Leaks: • Insulation is not effective if air (and the heat that goes with it) can escape from the home. Caulking and weather-stripping help control air leakage, improving comfort while reducing energy consumption and costs. Air leakage control improvements are inexpensive and provide a high return on investment.

Bathtub and Shower Maintenance: • Caulking and grout in bathtubs and showers should be checked every six months and improved as necessary to prevent leakage and damage behind wall surfaces.

Basement/Crawlspace Leakage: • Almost every basement (and crawlspace) leaks under the right conditions.

Standards of Practice: • [This document sets out what a professional home inspection should include, and guides the](#) activities of our inspectors.

This inspection was performed in accordance with the most recent CAHPI Standards of Practice. Click the blue link above to view the full document.

END OF REPORT

**This is a copy of our home inspection contract and outlines the terms,
limitations and conditions of the home inspection**

THIS CONTRACT LIMITS THE LIABILITY OF THE HOME INSPECTION COMPANY AND INSPECTOR.

PLEASE READ CAREFULLY BEFORE SIGNING.

The Inspection of this property is subject to the Limitations and Conditions set out in this Agreement. It is based on a visual examination of the readily accessible features of the building. The Inspection is performed in accordance with the Standards of Practice of the Ontario Association of Home Inspectors. A copy of these Standards is available at <http://www.oahi.com/webdocs/StandardsofPractice-OAHI-Rev.pdf>.

The Home Inspector's report is an opinion of the present condition of the property. The Inspection and report are not a guarantee, warranty or an insurance policy with regards to the property. A Home Inspector cannot predict future deficiencies, intermittent problems or future water leakage.

PLEASE READ THE FOLLOWING PARAGRAPH: Due to the unpredictable nature of basement water leakage, a home inspector cannot predict future basement leakage. Almost all basements will leak at some point so there is a very good chance that it will happen. Basement leakage can occur for any number of reasons - Rainfall, sewer backup, high water tables, lot grading, clogged weeping tiles, gutter and downspout performance, just to name a few. The home inspector and The Inspection Professionals accepts no responsibility or liability for future basement water problems.

The inspection report is for the exclusive use of the client named above. No use of the information by any other party is intended. See item 8 below.

LIMITATIONS AND CONDITIONS OF THE HOME INSPECTION

These Limitations and Conditions explain the scope of your Home Inspection. Please read them carefully before signing this Agreement.

The purpose of your Home Inspection is to evaluate the general condition of a property. This includes determining whether systems are still performing their intended functions.

There are limitations to the scope of this Inspection. It provides a general overview of the more obvious repairs that may be needed. It is not intended to be an exhaustive list. The ultimate decision of what to repair or replace is yours. One homeowner may decide that certain conditions require repair or replacement, while another will not.

1. The Home Inspection provides you with a basic overview of the condition of the property. Because your Home Inspector has only a limited amount of time to go through the property, the Inspection is not technically exhaustive. If you have concerns about any of the conditions noted, please consult the text that is referenced in the report.

Some conditions noted, such as foundation cracks or other signs of settling in a house, may either be cosmetic or may indicate a potential structural problem that is beyond the scope of the Home Inspection.

If you are concerned about any conditions noted in the report, we strongly recommend that you consult a qualified licensed contractor or engineering specialist. These professionals can provide a more detailed analysis of any conditions noted in the report at an additional cost.

2. A Home Inspection does not include identifying defects that are hidden behind walls, floors or ceilings. This includes wiring, structure, plumbing and insulation that is hidden or inaccessible.

Some intermittent conditions may not be obvious on a Home Inspection because they only happen under certain circumstances. As an example, your Home Inspector may not discover leaks that occur only during certain weather conditions or when a specific tap or appliance is being used in everyday life.

Home Inspectors will not find conditions that may only be visible when storage or furniture is moved. Inspectors do not remove wall coverings, including wallpaper, or lift flooring, including carpet to look underneath.

A Home Inspection is a sampling exercise with respect to house components that are numerous, such as bricks, windows and electrical receptacles. As a result, some conditions that are visible may go un-reported.

3. The Inspection does not include hazardous materials that may be in or behind the walls, floors or ceilings of the property, whether visible or not. This includes building materials that are now suspected of posing a risk to health such as phenol-formaldehyde and urea-formaldehyde based products, fiberglass insulation and vermiculite insulation. The Inspector does not identify asbestos roofing, siding, wall, ceiling or floor finishes, insulation or fire proofing. We do not look for lead or other toxic metals in such things as pipes, paint or window coverings.

The Inspection does not deal with environmental hazards such as the past use of insecticides, fungicides, herbicide's or pesticides. The Inspector does not look for, or comment on, the past use of chemical termite treatments in or around the property.

4. We are not responsible for and do not comment on the quality of air in a building. The Inspector does not try to determine if there are irritants, pollutants, contaminants, or toxic materials in or around the building. The Inspection does not include spores, fungus, mold or mildew including that which may be concealed behind walls or under floors, for example. You should note that whenever there is water damage, there is a possibility that visible or concealed mold or mildew may be present unseen behind a wall, floor or ceiling.

APPENDIX

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

If anyone in the home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens.

5. Your Home Inspector does not look for, and is not responsible for, fuel oil, septic or gasoline tanks that may be buried on the property. If fuel oil or other storage tanks remain on the property, you may be responsible for their removal and the safe disposal of any contaminated soil. If you suspect there is a buried tank, we strongly recommend that you retain a qualified Environmental Consultant to determine whether this is a potential problem.

6. We will have no liability for any claim or complaint if conditions have been disturbed, altered, repaired, replaced, or otherwise changed before we have had a reasonable period of time to investigate.

7. The Client understands and agrees to be bound by each and every provision of this contract. The Client has the authority to bind any other family members or other interested parties to this Contract.

8. REPORT IS FOR OUR CLIENT ONLY. The inspection report is for the exclusive use of the client named herein. The client may provide the report to prospective buyers, at their own discretion. Potential buyers are required to obtain their own Onsite Review with The Inspection Professionals if they intend to rely on this report. The Inspection Professionals will not be responsible for the use of or reliance upon this Report by any third party without an Onsite Review and transfer of report to client after they have agreed to our inspection agreement.

9. The liability of the Home Inspector (and the Home Inspection Company) arising out of this Inspection and Report, for any cause of action whatsoever, whether in contract or in negligence, is limited to a refund of the fees that you have been charged for this inspection

REFERENCE LIBRARY

135 Giltspur Drive, Toronto, ON October 14, 2025

Report No. 8666, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

MORE INFO

APPENDIX

REFERENCE

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS