

# INSPECTION REPORT



For the Property at:  
**123 ANY STREET**  
ANY TOWN, TN 12345

Prepared for: JOHN SMITH  
Inspection Date: Monday, February 19, 2018  
Prepared by: Melanie Moore



Full Disclosure Property Inspection  
1724 Rivergate Terrace  
Soddy Daisy, TN 37379  
423.255.1300  
423-255-1300

[www.fhomeinspection.com](http://www.fhomeinspection.com)  
[mmoore@fdhomeinspection.com](mailto:mmoore@fdhomeinspection.com)



February 19, 2018

Dear John Smith,

RE: Report No. 4176, v.5  
123 Any Street  
Any Town, TN  
12345

Thanks very much for choosing Full Disclosure to perform your property inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of the State of Tennessee. This document, which is available on our website for your perusal, (you may go there by clicking here: <http://www.fdhinspection.com/TennesseeStandardsofPractice.html>) defines the scope of a property inspection.

Clients sometimes assume that a property inspection will include many things that are beyond the scope. I encourage you to read the Tennessee Standards of Practice as well as the attached Inspection Agreement, both of which were made available to you prior to signing the agreement, so that you clearly understand what things are included in the property inspection and report.

Please understand that if you are buying an older home, it will most probably have older materials, mechanicals, plumbing, electrical, etc. Many things will not be in new condition. This is not atypical and such items will be identified but not necessarily found faulty. (Example: An older garage door might be installed on a older home. That is not something I would address.)

**PLEASE READ THE WHOLE REPORT!** Information has been provided within the report that might pertain to your particular home concerning conditions that might exist due to the age or building materials used on/in the property. Note that not all Targeted Comments included will pertain to your property. Information such as this is generically included in all reports in an effort to try to educate you as to possible issues if any of the mentioned conditions/materials are present on this property.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. I will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the property, recording the conditions on a given date and time. Property inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. Should you have an issue where you feel like something was omitted/missed during your inspection, please contact your inspector immediately, without changing anything about the area of concern as that will immediately release the inspector from any/all liability, after referring to the included Inspection Agreement and TN State Standards of Practice.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing Full Disclosure Property/Home Inspection to perform your home inspection.

Sincerely,

Melanie Moore  
on behalf of  
Full Disclosure Property Inspection

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## INVOICE

February 19, 2018

Client: John Smith

Report No. 4176, v.5

For inspection at:

123 Any Street

Any Town, TN

12345

on: Monday, February 19, 2018

1750-2499 square feet

\$400.00

CRAWLSPACE FEE (Add if not a basement or slab per  
crawlspce)

\$25.00

Total

\$425.00

PAID IN FULL - THANK YOU!

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# AGREEMENT

123 Any Street, Any Town, TN February 19, 2018

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## PARTIES TO THE AGREEMENT

### Company

Full Disclosure Property Inspection  
1724 Rivergate Terrace  
Soddy Daisy, TN 37379

### Client

John Smith

**Total Fee: \$425.00**

This is an agreement between John Smith and Full Disclosure Property Inspection.

1. THIS AGREEMENT, made and entered into on this day by and between the above named client and Full Disclosure Property Inspection, a/k/a Full Disclosure Home Inspection, hereinafter referred to as Inspector. Inspector will conduct a visual inspection of the property in accordance with the State of Tennessee Real Estate Inspectors Standards of Practice Chapter 0780-5-12.10, promulgated by the commissioner, adhering to the same bodies Code of Ethics Chapter 0780-5-12.11. (Both documents are available at <http://www.fhomeinspection.com/TennesseeStandardsOfPractice.html>, or by visiting our website at [fhomeinspection.com](http://fhomeinspection.com) under the heading Standards of Practice, and hereinafter will be referred to as the Governing Standards). This is not a Building Code Inspection, title examination, nor a By-law Compliance Inspection. The inspector does not offer an opinion pertaining to the advisability or inadvisability of the purchase of the property, its value or its potential use.

1A. The Inspection fee is based on a single visit to the property. Possessions in occupied properties cannot be moved by the inspector per TN State Standards of Practice Scope of work. Additional fees will be charged for any subsequent visits required/requested. In an effort to minimize inaccessible areas an email was sent, upon scheduling inspection, to the listing agent, buyer's agent and copied to client, requesting the listing agent forward it to the seller listing all areas that need accessed. Client is encouraged to ask their agent to verify this was done by sellers agent.

1B. If the inspector is called upon to prepare for litigation or give testimony as a result of the inspection, additional fees shall be charge at the Inspectors then current hourly rate for any time spent, including, but not limited to, research, consultation, additional inspection time, preparation of reports, travel, time waiting to testify, and court appearances.

2. The client will receive a written report of Inspectors observations of the accessible/operable features of the Property. Subject to the terms and conditions stated herein, the inspection includes the visual examination of the properties exterior, structure, foundation, roof, attached patios/porches/decks, electrical service, plumbing, permanently installed heating and cooling systems, insulation, ventilation, interior including walls, ceilings, floors, steps, stairways, balconies and railings. A representative number of windows, interior doors built-in cabinets, plugs, and switches will be tested. The Inspector does not examine every one of these identical items, therefore, some detectable deficiencies may go unreported. Installed kitchen appliances (excluding clocks, timers, self-cleaning oven functions, dishwasher drying cycles or the quality of the dishwasher performance, or thermostats for automatic calibration or operation) will be normally operated verifying that they work. There is no guarantee that they will operate properly/satisfactorily for the client under regular use. It is a reasonable effort to disclose the condition of the house based on visual inspection. No engineering services are offered.

3. This Inspection Report is based on the condition of the Property existing and apparent as of the time and date of the inspection. If you are buying an older home, it will most probably have older materials, mechanicals, plumbing, electrical, etc. Many things will not be in new condition. This is not atypical and such items will be identified but not necessarily found faulty. (Example: An older garage door might be installed on a older home. That is not something I would address.) Not all conditions may be apparent on the inspection day due but not limited to weather conditions, inoperable systems, inaccessible areas, etc. A defect that was apparent on any date prior to the inspection date may not be apparent on the inspection date. Without dismantling the property or its systems, there are limitations to the inspection. Throughout any

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inspection, inferences are drawn which cannot be confirmed by direct observation. Clues or symptoms often do not reveal the extent of the severity of the problems. Therefore, the inspection and subsequent Inspection Report may help reduce the risk of purchasing the property, however, an inspection does not eliminate such risk nor does the Inspector assume such risk. While some of the less important deficiencies are addressed, an all inclusive list of minor building flaws is not provided. Inspector is neither responsible nor liable for the non-discovery of any patent or latent defects in materials, workmanship, or other conditions of the Property, or any other problems which may occur or may become evident after the inspection time and date. Inspector is neither an insurer nor guarantor against defects in the building and improvements, systems or components inspected. Inspector assumes no warranty, expressed or implied, as to the fitness for the use or condition of the systems or components inspected. Inspector assumes no responsibility for the cost of repairing or replacing any reported/unreported defect or condition, nor is Inspector responsible or liable for any future failures or repairs.

4. Unless prohibited by law, Inspector and its employees are limited in liability to the fee paid for the inspection services and report in the event that client or any third party claims that Inspector is in any way liable for negligently performing the inspection or in preparing the Inspection Report, for any breach or claim for breach of the Visual Inspection Agreement or for any other reason or claim. The Inspection Report is provided solely for the benefit of the Client and may not be relied upon by any other person. The Inspector will not review any other inspection report prior to the beginning of the inspection. The Client shall not rely on any other inspection report prepared at any time by the inspector that is not prepared for or addressed to the Client.

5. Inspections are done in Accordance with the Tennessee Governing Standards aforementioned, are visual, and are not technically exhaustive. The following items are specifically excluded from the inspection: water softening systems, sprinkler systems, telephone and TV cables, electronic wiring systems, timing systems, central vacuum systems, intercom systems, electronic air filters, central air conditioning when outside ambient temperature is below 65° F, heating system when outside temperature is above 60° F, and any other condition, item, system or component which by the nature of their location are concealed or otherwise difficult to inspect or which the Inspector cannot visually examine in accordance with the aforementioned Governing Standards. Removable, thermostatically or time-controlled electronics, mechanicals and/or systems (i.e. sprinkler systems, dusk to dawn lights, attic fans, etc.) are excluded from inspections with the exception of the accessible permanently installed HVAC equipment. Atypical mechanical/plumbing/electrical systems of any kind are excluded from inspection including but not limited to pumps, valves, filtering systems, circulation systems, solar, smart house features, etc. Excluded is the assurance of a dry basement or crawl space; also excluded is the assurance that multi-layer paned windows glazing seals are intact. The Inspector will not dismantle any component or system; full evaluation of the integrity of the heat exchanger requires dismantling of the furnace and is beyond the scope of the visual inspection.

6. Inspector will not inspect inaccessible or concealed areas of the property; will not conduct geological tests; will not enter dangerous areas of the Property; will not inspect for environmental concerns such as hazardous substances or gasses, including but not limited to lead-based paint; Radon; Asbestos; Insects; Pesticides; Treated Lumber; Fungus; Mold; Mercury; Carbon Monoxide; Other similar environmental hazards, etc., nor will underground services (i.e.: sewage disposal; water supply; fuel storage or delivery; etc.) be inspected.

6A. No item on the property that is not in or on the primary subject structure being inspected, including but not limited to electrical, plumbing, mechanicals, fencing, retaining walls or property grade that do not directly affect the primary structure, fencing that does not connect to the primary structure, etc. is included.

6B. Areas of Crawlspaces that have less than 18" of entry access or interior clearance, standing water or debris will not be entered. Insulation in crawlspaces will not be moved. (Some crawlspaces vary in depth. Accessible areas per these guidelines will be inspected.)

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7. The inspection excludes defects such as cracking, leaking, surface discolorations, or landslides resulting in hidden defects, including but not limited to, water leaks, land subsidence, or other geological problems. The inspection also excludes cosmetic features, including but not limited to paint, wall coverings, etc. The Inspector is not required to determine property boundary lines or encroachments.

8. Any controversy or claim between the parties hereto, arising directly or indirectly out of, connected with, or relating to the interpretation of this Agreement, the scope of the services rendered by the Inspector, the Inspection Report provided to the client by the Inspector, or as to any other matter involving any act or omission performed under this Agreement, or promises, representations or negotiations concerning duties of the Inspector hereunder, shall be submitted to arbitration in accordance with the applicable laws of the State of Tennessee. Any legal recourse shall be executed within Hamilton County, TN. Should the client be unsuccessful in maintaining the claim, then the client shall be liable to the Inspector for all charges, expenses, costs and legal fees (on a lawyer and client basis) incurred by the Inspector on a complete indemnity basis, including a reasonable fee for the time spent by the Inspector or Inspectors personnel in investigating, research, preparation for, and attendance at court hearings and examinations. Unless prohibited by applicable law, any claims must be presented within two (2) months (60 days) from the date of the inspection. Inspector shall have no liability for any claims presented more than two (2) months (60 days) after the date of the inspection.

9. The Inspector shall have the right to examine the subject matter and area of any claim or potential claim against the Inspector arising here from and the right to offer a resolution prior to clients performance of remedial measures or making changes of any kind. Changing anything from the exact condition it was in during the inspection prior to the inspector being notified and allowed sufficient time to return to the property (a minimum of 72 hours) releases the inspector from any and all liability (except in the event of an emergency, or to protect for personal safety, or to reduce or avoid damage to property). The right of examination herein is a condition precedent to the commencement of any claim by the client against the Inspector in any jurisdiction until client has notified the Inspector of said complaint and made reasonable efforts to afford the Inspector an opportunity to complete such examination.

10. This Agreement and the documents referred to herein constitute the entire Agreement between the parties hereto, and supersede any and all prior representations, discussions, or agreements, whether written or oral. No amendment, change, or variance from this Agreement shall be binding on either party unless mutually agreed to, in writing, and signed by the parties hereto. If any provisions of this Agreement is held invalid or unenforceable by any court of final jurisdiction, it is the intent of the parties that all other provisions of this Agreement be construed to remain fully valid, enforceable, and binding on the parties.

11. THIS INSPECTION REPORT DOES NOT CONSTITUTE A WARRANTY, GUARANTEE OR INSURANCE POLICY OF ANY KIND. There are no warranties made against roof leaks, wet basements, hidden structural damage or mechanical breakdowns. The Report is a professional opinion based on a visual inspection of the accessible area and features of the property as of the date and time of the inspection and not a listing of repairs to be made. The report is not an assessment nor is it an Appraisal. The Inspector is not related to or in business with the Seller, Buyer, Contractor, Lawyer or Realtor.

12. This report is not-transferable. The associated Report is prepared by the Inspector at the Clients request, on Clients behalf, and for Clients use and benefit only. Client hereby agrees to indemnify, defend and hold harmless Inspector if, through the unauthorized distribution of this report, any third party brings claim against Inspector relating to the Inspection or Inspection report.

By signing below, you acknowledge that you were made aware that Full Disclosure Home Inspection, its Inspector(s) and all persons associated/employed by Full Disclosure Home Inspection are limited in liability to the fee paid for the Inspection and Report as designated at the top of this Agreement.

By signing below, you authorize us to distribute copies of the report to the real estate agent(s) working on client's behalf,

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directly involved in this transaction, who are not designated beneficiaries of the Report, intended or otherwise.

Acceptance of this agreement in full is acknowledged by the signing of this document, physically or electronically, or by making payment in full to either Full Disclosure Home Inspection, Full Disclosure Property Inspection or Melanie Moore in any form. If payment is made in cash a Paid in Full receipt will be given to client and kept on file by inspector.

Electronic Signature box and Acceptance button are at the very bottom of this document. Please complete signature electronically by typing name in the provided box, accepting then clicking Submit.

\_\_\_\_\_/\_\_\_\_\_/\_\_\_\_\_

Signature of Client or Clients Legal Representative Date Signed

I, Melanie M. Moore Tennessee Inspector's License #000841 do hereby agree to the terms and conditions of this document. Let the sending of this document from my verifiable I.P. address constitute legal signature to the client from Melanie M. Moore of Full Disclosure Property/Home Inspection.

**I, John Smith (Signature)\_\_\_\_\_, (Date)\_\_\_\_\_, have read, understood and accepted the terms of this agreement.**

Make Sure you are Informed before signing that dotted line...

# SUMMARY

123 Any Street, Any Town, TN February 19, 2018

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SUMMARY

ROOFING

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This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

## Roofing

### SLOPED ROOFING \ Asphalt shingles

**Condition:** • Overhangs too big or small

Asphalt roofing is designed to overhang the edge of the roof from 1-1 ½" without breaking when installed properly with starter strip and drip edge. This length allows the roofing to propel the water well over the edge of the structure preventing water damage. Overhangs that are left too short fail to do this. Just as bad however is leaving the overhang weighty and, when the tar based material heats and softens, allow it to bend under the weight and break where it folds and the roofline.



1. Overhangs too big or small Asphalt roofing...

**Condition:** • Raised fasteners under roofing - When you see shingle humped up, usually that means a nail/fastener has backed out under it. This can cause a leak to form on top of the nail head due to weather deteriorating the high point faster than surrounding material. To correct this, you can use a flat wide piece of thin metal, like a flat bar. Gently lift the shingle only as high as necessary to see to place the metal on top of the head, then lay the shingle on the metal. Take a small bloc of wood and lay it on top of the shingle sandwiching the roofing between the metal and wood, then strike the wood with a hammer reseating the nail. This will spread the blow and lessen damage to the shingle we are trying to protect.



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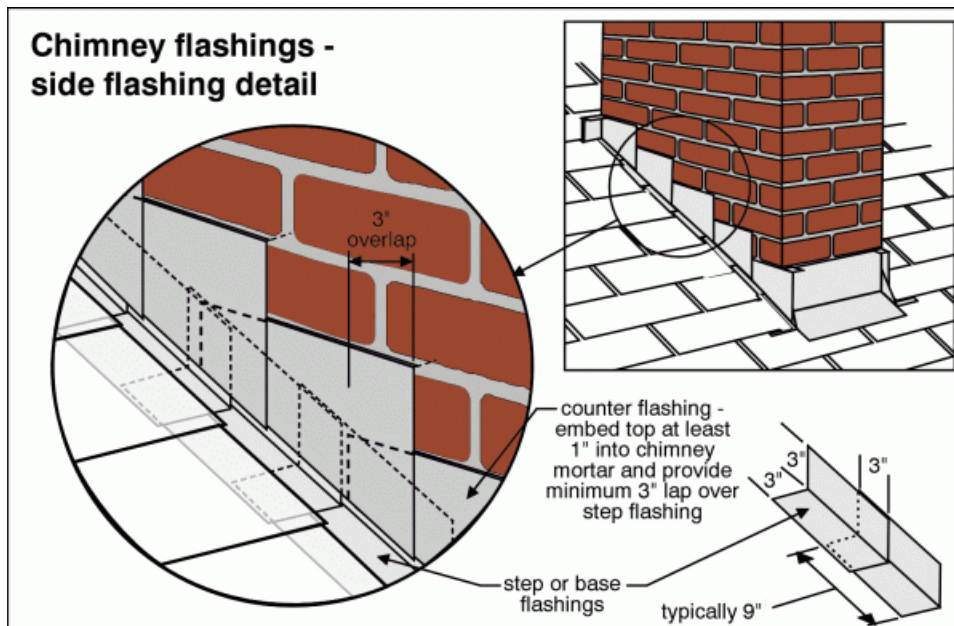
2. Raised fasteners under roofing - When you...

## SLOPED ROOF FLASHINGS \ Chimney flashings

Condition: • [Not let into mortar joints](#)

Top edge of the counter flashing appears to be caulked rather than cut in

Implication(s): Chance of water damage to contents, finishes and/or structure



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3. Not let into mortar joints

## Exterior

### ROOF DRAINAGE \ Gutters

**Condition:** • Loose

**Task:** Repair

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4. Loose

## WALLS \ Soffits and fascia

Condition: • Water Damaged



5. Water Damaged

## WALLS \ Fiber cement siding

Condition: • [Mechanical damage](#)

Implication(s): Chance of water damage to contents, finishes and/or structure



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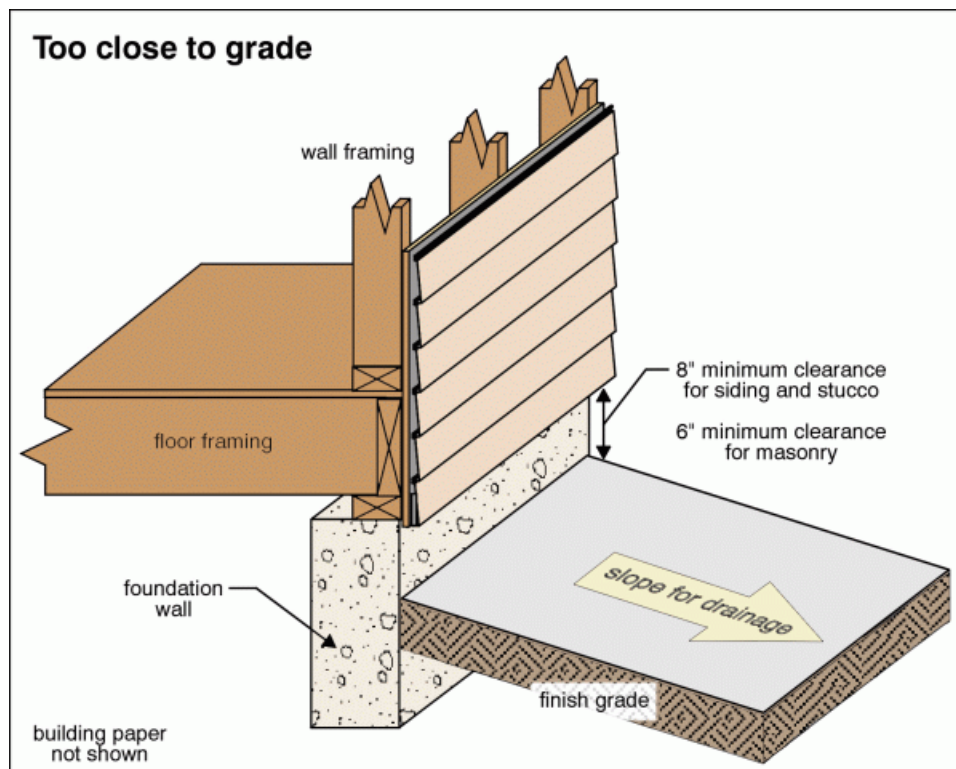
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6. Mechanical damage

Condition: • [Too close to grade](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Rot



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7. Too close to grade

## EXTERIOR GLASS/WINDOWS \ Exterior trim

Condition: • [Rot](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Right Side Exterior



8. Rot



9. Rot

Condition: • [Paint or stain needed](#)

There is what appears to be some lead-based paint that is not secure that needs to be scraped and/or painted over. Any loose paint should be scraped loose. Anything that is well attached can be painted over and sealed and become a non issue.

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Task: Improve

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**Time:** Regular maintenance



10. Paint or stain needed



11. Paint or stain needed

## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General

**Condition:** • [Wood/soil contact](#)

**Implication(s):** Rot | Insect damage



12. Wood/soil contact

## LANDSCAPING \ General

**Condition:** • Debris encourages rodents.



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13. Debris encourages rodents.



14. Debris encourages rodents.

## Condition: • Wood touching foundation

There are some landscape Timber framed Planters beside the home that appear to have insect damage that are touching the foundation of the home where the siding is too close to grade. This is a perfect environment to allow wood-boring insects into the structure. I highly recommend this wood be removed and this area thoroughly inspected by termite inspector.

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15. Wood touching foundation

**Condition:** • Trees overhanging roof can speed roofing deterioration and fill gutters.



16. Trees overhanging roof can speed roofing...

**Condition:** • [Trees or shrubs too close to building](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Chance of pests entering building | Material deterioration

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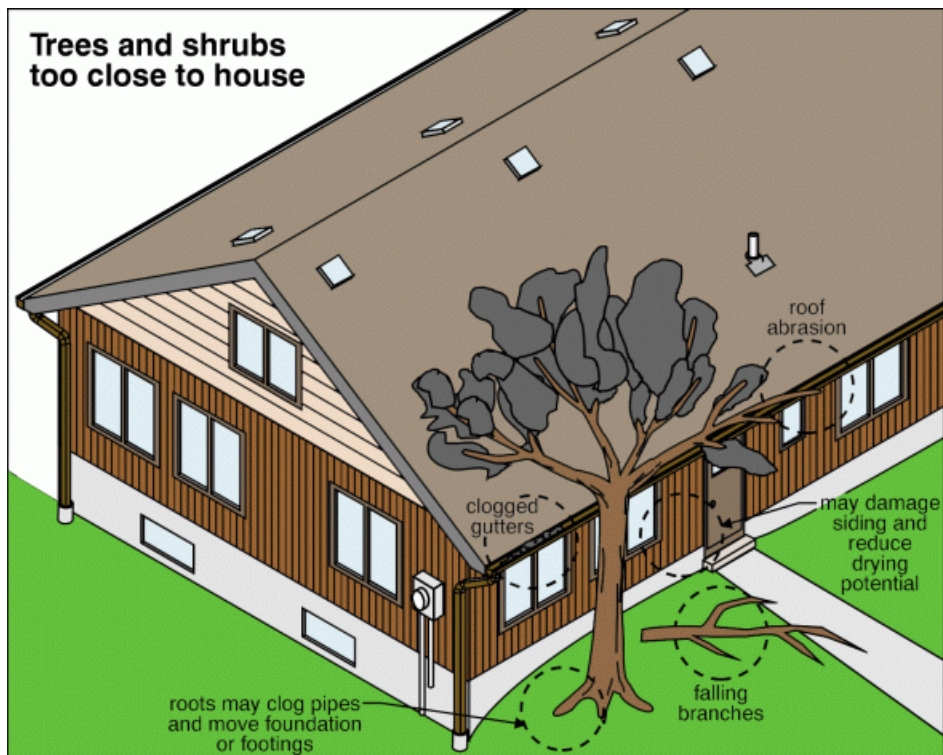
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17. Trees or shrubs too close to building

## LANDSCAPING \ Retaining wall

Condition: • [Leaning](#)



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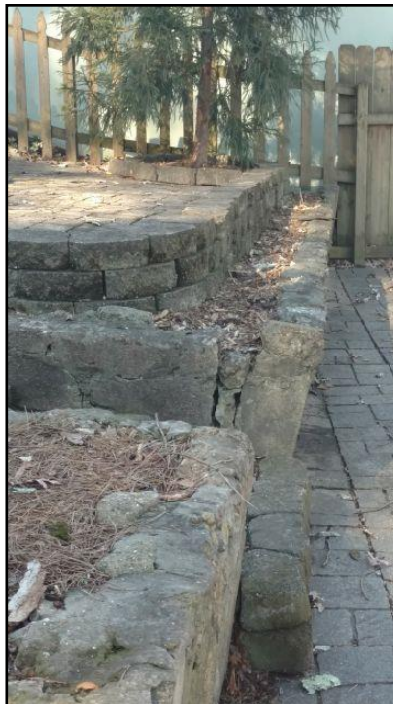
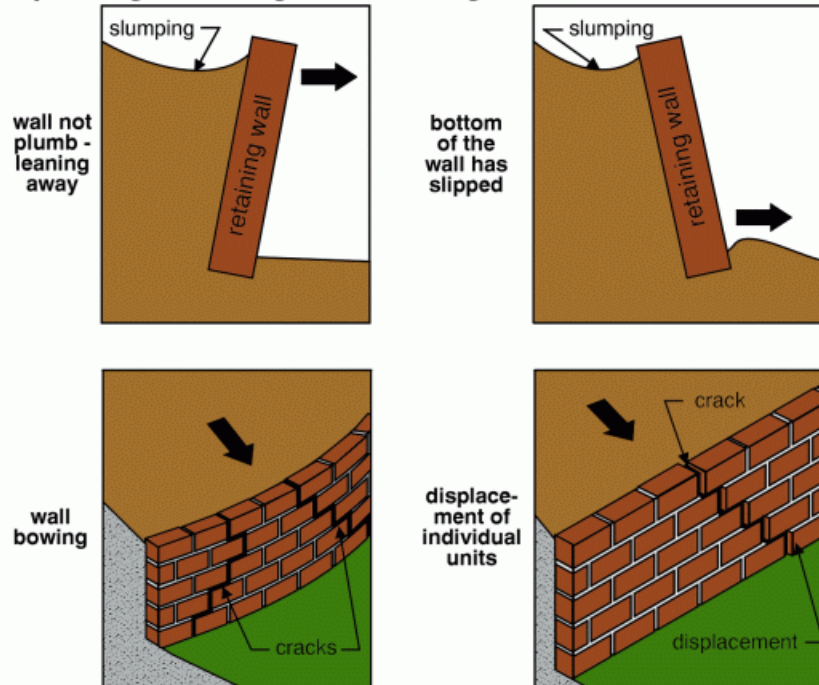
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**Implication(s):** Weakened structure | Chance of movement

**Task:** Monitor

## Inspecting retaining walls - things to watch for



18. Leaning

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## Structure

### FOUNDATIONS \ General

**Condition:** • recommend termite inspector

Possible signs of wood-boring insect activity on Main beam. I highly recommend that there are termite inspection and any areas they find current or past activity and having a structural inspection.



19. recommend termite inspector



20. recommend termite inspector

### FLOORS \ Beams

**Condition:** • [Rotated or twisted beams](#)

The band that has possible wood-boring insect damage also seems to be splitting down the center where it is spanning between columns. I recommend this be checked for structural integrity

**Implication(s):** Weakened structure | Chance of structural movement



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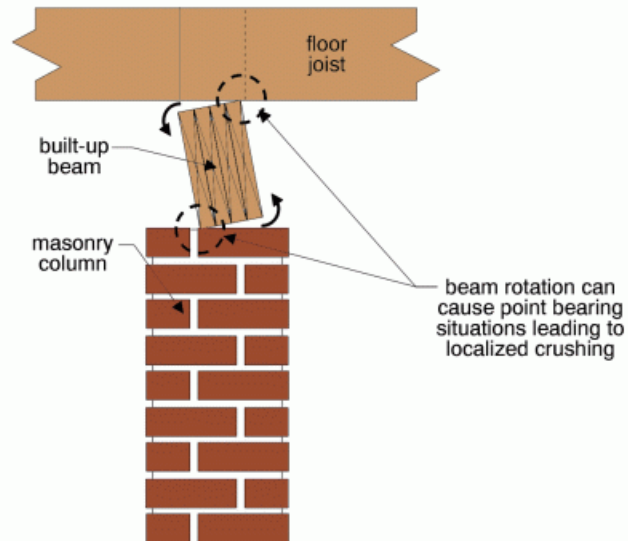
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## Rotated or twisted beams



21. Rotated or twisted beams

### Condition: • [Prior repairs](#)

While a 2x8 has been scammed to a property of what appears to be a wood boring insect damaged beam, the board does not real a load bearing point not reach the full length plus some of the damaged beam.

**Implication(s):** Weakened structure

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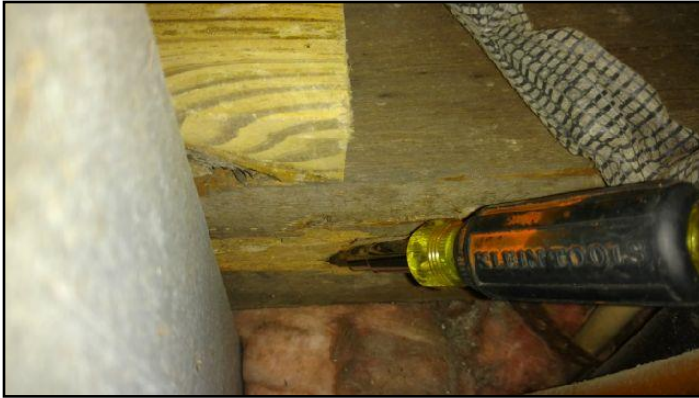
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22. Prior repairs



23. Prior repairs



24. Prior repairs



25. Prior repairs



26. Prior repairs

Condition: • [Prior repairs](#)

Implication(s): Weakened structure

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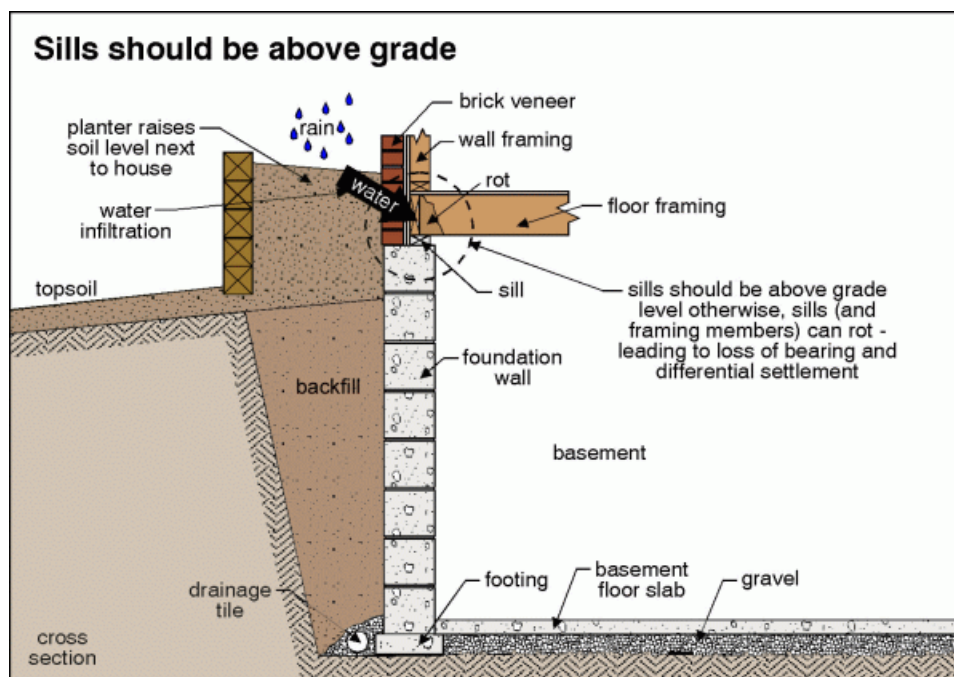


27. Prior repairs

## FLOORS \ Sills

Condition: • [Rot or insect damage](#)

Implication(s): Weakened structure





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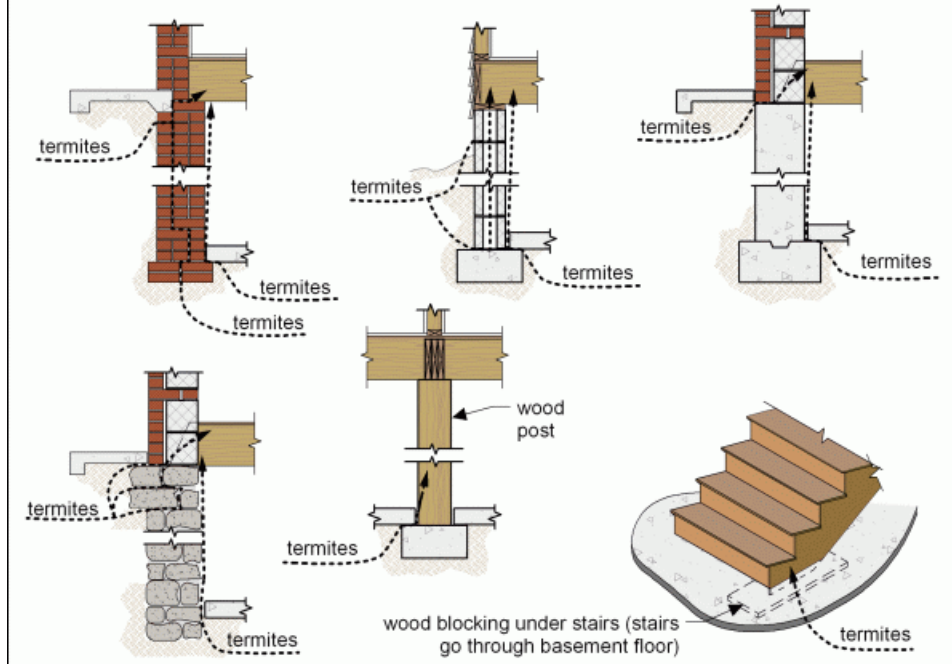
PLUMBING

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## Inspecting for subterranean termites - interior



28. Rot or insect damage

Condition: • [Insect damage](#)

Implication(s): Weakened structure

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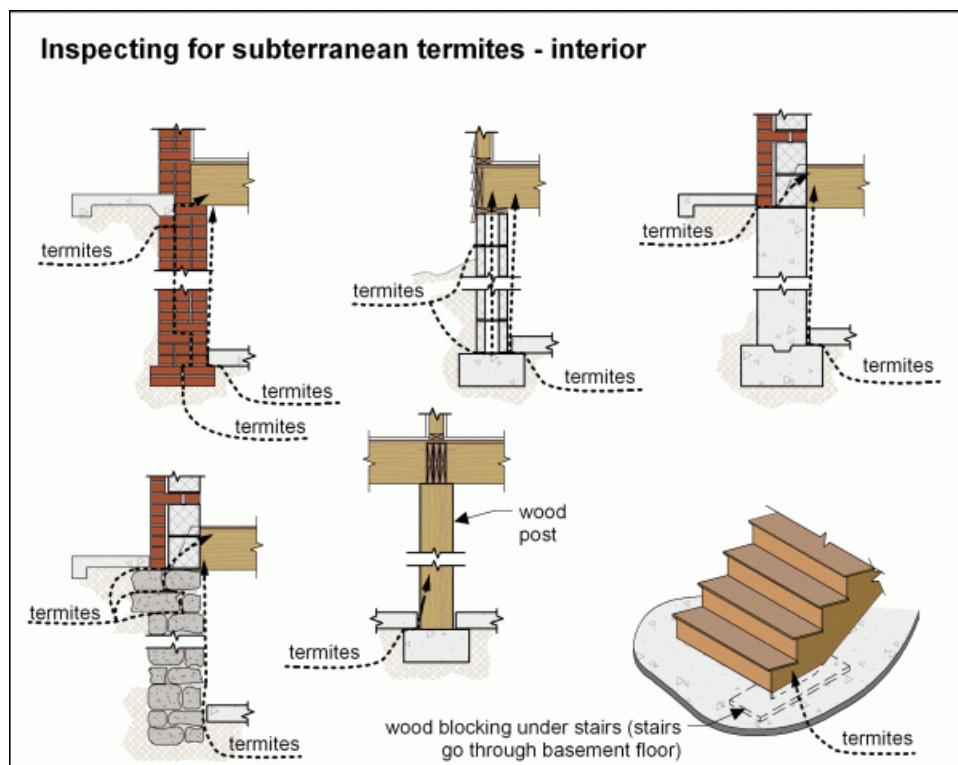
29. Insect damage

## FLOORS \ Joists

**Condition:** • [Rot, insect or fire damage](#)

A short area of insect damaged joist does have a repair board but here again it does not reach the length of the damage in to undamage material. This board serves no purpose as it is installed

**Implication(s):** Weakened structure



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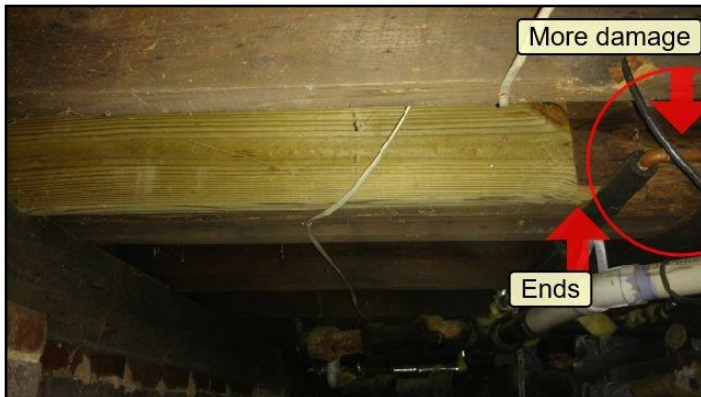
INSULATION

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30. Rot, insect or fire damage



31. Rot, insect or fire damage



32. Rot, insect or fire damage



33. Rot, insect or fire damage

**Condition:** • [Rot, insect or fire damage](#)

Several Joists have no repairs made to them with signs of insect damage. I highly recommend a thorough termite and individual joist structural inspection



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**Implication(s):** Weakened structure



**34.** *Rot, insect or fire damage*



**35.** *Rot, insect or fire damage*



**36.** *Rot, insect or fire damage*



**37.** *Rot, insect or fire damage*



**38.** *Rot, insect or fire damage*

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**Condition:** • [Rot, insect or fire damage](#)

**Implication(s):** Weakened structure



39. Rot, insect or fire damage

## WALLS \ Wood frame walls

**Condition:** • [Rot, insect or fire damage](#)

Damaged area is by Stellar access and does not appear to be jeopardizing the structure.

**Implication(s):** Weakened structure



40. Rot, insect or fire damage



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## Electrical

### DISTRIBUTION SYSTEM \ Wiring - installation

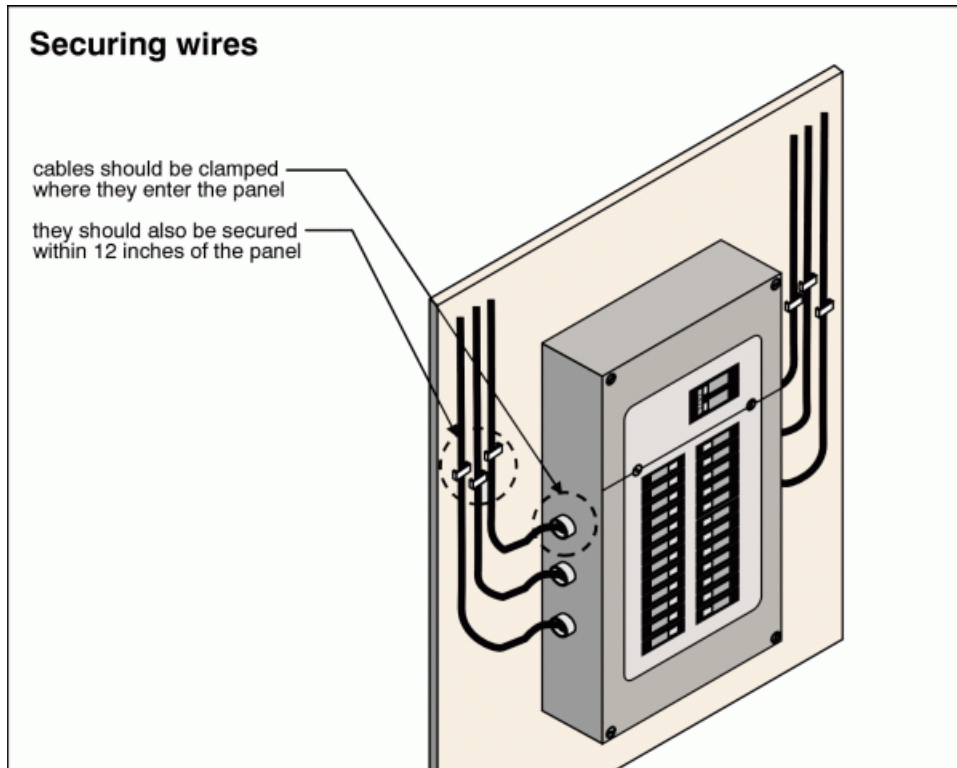
Condition: • [Not well secured](#)

Implication(s): Electric shock | Fire hazard

#### Securing wires

cables should be clamped  
where they enter the panel

they should also be secured  
within 12 inches of the panel



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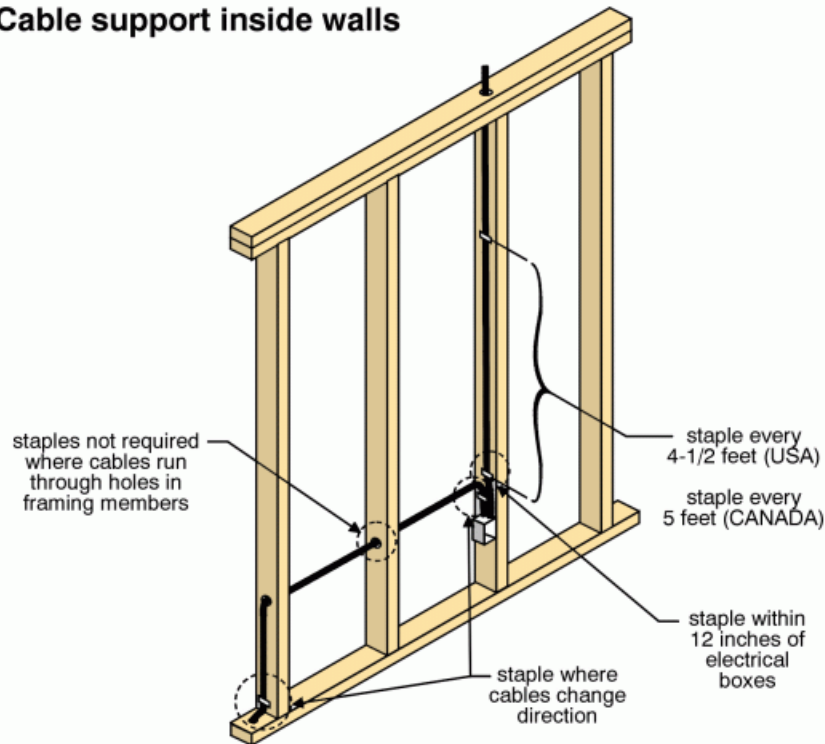
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## Cable support inside walls



41. Not well secured

## DISTRIBUTION SYSTEM \ Outlets (receptacles)

**Condition:** • Open Ground

Only the right Outlet in the double Outlet panel beside the kitchen sink is open ground.

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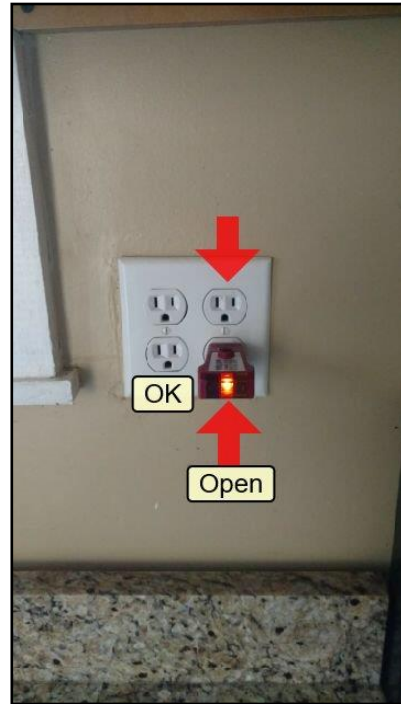
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42. Open Ground



43. Open Ground

## DISTRIBUTION SYSTEM \ Lights

**Condition:** • [Inoperative](#)

Light only was inoperative. The fan did operate

**Implication(s):** Inadequate lighting

**Location:** Front bedroom

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44. Inoperative

## Heating

### General

- Equipment placed in the attic over finished space is required to have a walk path to the unit where it can be accessed without the possibility of a technician stepping through the ceiling of damaging duct \* over it. This unit is placed where this is not possible. I recommend a path be installed and secured to protect ceilings/ducting.

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45. Equipment placed in the attic over finished...

## Cooling & Heat Pump

### AIR CONDITIONING \ Condensate drain line

Condition: • [Missing](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Damage to equipment

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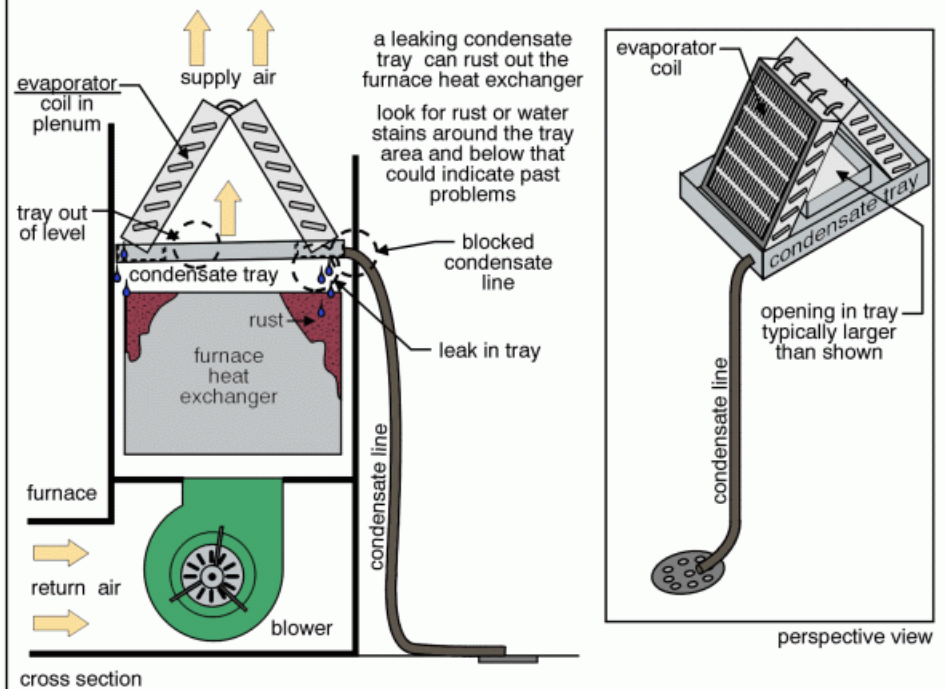
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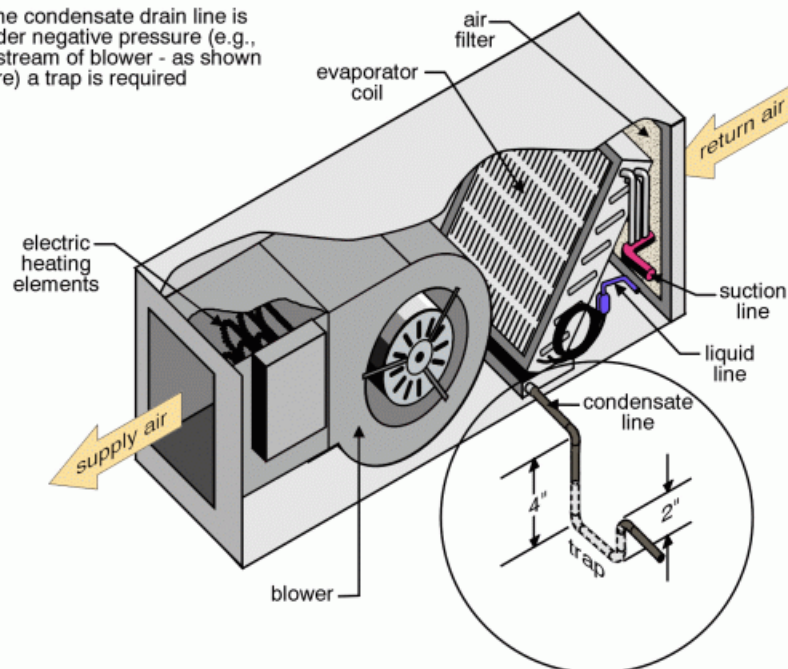
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## Leaking condensate tray



## Trap required in condensate line

if the condensate drain line is under negative pressure (e.g., upstream of blower - as shown here) a trap is required





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46. Missing

## AIR CONDITIONING \ Ducts, registers and grilles

**Condition:** • Ductwork is laying on the ground. This will deteriorate the protective coating causing leaks.



47. Ductwork is laying on the ground. This will...

**Condition:** • Cowling is sagging and retaining water and debris.

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48. Cowling is sagging and retaining water and...

## AIR CONDITIONING \ Thermostat

**Condition:** • This inspector could not get the first floor thermostat to change temperature and was unable to test the downstairs unit. I highly recommend that a HVAC professional be consulted during the inspection period To evaluate this equipment. This inspector also placed the thermostat fan in the on position rather than the auto position and could not get the unit fan to come on.



49.



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## Plumbing

### WATER HEATER \ Tank

**Condition:** • Drainline to exterior from water heater safety pan was missing  
The drain line from the pan is emptying into the crawl space



50. Drainline to exterior from water heater...

### WATER HEATER \ Temperature/pressure relief valve

**Condition:** • TPR Drainline draining in to pan instead of out of home on it's own line.

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51. TPR Drainline draining in to pan instead of...

## WASTE PLUMBING \ Drain piping - installation

**Condition:** • Fall on drain line is not sufficient

**Task:** Improve



52. Fall on drain line is not sufficient

## FIXTURES AND FAUCETS \ Faucet

**Condition:** • Flow lower than balance of home

**Location:** Second Floor

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53. Flow lower than balance of home



54. Flow lower than balance of home

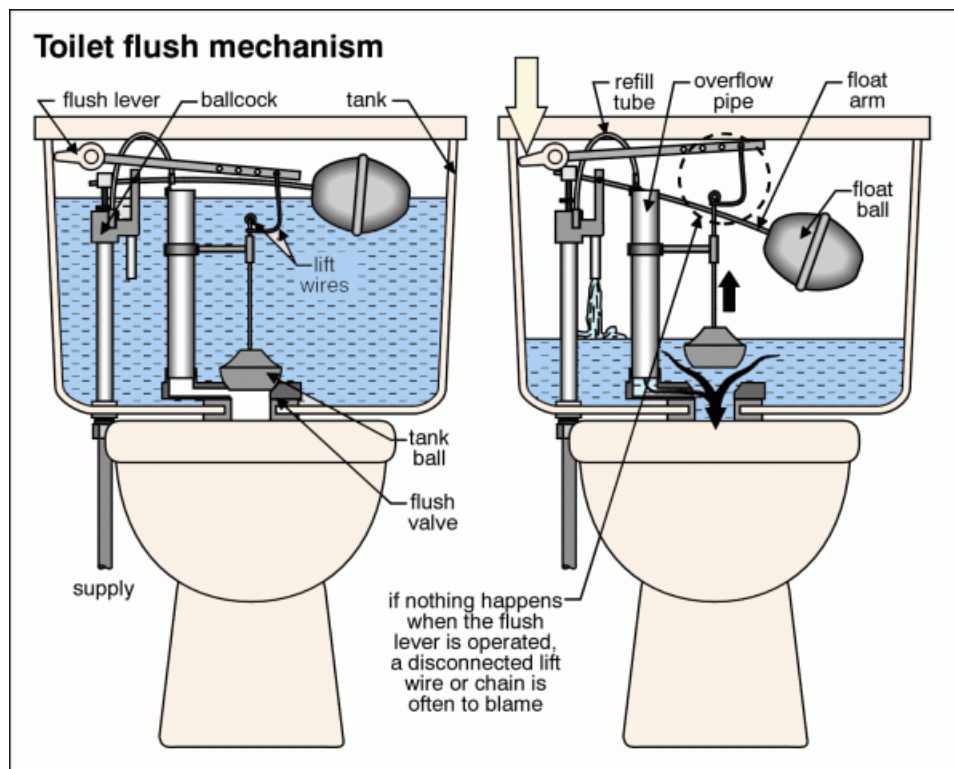
## FIXTURES AND FAUCETS \ Toilet

Condition: • [Running continuously](#)

It appears the water level needs to be adjusted in the upstairs toilet to prevent continual running

**Implication(s):** Chance of condensation damage to finishes and/or structure | Increased water consumption

**Location:** Second Floor



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55. Running continuously

## Interior

### CEILINGS \ Fan

**Condition:** • Noisy

**Implication(s):** Noise nuisance

**Location:** Living Room



56. Noisy

### WALLS \ Plaster or drywall

**Condition:** • Damaged

**Implication(s):** Damage or physical injury due to falling materials

**Location:** Second Floor closet



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57. *Damaged*

## WINDOWS \ Glass (glazing)

Condition: • [Cracked](#)

Implication(s): Physical injury

Location: Front Second Floor



58. *Cracked*

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## Condition: • Safety glass not installed

When a window is less than 16 inches from the ground it is normally required that this glass be tempered. The window in the bonus area upstairs is approximately 8 inches from the floor. I recommend checking with the building inspector to see if this is okay according to the code as they enforce or having this bottom sash changed to a tempered glass for safety sake. It does appear with the amount of remodeling that has been done on this structure a building permit would have been required and the areas that were affected would be subject to current code AS of the date that permit was pulled

**Implication(s):** Physical injury



59. Safety glass not installed

## DOORS \ General

**Condition:** • The right hand pocket door between the living room and dining room was hard to open and close. I recommend it be adjusted



60.

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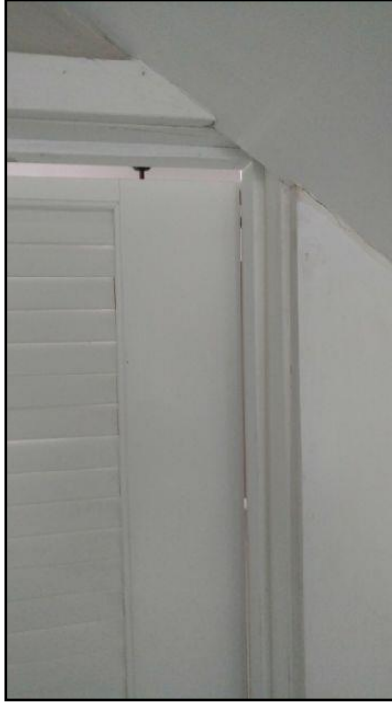
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## DOORS \ Doors and frames

**Condition:** • Too tight in frame. Needs shaved, adjusted.

**Location:** Second Floor



**61.** *Too tight in frame. Needs shaved, adjusted.*

## DOORS \ Hardware

**Condition:** • Stiff operation

While this inspector could get the deadbolt to latch from the inside using the thumb turn while applying pressure to the door she could not get the deadbolt to latch using the key from the outside. I recommend this be adjusted

**Location:** Front First Floor Porch

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62. Stiff operation

Condition: • [Ineffective](#)

Implication(s): Equipment ineffective



63. Ineffective

Condition: • [Ineffective](#)

Implication(s): Equipment ineffective



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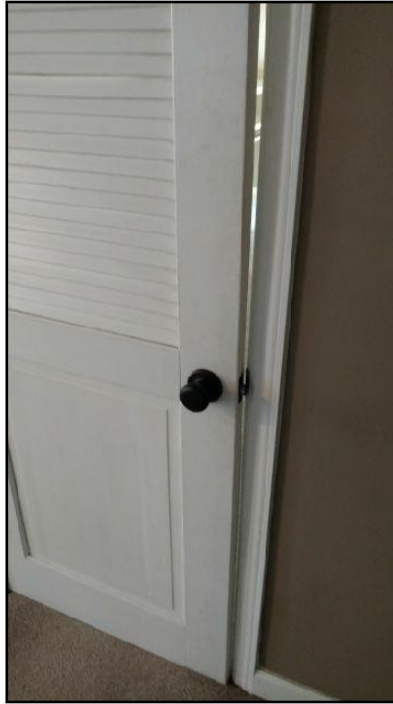
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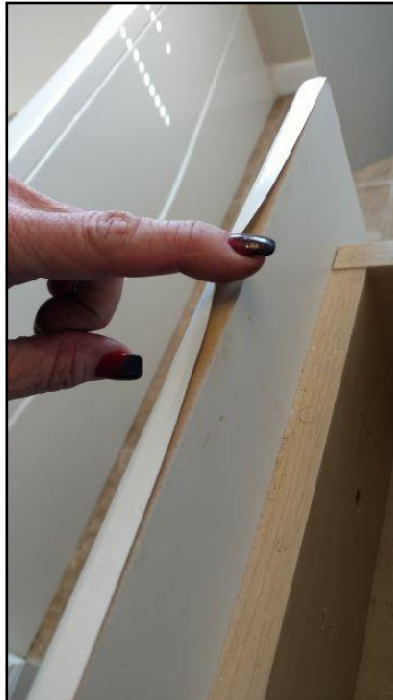


64. Ineffective

## CARPENTRY \ Cabinets

**Condition:** • Damage

**Location:** Second Floor Bathroom



65. Damage

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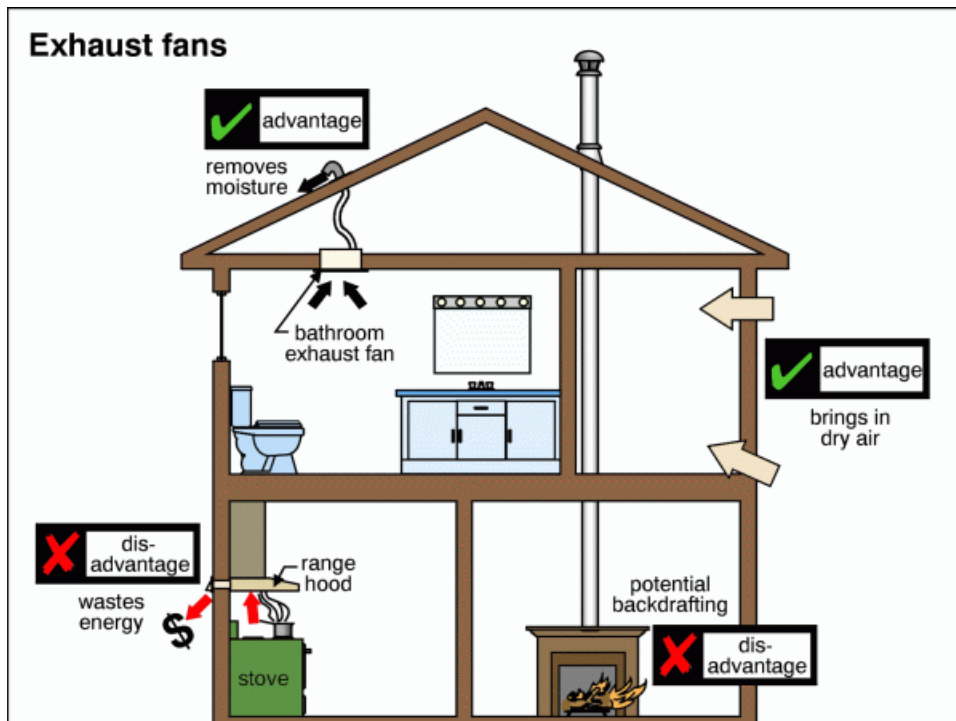
## EXHAUST FANS \ General

Condition: • [Missing](#)

Operable windows or an exhaust fan is required in a bathroom that has bathing facilities. The windows in the upstairs bathroom are fixed and no fan is present

Implication(s): Chance of condensation damage to finishes and/or structure

Location: Second Floor Bathroom



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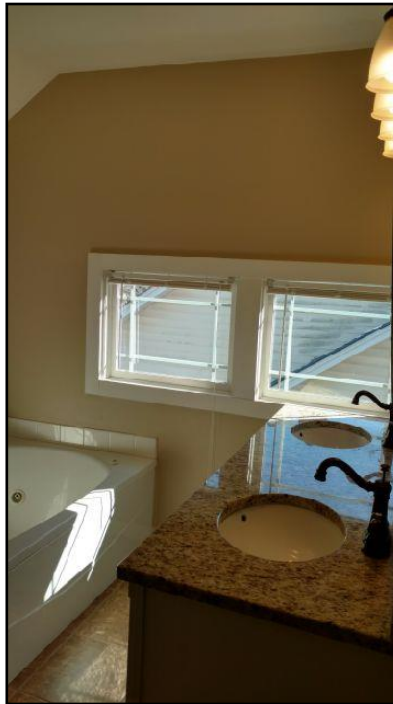
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66. Missing

## APPLIANCES \ Range

**Condition:** • Missing Anti-tip bracket on range - The anti-tip bracket is provided by the manufacturer to prevent the unit from being pulled over in certain conditions, such as a child using the oven door for a step. This is a severe injury/life-safety issue. This bracket is in the owner's manual packet when a range is purchased. If it is not available, you can contact the manufacturer, provide the model number of the appliance that can normally be found on a label in the pan drawer, and they will normally provide one for you. They can also be purchased after-market on line or at some hardware stores.

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67. Missing Anti-tip bracket on range - The...

## APPLIANCES \ Dishwasher

**Condition:** • Inoperative

This inspector number got the dishwasher to begin cycle. Is possible this inspector was unfamiliar with its operation. Consult the seller for operation and demonstration that it does work.

**Implication(s):** Equipment inoperative



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**68.** *Inoperative*

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

## Description

**Sloped roofing material:** • 25+ year Architectural Asphalt shingles • The roofing appears to have life remaining under normal conditions.

**Sloped roofing material:** • [Strip when reroofing](#)

**Sloped roof flashing material:** • Metal

## Limitations

**Inspection performed:** • The roof is one of the most important components on a home and a thorough roofing inspection is an important part of your inspection to help determine condition, proper application and life remaining in your roofing. However, roofing should NEVER be walked on for no specific reason. It is highly discouraged in both the roofing and inspection industry as damage to the roofing or decking could easily occur. As inspectors, we make every effort to view all areas of your roof including but not limited to flashings, underlayment, ridges, venting, drip edge, starter strip, fasteners, etc., while maintaining my own safety and the integrity of your roof. I have many tools at my disposal such as high-power binoculars, ladders and a drone for some conditions. The roof can also be examined from the interior with Infra-red thermography, High power flashlight, darkness, etc. Upstairs windows and elevated areas of the yard and upper decks are also ways to gain better complete view. If there is a reason to go on the roofing then, by all means, it will be walked on. Do not expect your inspector to walk on the roof unless it is necessary and safety for the inspector will always take precedence.

## Recommendations

### General

- Due to a repeated trend that myself and other inspectors in the market are seeing, unless this roof is new and there has been no serious weather since it was installed, I recommend you contact your intended insurance company during your due-diligence period and ask them to confirm their standings on this roof's insurability during your due-diligence period. I and other inspectors have been called, after observing that a roof has life left in it, by clients telling us the insurance companies are refusing or dropping insurance on the home due to roof conditions. I, as an inspector, have spoken to known insurance piers and they have confirmed that their companies are clamping down on their expectations. Unless I stated different within this report I found that the roof has life remaining. I do not ever state how much life. Future conditions affect this heavily. This simply means that as of the day and time I inspected this home the viewable roof was not catastrophically failing due to wear.
- When a condition is observed, such as a window seal failed or plumbing leak, while the service provider is present further evaluating or repairing the condition, have the provider check all other similar products or areas that are the same. I.E.; If I note loose guttering and picture one spot, have all guttering checked, or all windows checked for seals integrities, etc. They are invasive where I am not. If there is floor insulation and a leak or damaged framing found, have all plumbing or framing looked at where they can move insulation. Unless there is a reason, per home inspectors governing Standards of Practice, we do not pull insulation. Please read the provided standards of practice for further information. Thank you.
- Please understand that if you are buying an older home, it will most probably have older materials, mechanicals, plumbing, electrical, etc. Many things will not be in new condition. This is not atypical and such items will be identified but not necessarily found faulty. (Example: An older garage door might be installed on a older home. That is not something I would address.)

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## SLOPED ROOFING \ Asphalt shingles

### **4. Condition:** • Overhangs too big or small

Asphalt roofing is designed to overhang the edge of the roof from 1-1 ½" without breaking when installed properly with starter strip and drip edge. This length allows the roofing to propel the water well over the edge of the structure preventing water damage. Overhangs that are left too short fail to do this. Just as bad however is leaving the overhang weighty and, when the tar based material heats and softens, allow it to bend under the weight and break where it folds and the roofline.



**69.** Overhangs too big or small Asphalt roofing...

**5. Condition:** • Raised fasteners under roofing - When you see shingle humped up, usually that means a nail/fastener has backed out under it. This can cause a leak to form on top of the nail head due to weather deteriorating the high point faster than surrounding material. To correct this, you can use a flat wide piece of thin metal, like a flat bar. Gently lift the shingle only as high as necessary to see to place the metal on top of the head, then lay the shingle on the metal. Take a small bloc of wood and lay it on top of the shingle sandwiching the roofing between the metal and wood, then strike the wood with a hammer reseating the nail. This will spread the blow and lessen damage to the shingle we are trying to protect.



**70.** Raised fasteners under roofing - When you...

## SLOPED ROOF FLASHINGS \ Chimney flashings

### **6. Condition:** • [Not let into mortar joints](#)

Top edge of the counter flashing appears to be caulked rather than cut in

**Implication(s):** Chance of water damage to contents, finishes and/or structure

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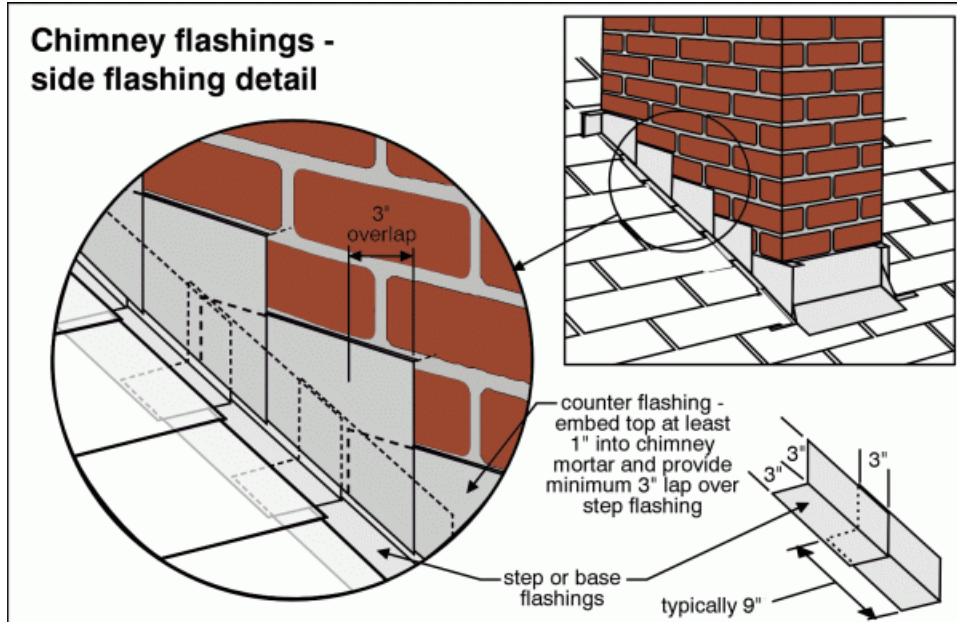
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## Chimney flashings - side flashing detail



71. Not let into mortar joints

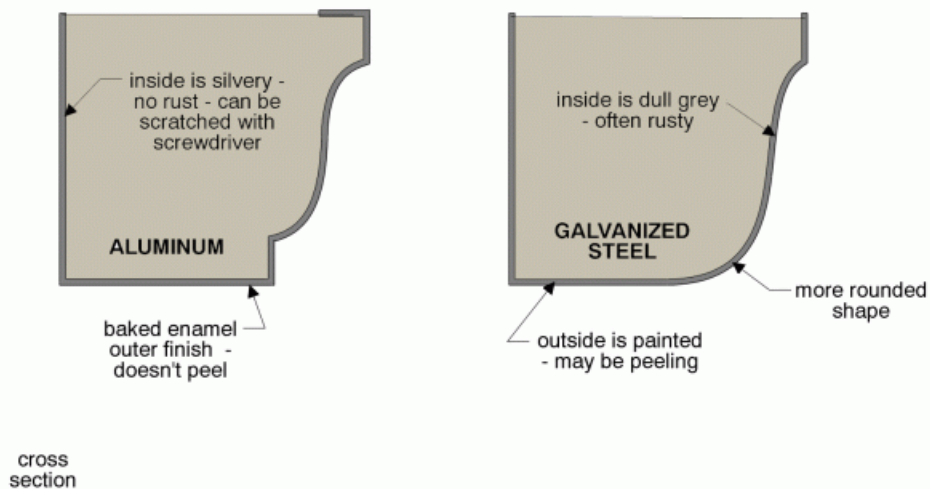


## Description

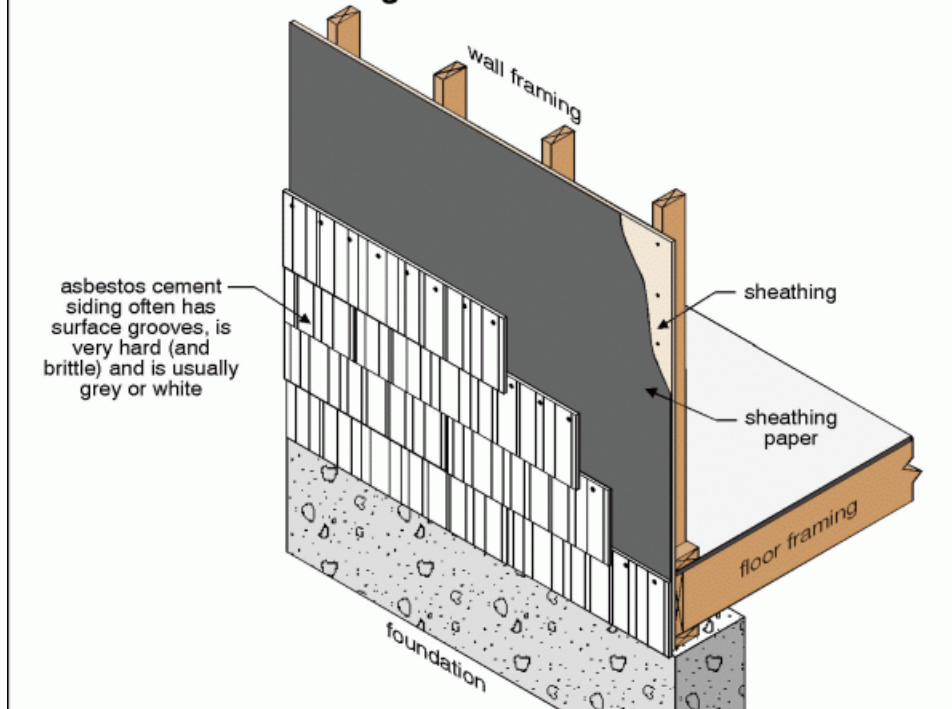
### Gutter & downspout material:

- [Galvanized steel](#)

#### Identifying aluminum and galvanized steel gutters



#### Asbestos cement siding



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**Gutter & downspout type:** • [Eave mounted](#)

**Downspout discharge:** • [Below grade](#) • [Above grade](#)

**Lot slope:** • [Towards building](#) • [Flat](#)

**Soffit and fascia:** • [Wood](#)

**Wall surfaces and trim:** • [Asbestos cement shingles](#)

**Retaining wall:** • [Masonry](#)

**Driveway:** • Gravel

**Walkway:** • Patio stones

**Deck:** • Ground level • Pressure-treated wood

**Porch:** • Wood

**Exterior steps:** • None

**Fence:** • Wood

## Limitations

**General:** • Condition: WOOD SHAKE/SHINGLE EXTERIOR SIDING STATEMENT: On a home with wood shake/shingle siding it is possible for water damage/rot to be behind the siding due to the way the siding is installed/nailed it is next to impossible to tell if a shingle has split, moved or shrank allowing water to seep below the siding. On older homes with this application the underlayment installed prior to siding was not as water resistive as modern materials. Over time, if say tar paper was used and water has found access to the material, after a prolonged exposure to the water source the material could fail. Another access is for moisture to travel the fastener. This inspector visually inspects the condition of the siding but in no way guarantees there is not unseen water damage.

**Inspection limited/prevented by:** • Poor access under steps, deck, porch • Vines/shrubs/trees against wall

**Exterior inspected from:** • Ground level

## Recommendations

### ROOF DRAINAGE \ Gutters

**7. Condition:** • Loose

**Task:** Repair

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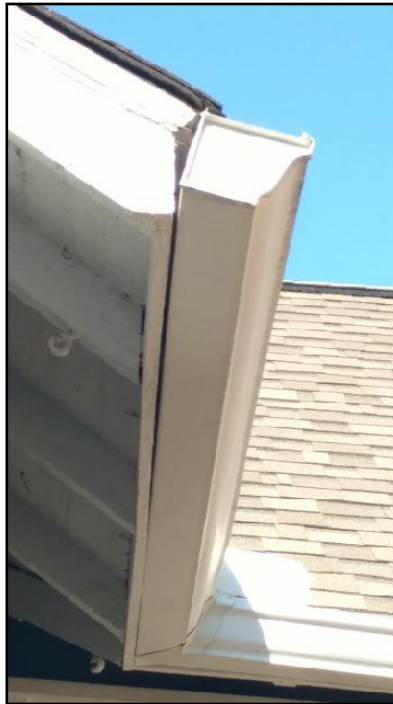
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72. Loose

## ROOF DRAINAGE \ Downspouts

**8. Condition:** • When gutters are cut to allow the flow to dump directly on to the roofing, or downspouts are discharging on to roofing, the concentrated flow dumping on to the roofing will cause the granular protection of the shingle to be washed away at an accelerated pace in these concentrated areas. The roofing in these particular areas wears at a faster pace than the balance of the roofing. Sadly, guttering is normally installed close to flashed areas which are the most susceptible areas on a roof to leaks. This is easily corrected. The cut end of the gutter can be capped, and a proper downspout can be added and hard piped down to the lower gutter where the flow was already being allowed to run as long as that gutter has sufficient size to handle the water load it is being asked to handle. The new downspout can lay directly on the roofing material, or be strapped to a nearby surface. This will allow the roofing to all wear at an even pace. Another option is to remove the upper guttering allowing the water to run off the eaves in a gravity flow. The concentrated impact will be lessened. It need to be taken in to consideration the additional volume of water (is it big or small according to the size of the roof that is being drained). If it is a small roof added, it does not increase the water load like a larger span. Downspouts discharging onto the roofing where the flow is pointing at the side of the shingles has a higher risk of allowing water intrusion due to the possibility of water going under the shingle tab from the side.

**9. Condition:** • Buried downspout maintenance. If this home has downspouts that discharge into a buried line it is highly recommended to verify that the line is working as intended. Buried downspouts can become clogged or crushed, or the outlet can be blocked. I highly recommend running a waterhose into the drainline to see if it backs up as well as locating the discharge of the line so you can occasionally verify all is in good operating order. Failure to do this could result in water being discharged beside your home's foundation which could cause serious structural damage or water issues under the home.

## WALLS \ Soffits and fascia

**10. Condition:** • Water Damaged

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73. Water Damaged

## WALLS \ Fiber cement siding

11. Condition: • [Mechanical damage](#)

Implication(s): Chance of water damage to contents, finishes and/or structure



74. Mechanical damage

12. Condition: • [Too close to grade](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Rot

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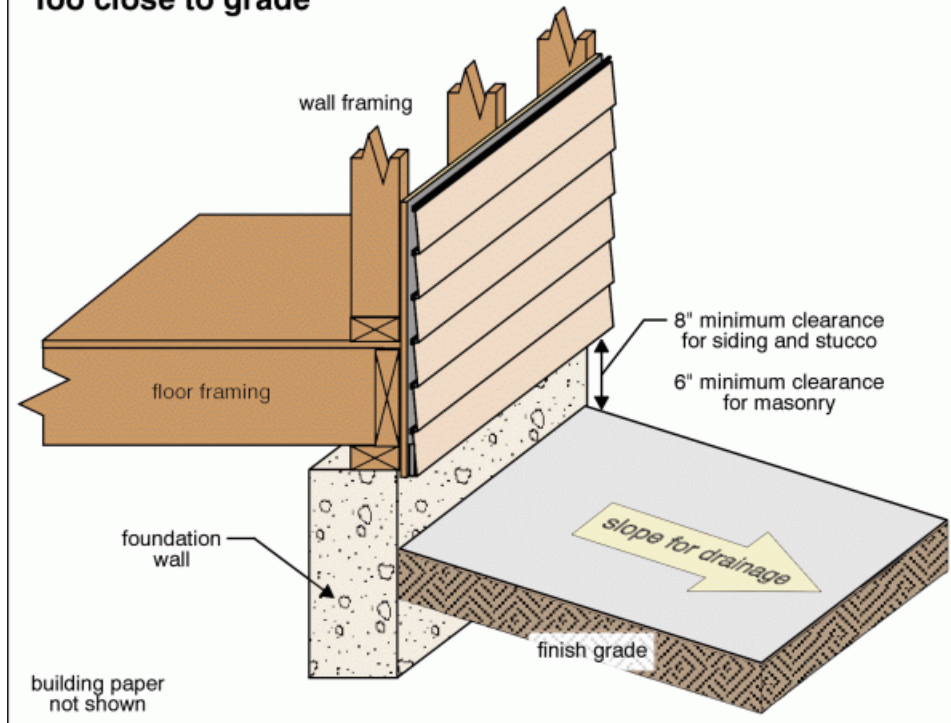
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## Too close to grade



75. Too close to grade

## EXTERIOR GLASS/WINDOWS \ Exterior trim

13. Condition: • [Rot](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Right Side Exterior



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76. Rot



77. Rot

## 14. Condition: • [Paint or stain needed](#)

There is what appears to be some lead-based paint that is not secure that needs to be scraped and/or painted over. Any loose paint should be scraped loose. Anything that is well attached can be painted over and sealed and become a non issue.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Material deterioration

**Task:** Improve

**Time:** Regular maintenance

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78. Paint or stain needed



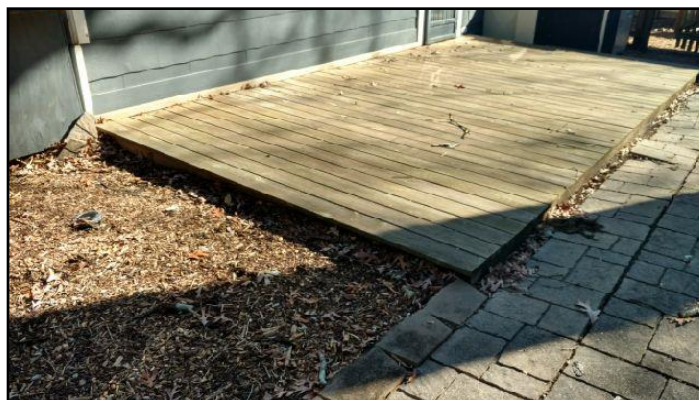
79. Paint or stain needed

## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General

**15. Condition:** • Paint/stain/sealer needed. All exterior wood needs to be sealed in some way to stabilize moisture content in wood to help prevent the swelling/drying effect that splits and rots wood as well as causes fasteners to pull loose. Water should bead on wood, not absorb.

**16. Condition:** • [Wood/soil contact](#)

**Implication(s):** Rot | Insect damage



80. Wood/soil contact

## LANDSCAPING \ General

**17. Condition:** • Debris encourages rodents.

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81. Debris encourages rodents.



82. Debris encourages rodents.

## 18. Condition: • Wood touching foundation

There are some landscape Timber framed Planters beside the home that appear to have insect damage that are touching the foundation of the home where the siding is too close to grade. This is a perfect environment to allow wood-boring insects into the structure. I highly recommend this wood be removed and this area thoroughly inspected by termite inspector.



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83. Wood touching foundation

19. **Condition:** • Trees overhanging roof can speed roofing deterioration and fill gutters.



84. Trees overhanging roof can speed roofing...

20. **Condition:** • [Trees or shrubs too close to building](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Chance of pests entering building | Material deterioration

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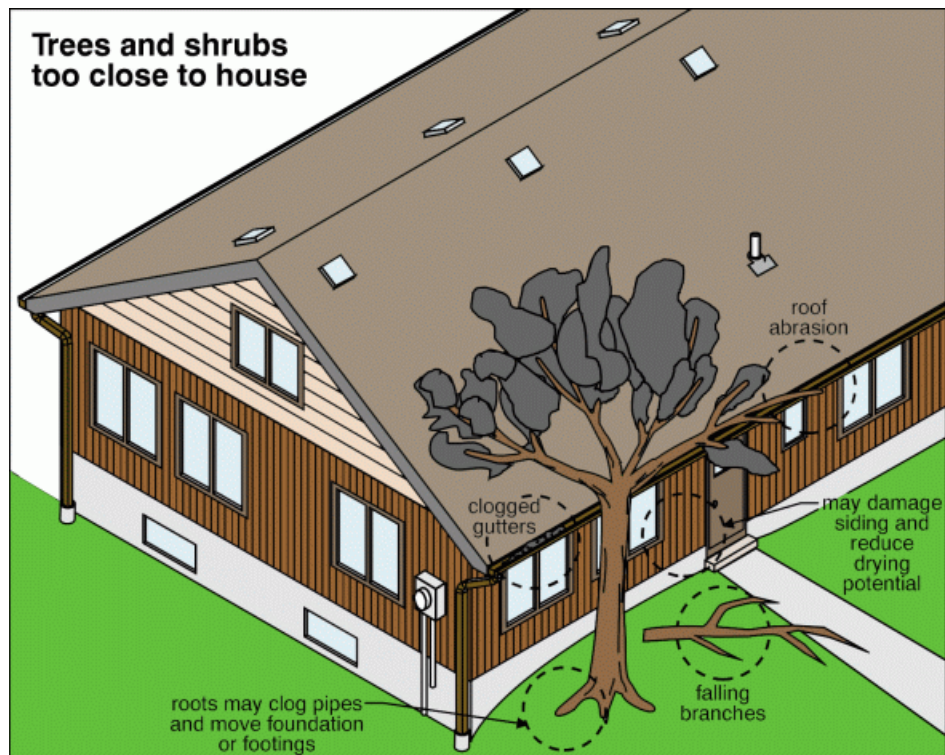
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85. Trees or shrubs too close to building

## LANDSCAPING \ Driveway

21. **Condition:** • MAINTENANCE TIP: Asphalt Drive repair/maintenance - If you have an asphalt drive... Asphalt is



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normally about 1 thick for a residential drive. It makes a wonderful drive material. It must, however, be maintained to prevent water intrusion under the asphalt layer which could cause the driveway to deteriorate. Repair and maintenance materials are now readily available at your super Centers. I recommend using these products to fill holes and cracks, and to coat to prevent little cracks from becoming bigger ones.

**22. Condition:** • Concrete drive crack repair/maintenance - All cracks/breaks in exterior concrete/masonry needs to regularly be monitored and improved when cracks appear. On masonry to masonry areas, clean the c cracked area with 50% water, 50% muratic acid, rinse and dry well, and caulk thoroughly with a masonry caulk.

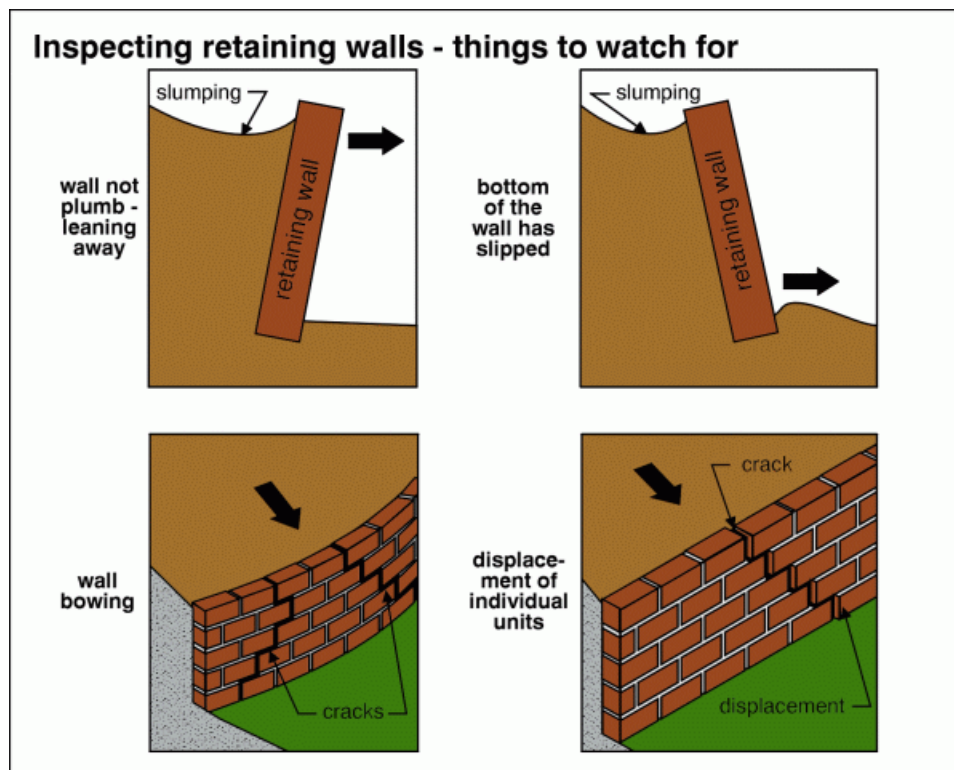
Masonry to any other material will need a silicone caulk after a thorough wash with water and drying. On larger cracks/breaks, fill with vinyl-based concrete repair. Backer rod would be a good addition to any large separations. The amount of caulk would be substantially reduced and the length of time the repair would last would be extended.

## LANDSCAPING \ Retaining wall

**23. Condition:** • [Leaning](#)

**Implication(s):** Weakened structure | Chance of movement

**Task:** Monitor



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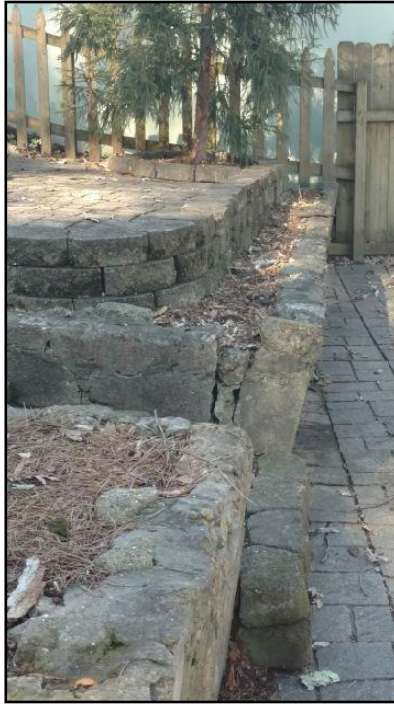
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**86.** *Leaning*

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## Description

**General:** • Statistics say that 70% of the air you breathe inside your home originates in your crawlspace. Allergies or breathing problems your family might be experiencing could be being caused or negatively affected by whatever is going on down there.

I strongly encourage you to annually get a flashlight and take a look. Ideally, it should be what I refer to as "mother-in-law clean". (Clean enough to be her guest room but hopefully uncomfortable enough she won't stay long! ;-) )

In a standard, non-encapsulated crawlspace there should be:

good air flow through plenty of vents open year round

All mechanicals, plumbing, electrical, insulation, etc neatly and securely installed. A clean plastic vapor barrier should be the only thing laying on and completely covering the ground.

The presence of insects, like spider webs, should be minimal. There should be no crickets.

There should be nothing organic growing anywhere on any surface.

If there is standing water or signs of such, please consult someone to help find the source and if they can't stop it before it enters, remove it efficiently. Moisture causes many issues.

If there is any part of your crawlspace you would not crawl through, it needs to be improved. Crawlspaces should NOT be scary. What should scare you if you have one that is, is what it could be doing to you and your family!

That is scary!

**Configuration:** • Cellar

**Configuration:** • [Crawlspace](#)

**Foundation material:** • [Stone](#) • [Brick](#)

**Exterior wall construction:** • [Wood frame](#)

**Roof and ceiling framing:** • Ceiling Joists • Rafters • [Plank sheathing](#) • [Plywood sheathing](#) • [Skip sheathing](#)

## Limitations

**General:** • When crawl spaces or unfinished basements are insulated there is a lot of framing that cannot be visually inspected. This inspector always lists at least 25% of the crawlspace was unexpectable if the insulation is in place. We, by our standards of practice, are not allowed to pull the insulation to look at all of the framing. If any situation was found within the home that would suggest there was framing damage and the home has floor insulation I do recommend that a general contractor be contacted for further evaluation with invasive inspection of any such areas.

**General:** • Finished basements conceal framing and mechanicals installed under/behind finishes. Wall, floor and ceiling coverings in most cases completely block an inspectors visual inspection. Only unfinished areas of any of these surfaces can be examined. the inspector is not responsible for any conditions that might exist in these covered areas. Also, suspended ceiling is not moved unless there is a physical sign showing on the tile that the inspector cannot determine the cause of the issue without moving a tile. This is to prevent damage to the ceiling tile, grid or any underlying material or mechanical.

**Inspection limited/prevented by:** • Ceiling, wall and floor coverings • Carpet/furnishings • New finishes/paint • Insulation

**Attic/roof space:** • When attics are insulated or HVAC equipment or ducting is installed in the space visual inspections

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are significantly limited due to the majority of the framing being hidden by the installed materials. At least 40% of the framing is not viewable when the attic is insulated per standard code. Insulation also restricts visual inspection of hidden electrical, duct connections, venting ducts, etc.

**Crawlspace:** • Entered but access was limited

**Percent of foundation not visible:** • 75 %

**Not included as part of a building inspection:** • Visible mold evaluation is not included in the building inspection report

## Recommendations

### General

**24. • OLDER PROPERTY STATEMENT-** In older properties it is more probable, strictly due to age and owner's tendencies in these earlier days to perform repair themselves, to have repairs or changes that are of less quality or not completed per industry standards. A non-professional would not be as likely to perform tasks to code if a code even existed at the time. Water damage and/or rot, lack of insulation, missing flashing, mis-installed plumbing and/or electrical and other such conditions that might be hidden are more likely. This inspector tried to visually inspect all areas viewable. Obstacles and access limitations could have left such items unfound. These are chances one takes when purchasing an older home. This inspector is not liable for such discoveries. Nothing is moved/removed during an inspection including but not limited to insulation.

### FOUNDATIONS \ General

**25. Condition:** • recommend termite inspector

Possible signs of wood-boring insect activity on Main beam. I highly recommend that there are termite inspection and any areas they find current or past activity and having a structural inspection.



**87.** *recommend termite inspector*



**88.** *recommend termite inspector*

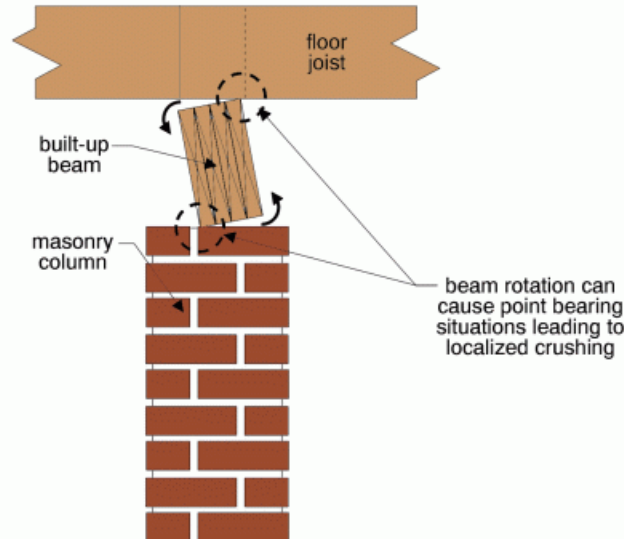
## FLOORS \ Beams

### 26. Condition: • [Rotated or twisted beams](#)

The band that has possible wood-boring insect damage also seems to be splitting down the center where it is spanning between columns. I recommend this be checked for structural integrity

**Implication(s):** Weakened structure | Chance of structural movement

#### Rotated or twisted beams



89. Rotated or twisted beams

### 27. Condition: • [Prior repairs](#)

While a 2x8 has been scammed to a property of what appears to be a wood boring insect damaged beam, the board does not real a load bearing point not reach the full length plus some of the damaged beam.

**Implication(s):** Weakened structure



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90. Prior repairs



91. Prior repairs



92. Prior repairs



93. Prior repairs



94. Prior repairs

28. Condition: • [Prior repairs](#)

Implication(s): Weakened structure

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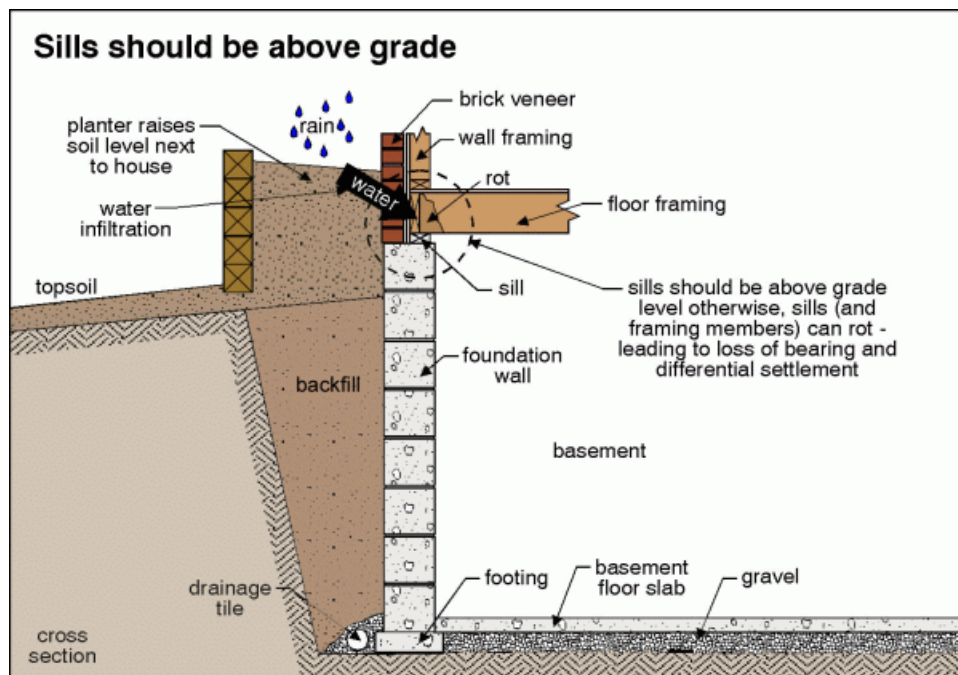


95. Prior repairs

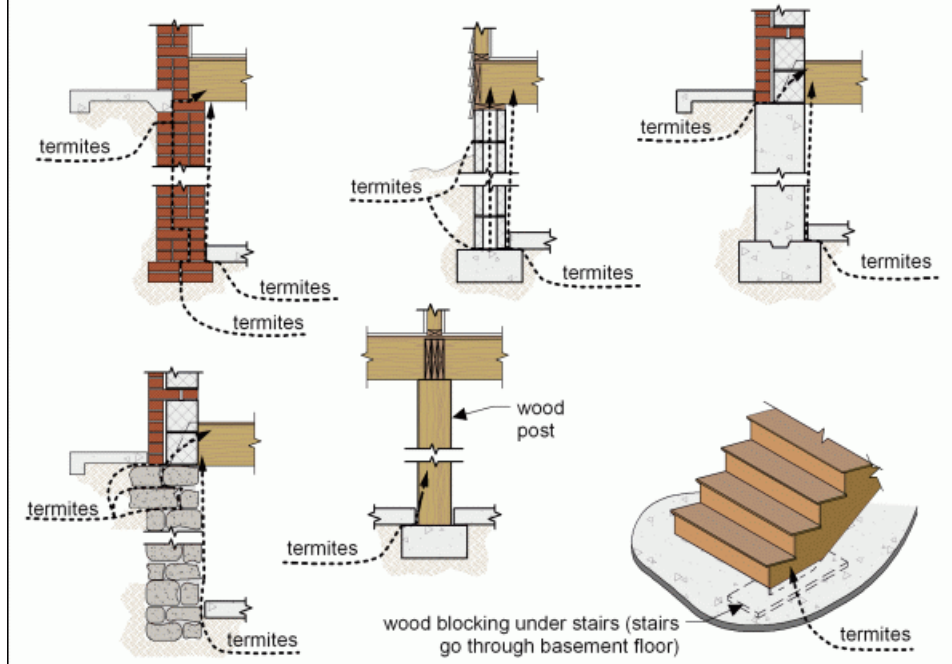
## FLOORS \ Sills

29. Condition: • [Rot or insect damage](#)

Implication(s): Weakened structure



## Inspecting for subterranean termites - interior



96. Rot or insect damage

30. Condition: • [Insect damage](#)

Implication(s): Weakened structure





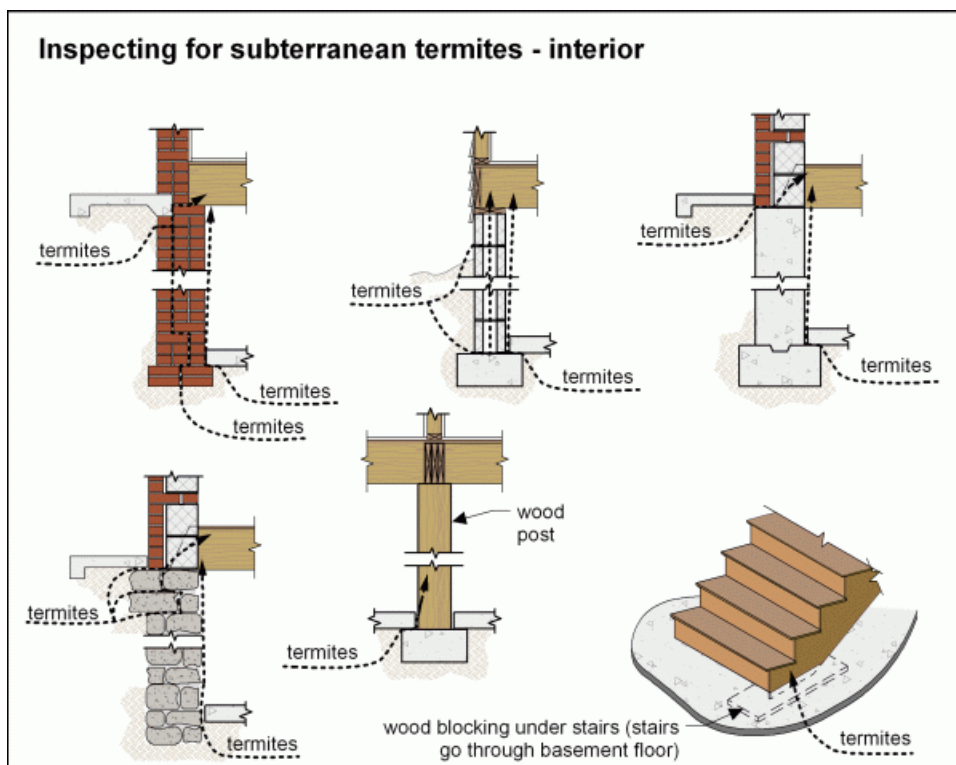
97. Insect damage

## FLOORS \ Joists

### 31. Condition: • [Rot, insect or fire damage](#)

A short area of insect damaged joist does have a repair board but here again it does not reach the length of the damage in to undamage material. This board serves no purpose as it is installed

**Implication(s):** Weakened structure



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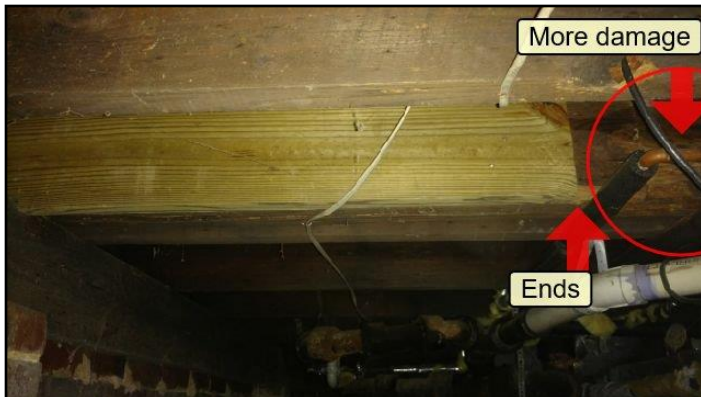
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98. Rot, insect or fire damage



99. Rot, insect or fire damage



100. Rot, insect or fire damage



101. Rot, insect or fire damage

## 32. Condition: • [Rot, insect or fire damage](#)

Several Joists have no repairs made to them with signs of insect damage. I highly recommend a thorough termite and individual joist structural inspection



## Implication(s): Weakened structure



102. Rot, insect or fire damage



103. Rot, insect or fire damage



104. Rot, insect or fire damage



105. Rot, insect or fire damage



106. Rot, insect or fire damage

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**33. Condition:** • [Rot, insect or fire damage](#)

**Implication(s):** Weakened structure



**107.** *Rot, insect or fire damage*

## WALLS \ Wood frame walls

**34. Condition:** • [Rot, insect or fire damage](#)

Damaged area is by Stellar access and does not appear to be jeopardizing the structure.

**Implication(s):** Weakened structure



**108.** *Rot, insect or fire damage*

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## Description

**Service entrance cable and location:** • [Overhead aluminum](#)

**Service size:** • [200 Amps \(240 Volts\)](#)

**Main disconnect/service box rating:** • [200 Amps](#)

**Main disconnect/service box type and location:** • [Breakers - first floor](#) • [Breakers - exterior wall](#)

**System grounding material and type:** • Copper

**Distribution panel type and location:** • Breakers - back room

**Distribution panel rating:** • [200 Amps](#)

**Electrical panel manufacturers:** • Square D

**Number of circuits installed:** • 28

**Distribution wire material and type:** • [Copper - non-metallic sheathed](#)

**Type and number of outlets (receptacles):** • [Grounded - typical](#)

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • [GFCI - bathroom](#) • [GFCI - exterior](#) • [GFCI - kitchen](#)

**Smoke detectors:** • [Present](#)

## Limitations

**Inspection limited/prevented by:** • Per TN Standards of Practice, any electrical circuits found by the inspector turned off and/or tripped will not be turned on by the inspector. This could be a liability issue.

**System ground:** • Quality of ground not determined

**Circuit labels:** • The accuracy of the circuit index (labels) was not verified.

## Recommendations

### SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

**35. Condition:** • OLDER ELECTRICAL PANELS: Breakered Distribution Panels that are older than 20 years might be subject to breaker fatigue. This is when the spring-load that trips the breaker when it is overloaded weakens and possibly will not stay set and continually kicks or refuses to kick when overloaded which could cause a fire hazard. A licensed electrician could further evaluate the condition of the safety mechanisms built into the panel. Many homeowner's choose to update electrical panels/outlets/switches that are older as a precautionary measure to prevent electrical issues/damage.

### DISTRIBUTION SYSTEM \ Wiring - installation

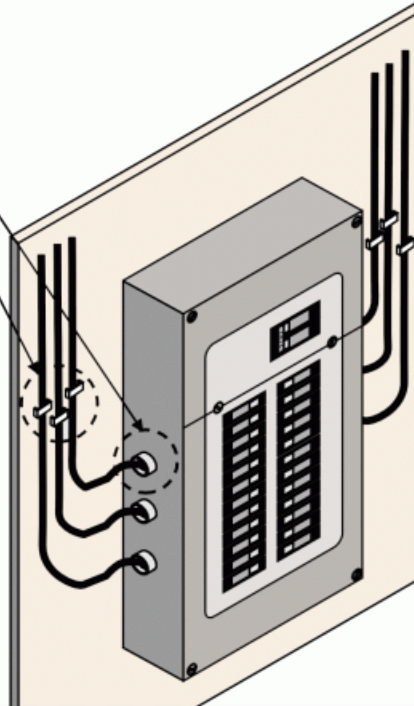
**36. Condition:** • [Not well secured](#)

**Implication(s):** Electric shock | Fire hazard

## Securing wires

cables should be clamped where they enter the panel

they should also be secured within 12 inches of the panel



## Cable support inside walls

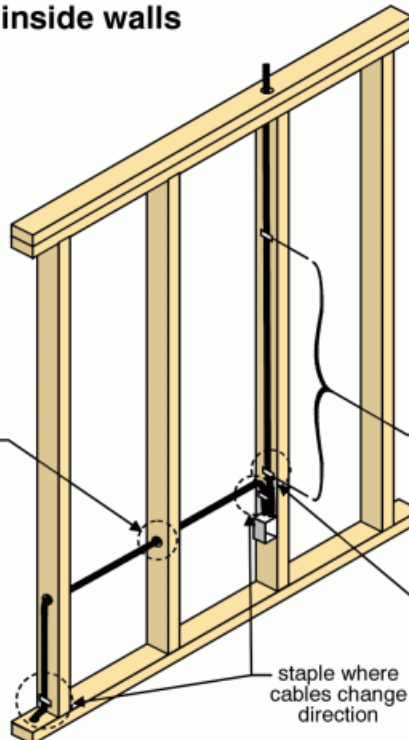
staples not required where cables run through holes in framing members

staple every 4-1/2 feet (USA)

staple every 5 feet (CANADA)

staple within 12 inches of electrical boxes

staple where cables change direction





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109. Not well secured

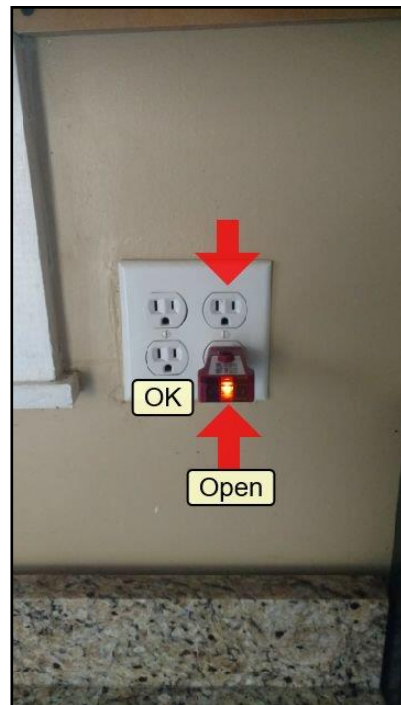
## DISTRIBUTION SYSTEM \ Outlets (receptacles)

37. Condition: • Open Ground

Only the right Outlet in the double Outlet panel beside the kitchen sink is open ground.



110. Open Ground



111. Open Ground

## DISTRIBUTION SYSTEM \ Lights

38. Condition: • [Inoperative](#)

Light only was inoperative. The fan did operate

**Implication(s):** Inadequate lighting

**Location:** Front bedroom



112. Inoperative

## **DISTRIBUTION SYSTEM \ Smoke detectors**

**39. Condition:** • Smoke and Carbon Monoxide (CO) Detectors Smoke and carbon monoxide detectors should be provided at every floor level of every home, including basements and crawl spaces. (Even if they are present during the inspection, we recommend replacing detectors.) Smoke detectors should be close to sleeping areas, and carbon monoxide detectors should be in any room with a wood-burning stove or fireplace. These devices are not tested as part of a home inspection. Once you take possession of the home, detectors should be tested regularly, and replaced every 10 years. If unsure of the age of a smoke detector, it should be replaced. Smoke detector batteries should be replaced annually.

# HEATING

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## Description

**General:** • 20 x 20 filters

**General:** • 20 x 30 filters

**General:** • HEAT PUMP. SEE COOLING SECTION

**General:** • A industry accepted rule-of-thumb is an environmental control system rated in "tons" can be expected to condition ~600 sq.ft. per ton. This can vary according to the insulation, building techniques, window quality and quantity, etc. If the data plate was legible refer to the equipment description area for the size of the equipment installed.

**System type:** • Gas heat and Electric air package unit

**System type:** • Split-system heat pump

*Note:* Upstairs

**System type:** • Split system

**Fuel/energy source:** • [Gas](#)

**Furnace manufacturer:** • Unknown

*Note:* It appears that the data plate has been removed. I recommend having the units serviced to gain information as to its age and capacity as well as operation.



113. Unknown

**Heat distribution:** • [Ducts and registers](#)

**Approximate age:** • Illegible data plate • See heat pump section

**Main fuel shut off at:** • At units

# HEATING

123 Any Street, Any Town, TN February 19, 2018

Report No. 4176, v.5

[www.fdhomeinspection.com](http://www.fdhomeinspection.com)

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## Fireplace/stove:

- Wood-burning fireplace - not in service



114. Wood-burning fireplace - not in service

## Limitations

**General:** • Per TN Home Inspector's Standard's of Practice, heat cannot be checked if the ambient temperature is higher than 60 degrees without chancing damage to the unit. If the ambient temperature was over 60 during your inspection it was not tested in heating mode and I recommend having it further evaluated by an HVAC technician during your due-diligence period.

**Fireplace/wood stove:** • Gas supplies fixtures/appliances will not be turned on or ignited by the inspector per TN Standards of Practice. The Inspector made all parties given her as involved in this transaction written notice of this in the Inspection notification.

## Recommendations

### General

**40.** • Equipment placed in the attic over finished space is required to have a walk path to the unit where it can be accessed without the possibility of a technician stepping through the ceiling of damaging duct \* over it. This unit is placed where this is not possible. I recommend a path be installed and secured to protect ceilings/ducting.



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*115. Equipment placed in the attic over finished...*

**41.** • Age of HVAC should be considered when purchasing a home. It is a market average for systems or separate components to require repair/replacement after 12 to 15 years. A system running well does not guarantee it will continue to do so. I highly recommend if the system on this home is older to have the system further evaluated prior to home purchase. Unless noted herein, this inspector found no problems or abnormalities in how the system was performing as of the time and day of inspection. That is not a guarantee it worked properly after the inspection. Also, please note that there are restrictions placed on the inspector by her governing Standards of Practice that limits what systems can be checked when. If it is warm, the heat was not checked. If it was cool, the air conditioning's cooling ability was not checked. An HVAC professional can check these systems in different ways than an inspector.

# COOLING & HEAT PUMP

123 Any Street, Any Town, TN February 19, 2018

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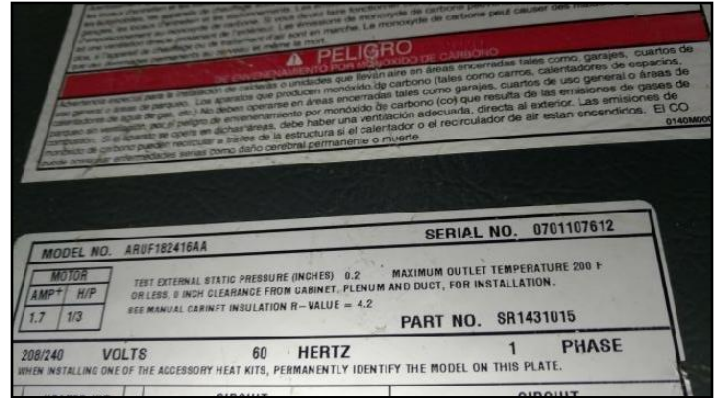
## Description

### Manufacturer:

- Goodman



116. Goodman



117. Goodman

Cooling capacity: • [1.5 Tons](#)

Compressor type: • Electric

Compressor approximate age:

- 11 years

Goodman

## Limitations

**General:** • Per TN Home Inspector's Standard's of Practice, cooling cannot be checked if the ambient temperature is lower than 65 degrees without chancing damage to the unit. If the ambient temperature was under 65 during your inspection it was not tested in cooling mode and I recommend having it further evaluated by an HVAC technician during your due-diligence period.

**Not part of a home inspection:** • Package unit(s) Not applicable

**Not part of a home inspection:** • Home inspectors cannot typically access or inspect the indoor coil • Home inspectors do not verify that the size of the indoor coil matches the outdoor coil

## Recommendations

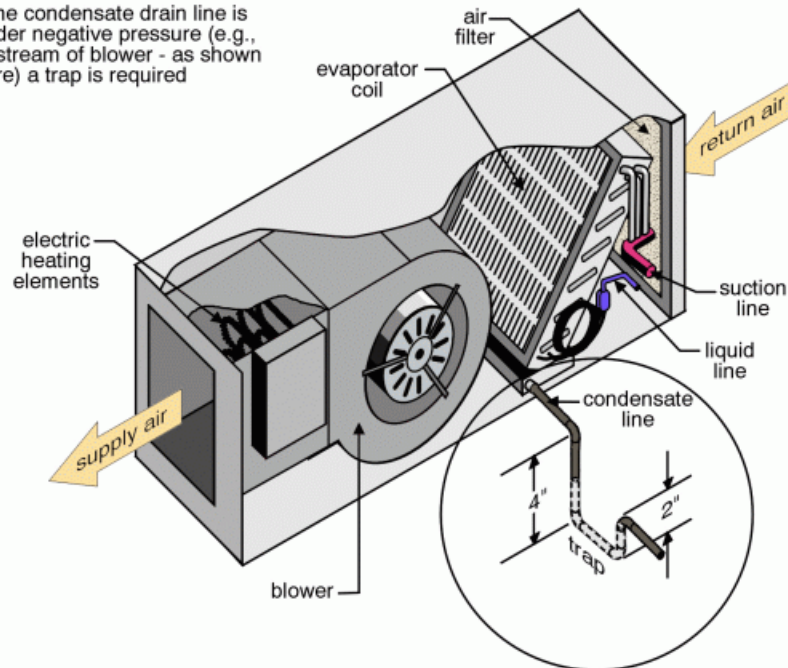
### AIR CONDITIONING \ Condensate drain line

42. Condition: • [Missing](#)

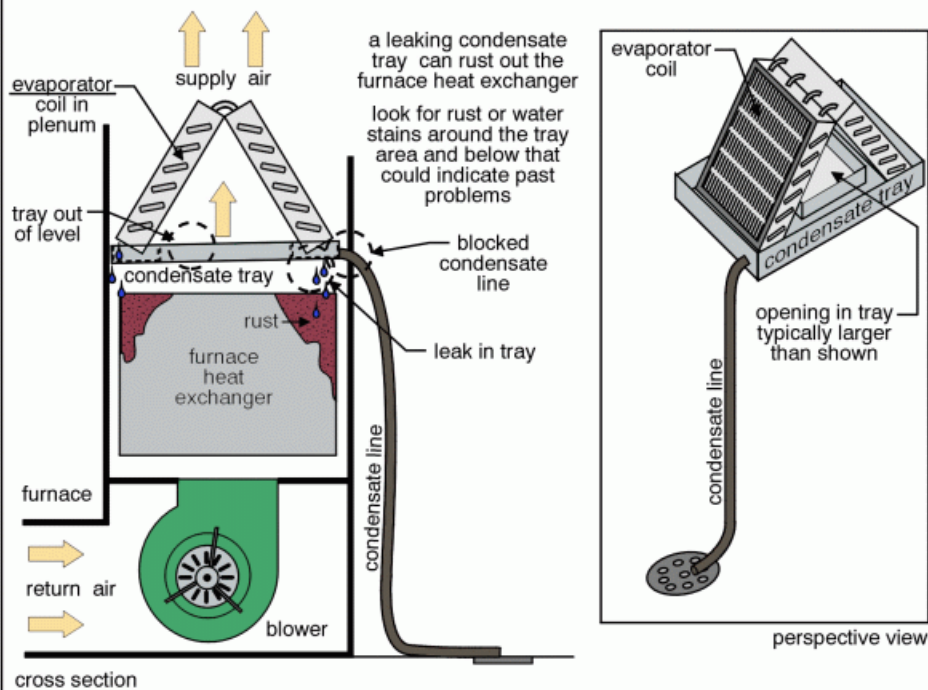
Implication(s): Chance of water damage to contents, finishes and/or structure | Damage to equipment

## Trap required in condensate line

if the condensate drain line is under negative pressure (e.g., upstream of blower - as shown here) a trap is required



## Leaking condensate tray



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118. Missing

## AIR CONDITIONING \ Ducts, registers and grilles

43. Condition: • Ductwork is laying on the ground. This will deteriorate the protective coating causing leaks.



119. Ductwork is laying on the ground. This will...

44. Condition: • Cowling is sagging and retaining water and debris.



# COOLING & HEAT PUMP

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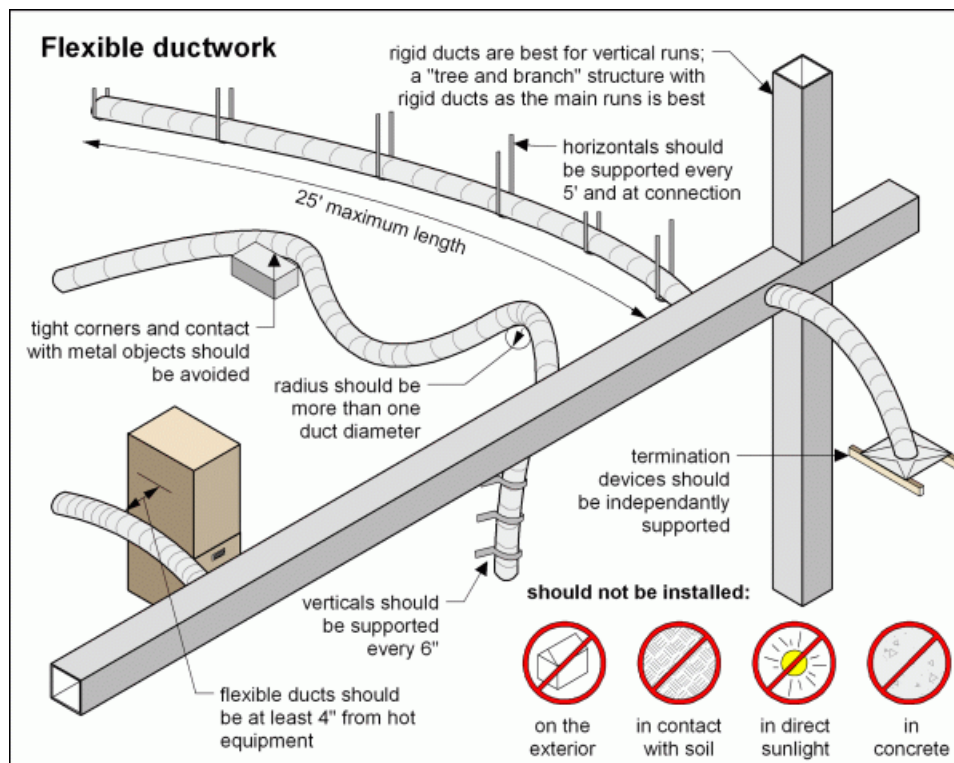
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120. Cowling is sagging and retaining water and...

45. Condition: • [Poor support](#)

Implication(s): Increased cooling costs | Reduced comfort



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121. *Poor support*

## AIR CONDITIONING \ Thermostat

**46. Condition:** • This inspector could not get the first floor thermostat to change temperature and was unable to test the downstairs unit. I highly recommend that a HVAC professional be consulted during the inspection period To evaluate this equipment. This inspector also placed the thermostat fan in the on position rather than the auto position and could not get the unit fan to come on.



122.

## HEAT PUMP \ Compressor

**47. Condition:** • It is always a good idea, when purchasing a home, to have any mechanical systems cleaned/serviced as soon as possible to optimize the efficiency of the equipment and establish a maintenance schedule to insure the best performance from your equipment.

# INSULATION AND VENTILATION

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## Description

**Attic/roof insulation material:** • Blown

**Attic/roof insulation material:** • [Glass fiber](#)

**Attic/roof insulation amount/value:** • Rating of R-Value is approximated. • R-30

**Attic/roof ventilation:** • Ridge and soffit vents

**Wall insulation amount/value:** • Not visible

**Floor above basement/crawlspace insulation material:** • None found

**Floor above basement/crawlspace insulation amount/value:** • [None found](#)

**Floor above basement/crawlspace air/vapor barrier:** • Plastic

**Crawlspace ventilation:** • When Moisture levels are high in confined crawlspace: I recommend venting being opened 365 days a year to allow moisture and gases to escape and adding a crawlspace ventilation fan in one of the vent holes blowing out to improve the airflow under the home. It would also be beneficial to remove all debris as well as any crawlspace insulation to allow air flow around the framing to prevent organic growth and fungal damage. (This insulation could be added to the attic and not wasted.) Also, air passage could be provided through the crawlspace door in the form of changing the door to expanded metal or cutting the door and attaching vents through the door that are small enough to block animal access while adding more air flow.

**Floor above porch/garage insulation material:** • Not applicable

**Floor above porch/garage insulation amount/value:** • Not applicable

## Limitations

**Inspection prevented by no access to:** • Wall space

**Attic inspection performed:** • By entering attic, but access was limited

**Crawlspace inspection performed:** • By entering space, but access was limited

**Roof ventilation system performance:** • Not evaluated

**Air/vapor barrier system:** • It is uncustomary to have vapor barriers in attics in our climate and is not required by code.

## Recommendations

### ATTIC/ROOF \ Roof vents

**48. Condition:** • Venting is there to cool the roofing from the underside by drawing cool air in from a low vent by allowing hot air to rise out of a high vent. This is a very deliberate motion that needs to have a decided direction of airflow so the cooling air is drawn across as much of the plywood under the roofing as possible. Having only high vents with no lower intake vents will cause the lower roofing to receive virtually no cooling. Having more than one type of high vent even if you have lower vents will cause the air to follow the path of least resistance, in a high vent, like the gable, then out the higher vent, like a roof or ridge vent. No pulling action is forced from the soffit or lower vents. If there is no lower venting, I recommend adding sufficient inlets for the area to be cooled. If there are multiple types of high venting along with soffit or lower vents, I recommend blocking the lowest high vents to force the air to travel from the lowest point to the highest point for the most efficient cooling. Consult the following pictures to see which scenario is present in this home.

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## **FOUNDATION \ Crawlspace ventilation**

**49. Condition:** • Crawlspace Ventilation - Homes built on crawlspaces, unless modified, require ventilation of the area at no less than 100 cubic inches of venting for every 150 sq. feet of crawlspace area. This is rule of thumb however and not always sufficient. Conditions such as a high water table, debris, animals, leaks, etc. can contribute to moisture being higher than recommended in this area. It is important that crawlspace venting remain open 365 days a years to allow moisture and gases to escape. It is also important that the crawlspace be clean with a vapor barrier installed properly. All duct, electrical and other wiring as well as plumbing, insulation and any other necessary material in the crawlspace be well secured and neat to prevent the trapping of moisture. An animal or service provider is more apt to cause damage if the materials are not neat and secured.

If a high moisture level exists in the crawlspace of this home it is important to follow specific recommendations by your inspector on how to improve the area. Sometimes adding mechanical venting or additional venting might be suggested. If the area is insulated, tight, debris laden and/or there are signs of organic growth the inspector may recommend removal of the insulation to help protect the framing from moisture damage.



## Description

**Water supply source:** • Public

**Service piping into building:** • [Copper](#)

**Supply piping in building:** • PVC

**Supply piping in building:** • [Copper](#)

**Main water shut off valve at the:** • In yard.

**Water flow and pressure:** • [Functional](#)

**Water heater type:** • [Conventional](#)

**Water heater fuel/energy source:** • [Electric](#)

**Water heater manufacturer:** • US Craftmaster



123. US Craftmaster

**Tank capacity:** • 50 gallons

**Water heater approximate age:** • 11 years

**Typical life expectancy:** • 6 year factory warranty • Water heaters useful life can be greatly affected by conditions.

**Typical life expectancy:** • 8 to 12 years

**Waste disposal system:** • [Public](#)

**Waste and vent piping in building:**

• [PVC plastic](#)

While no active cast iron drain lines were noted that does not mean there are not some that were not visible to the inspector. I highly recommend if you have any concerns about this having the waste system camera buy a drain

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company prior to your inspection. Being over. Old cast-iron could be cracked or corroded and cause problems that could be costly

- [Cast Iron](#)

Cast iron piping is still in the venting system for the waste Plumbing. It is unknown if cast iron still has water running through it. Refer to other



124. Cast Iron

**Pumps:**

- [Sump pump](#)

The sump pump was operating as expected during inspection



125. Sump pump

**Gas piping:** • Steel • CSST (Corrugated Stainless Steel Tubing)

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## Limitations

**General:** • CAST IRON OR GALVANIZED PLUMBING SUPPLY OR WASTE PIPING: If Galvanized supply or waste piping is present in this property either visually identified or not, this piping could corrode blocking water flow. If copper and galvanized is used together, as there is often multiple materials, corrosion of the galvanized piping could be accelerated. Cast Iron piping might contain cracks that are unable to be detected. The inspector has no way to determine these conditions. If you have or suspect these materials exist in your property, either due to being alerted or the probability due to the age of the home and you have concerns as to the unseen conditions that exist I recommend you consult a licensed plumber to perform an invasive inspection prior to the end of your due diligence period.

**Inspection limited/prevented by:** • Water supplies fixtures/appliances nor the main cut-off will not be turned on by the inspector per TN Standards of Practice. The Inspector made all parties given her as involved in this transaction written notice of this in the Inspection notification.

**Items excluded from a building inspection:** • Well • Water quality • Septic system • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains • Pool • Spa • Water features • Landscape irrigation system

## Recommendations

### General

**50. • PLUMBING IN UNOCCUPIED HOMES-** If this home has been unoccupied the plumbing/waste system is under no load. An existing drain system can have leaks that cannot be discovered during the inspection due to the limited amount of water that can be introduced into the plumbing during the inspection process. Soaps, chemicals, papers, wastes and buildups in general can coat the inside of plumbing causing leaks to be temporarily sealed or so minor conditions prevent discovery. Insulation and framing can be blocking visual discovery of leaks where framing is damaged. Galvanized p-traps under sinks can be rusted through but not yet leaking. These areas are subject to this. If you are concerned about any of these issues I recommend further extensive and very wet evaluation of all plumbing especially drain systems prior to purchase.

**51. • STANDING WATER UNDER A HOME-** Due to possible health risks, if this is a home with a crawlspace and if there were areas where standing water was present under this home, they were not entered. Contents of such standing water, especially when sanitary contaminants, present or past, that might have been on or in the ground could contaminate this water into a health risk. Areas above and/or around any such wet areas that could not be seen without entering the standing water would not be inspected.

**52. • Drain system leaks** may show up in new homes after occupancy and system is put into use. I recommend looking within 30 days at all viewable drains both inside and under structure.

### SUPPLY PLUMBING \ Water service pipe

**53. Condition:** • If your home contains PEX (High-density polyethylene) supply lines...PEX supply lines are flexible and will jump or "water hammer" when the service is turned on and off. This can cause joints to be pulled loose causing leaks unless the lines are properly secured. I recommend that the PEX system be inspected annually and additional straps be provided to prevent future leaks if any are found broken or loose.

## GAS SUPPLY \ Gas piping

### **54. Condition:** • What you should know about CSST gas lines in your home

CSST (Corrugated Stainless Steel Tubing) is a flexible piping material used to distribute gas fuel service (natural gas or propane gas) to fuel burning appliances and/or components within a building. CSST was developed in Japan in the 1980s in order to prevent fires often caused by the traditional black iron pipe due to earthquakes compromising fittings used to make turns to the appliance/component serviced.

The use of CSST for gas distribution has gained popularity in building construction due to the reduced labor and installation costs as compared to the traditional black iron pipe. The traditional black iron pipe installation required many cuts and fitting applications in order to route the pipe to the final destination of the fueled system or component. CSST can be installed with minimal effort as it flexes, giving it the ability to curve around obstacles without having to be cut and then joined with fittings to make sharp turns. Sales of CSST in the United States began in 1990. As contractors found savings in labor costs with using this product, use became widespread rapidly. Since 1990, more than six million homes in the United States have had CSST installed.

After CSST became popular in the United States, it was found that homes struck by lightning created a very hazardous situation as the nature of the construction of CSST in order to make it pliable for installation and improper bonding/grounding techniques have caused it to fail when introduced to the high electrical current of a direct strike. This compromise has often ended in a structural fire event.

## WATER HEATER \ Tank

### **55. Condition:** • Drainline to exterior from water heater safety pan was missing

The drain line from the pan is emptying into the crawl space



**126.** Drainline to exterior from water heater...

## WATER HEATER \ Temperature/pressure relief valve

### **56. Condition:** • TPR Drainline draining in to pan instead of out of home on it's own line.



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127. TPR Drainline draining in to pan instead of...

## WASTE PLUMBING \ Drain piping - installation

57. Condition: • Fall on drain line is not sufficient

Task: Improve



128. Fall on drain line is not sufficient

## WASTE PLUMBING \ Drain piping - performance

58. Condition: • Cast Iron/Clay drain line/venting: In older homes, even if not visible, it is highly possible that some portion of the waste drain system could be composed of Cast Iron or Clay piping. In the case of these materials, they can become fractured/crushed/water logged or other ways damaged in areas where visual inspections cannot detect issues. Even in visible piping, the presence of hairline cracks and interior damage is almost impossible to detect. If this home is suspected or known to have one of these materials in the waste drain/vent system it might be prudent to have a plumber do a camera video of the interior of these pipes prior to the due diligence period ending. The inspector will not be responsible if any waste piping composed of these materials are damaged/deteriorated.

## FIXTURES AND FAUCETS \ Faucet

**59. Condition:** • Flow lower than balance of home

**Location:** Second Floor



**129.** Flow lower than balance of home



**130.** Flow lower than balance of home

**60. Condition:** • In the event Delta brand Single-handle faucets are in your home.... Delta single-handle faucets are a common faucet and good faucet for the cost. They do, however, have a tendency to leak due to the way they are made. Repairing a delta one-handle is easy if you have any mechanical abilities. Repair kits are available inexpensively at hardware stores. Buy a couple and put them where you can find them. Turn off the water supply to the faucet. Open valve to drain pressure. The handle is held on with a set screw, Remove it. Lift the handle off. Remove the ring holding the ball you are now looking at inside the handle. This ball has little holes in it where springs with washers set. Replace everything! Might not all be bad, but if it is all new, youre bound to catch the leak! You have a new ball, springs and washers in your kit. Place the new ball with guts installed back in the base. It will only go in one way. The slot in the ball has to enclose the guide inside the faucet base. Place the screw ring back around the ball and tighten. Before you reattach the handle, set it in place and work the faucet. Is the ring too tight or too loose? Does the action of the faucet feel right? Open the water cut-offs. Did it leak? Tighten/loosen ring if needed, then reattach the handle with the set screw. If this is confusing, call a plumber. If it still leaks, call a plumber and watch them. If it works well, congratulations!

## FIXTURES AND FAUCETS \ Shower stall enclosure

**61. Condition:** • Grout will not stick to a polished service such as the face of a tile. When a tile enclosure is built, where the tile intersect at an angle, the grout used in this area will eventually separate from the polished face of the tile where they butt together. I recommend that in joints where tiles connect to tiles be caulked to prevent this separation thus preventing possible water intrusion or leaking issues . The grout does not have to be removed prior to caulking as long as it is not too thick or wide, preventing the caulk overlay from sealing to both surfaces. Caulk can be placed over the top of the grout contacting the polish service of the tile in question. Whether separated now or this condition exists without yet being split, it is a good idea to improve.

## FIXTURES AND FAUCETS \ Toilet

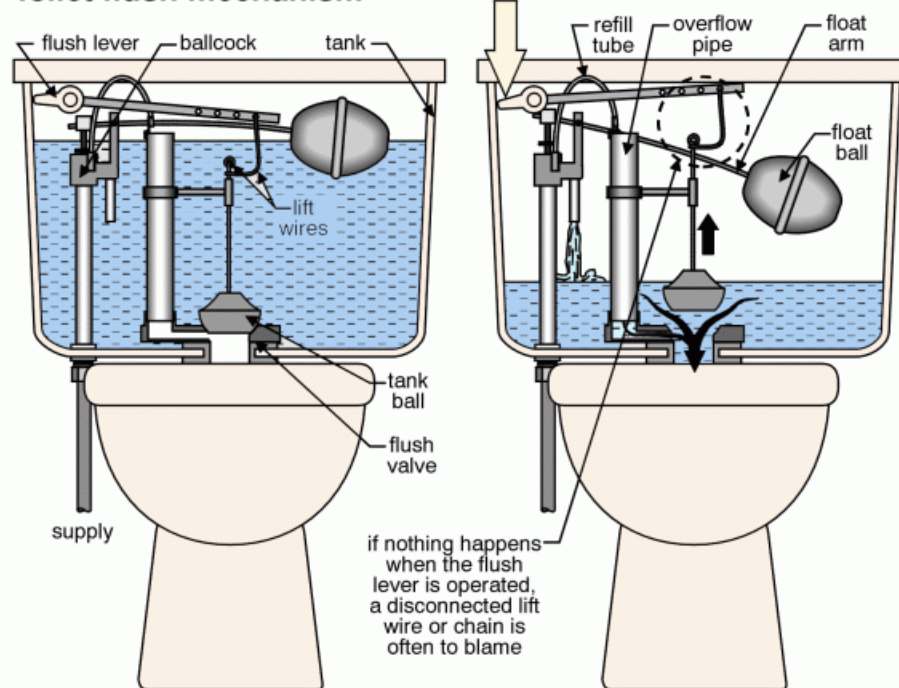
**62. Condition:** • [Running continuously](#)

It appears the water level needs to be adjusted in the upstairs toilet to prevent continual running

**Implication(s):** Chance of condensation damage to finishes and/or structure | Increased water consumption

**Location:** Second Floor

## Toilet flush mechanism



131. Running continuously

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## Description

**Major floor finishes:** • [Hardwood](#) • Tile

**Major wall finishes:** • [Plaster/drywall](#)

**Major ceiling finishes:** • [Plaster/drywall](#)

**Windows:** • Tilt-wash • Replacement windows

**Windows:** • [Single/double hung](#) • Vinyl

**Glazing:** • [Double](#)

**Exterior doors - type/material:** • Hinged • [Wood](#)

**Doors:** • Inspected

**Appliances:** • Microwave/hood combo • Range

**Appliances:** • Refrigerator • Dishwasher • Waste disposal

**Laundry facilities:** • Hot/cold water supply • Vented to outside • 120-Volt outlet • 240-Volt outlet • Waste standpipe

**Kitchen ventilation:** • Recirculating type

**Bathroom ventilation:** • Window

**Bathroom ventilation:** • None

**Counters and cabinets:** • Inspected

**Stairs and railings:** • Inspected

## Limitations

**No access to:** • All accessible

**Restricted access to:** • Attic

**Restricted access to:** • Crawlspace

**Not included as part of a building inspection:** • Carbon monoxide detectors, security systems, central vacuum • Cosmetic issues • Perimeter drainage tile around foundation, if any

**Appliances:** • Self-cleaning features on ovens not tested • Effectiveness of dishwasher drying cycle not tested • Appliances are not moved during an inspection

**Crawlspace leakage:** • Cannot predict how often or how badly crawlspace will leak

## Recommendations

### CEILINGS \ Fan

**63. Condition:** • Noisy

**Implication(s):** Noise nuisance

**Location:** Living Room



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132. Noisy

## WALLS \ Plaster or drywall

64. Condition: • Damaged

Implication(s): Damage or physical injury due to falling materials

Location: Second Floor closet



133. Damaged

## WINDOWS \ Glass (glazing)

**65. Condition:** • [Cracked](#)

**Implication(s):** Physical injury

**Location:** Front Second Floor



**134.** *Cracked*

**66. Condition:** • Safety glass not installed

When a window is less than 16 inches from the ground it is normally required that this glass be tempered. The window in the bonus area upstairs is approximately 8 inches from the floor. I recommend checking with the building inspector to see if this is okay according to the code as they enforce or having this bottom sash changed to a tempered glass for safety sake. It does appear with the amount of remodeling that has been done on this structure a building permit would have been required and the areas that were affected would be subject to current code AS of the date that permit was pulled

**Implication(s):** Physical injury

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135. Safety glass not installed

## DOORS \ General

**67. Condition:** • The right hand pocket door between the living room and dining room was hard to open and close. I recommend it be adjusted



136.

## DOORS \ Doors and frames

**68. Condition:** • Too tight in frame. Needs shaved, adjusted.

**Location:** Second Floor

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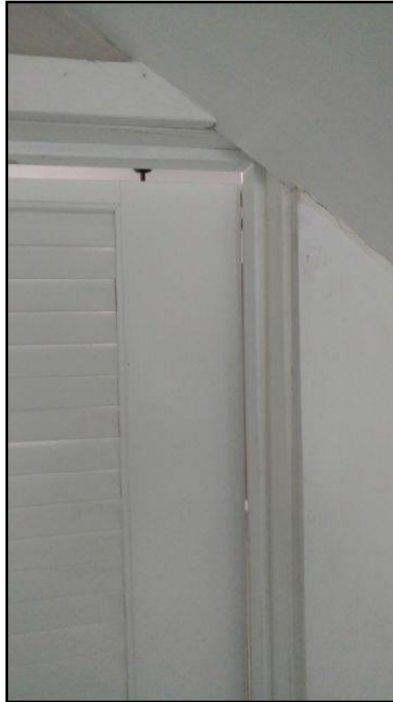
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**137.** *Too tight in frame. Needs shaved, adjusted.*

## DOORS \ Hardware

### **69. Condition:** • Stiff operation

While this inspector could get the deadbolt to latch from the inside using the thumb turn while applying pressure to the door she could not get the deadbolt to latch using the key from the outside. I recommend this be adjusted

**Location:** Front First Floor Porch



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138. Stiff operation

70. Condition: • [Ineffective](#)

Implication(s): Equipment ineffective



139. Ineffective

71. Condition: • [Ineffective](#)

Implication(s): Equipment ineffective

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140. Ineffective

## CARPENTRY \ Cabinets

72. Condition: • Damage

Location: Second Floor Bathroom



141. Damage

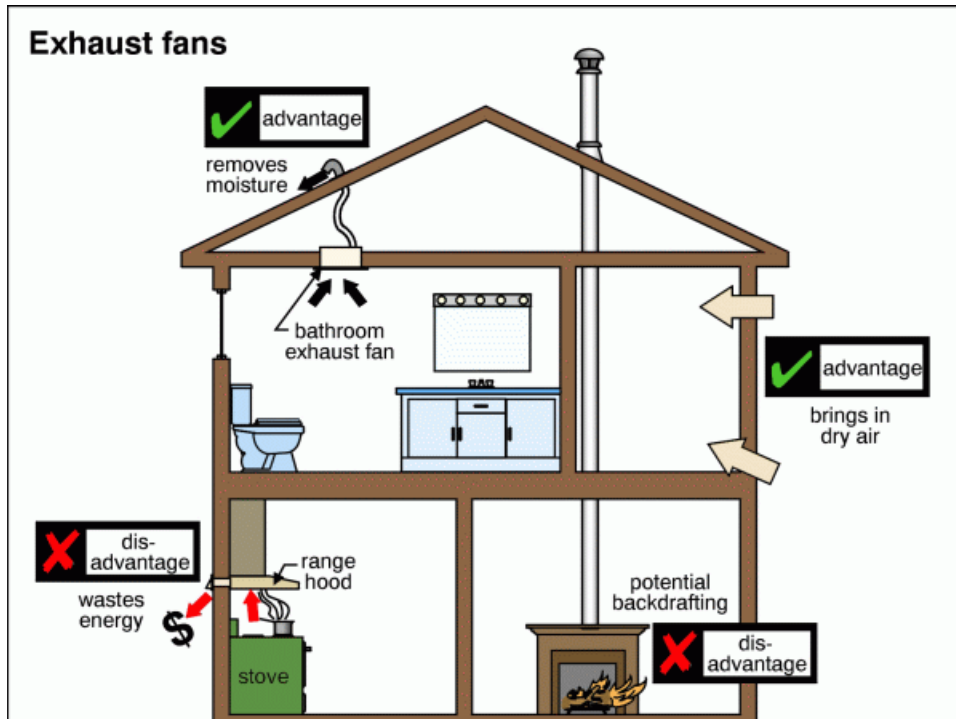
## EXHAUST FANS \ General

### 73. Condition: • [Missing](#)

Operable windows or an exhaust fan is required in a bathroom that has bathing facilities. The windows in the upstairs bathroom are fixed and no fan is present

**Implication(s):** Chance of condensation damage to finishes and/or structure

**Location:** Second Floor Bathroom





142. Missing

## **CRAWLSPACE \ Wet crawlspace - evidence**

**74. Condition:** • ADDING A FOUNDATION VENT FAN- Moisture in a crawlspace promotes biological and animal life which can cause damage to the structure as well as influence the air quality in the living space above as 70% of the air you breathe in a normal crawlspace home comes from under the floor. The cleaner the crawlspace is kept the healthier the occupants are going to be.

I HIGHLY recommend installing a foundation vent fan in one of the existing foundation vent holes. The fan is placed inside the crawlspace, behind the foundation vent screen, blowing out. The remaining foundation vents are left open 24/365. The airflow becomes an active airflow rather than a passive flow due to the fan exhausting air from the crawlspace forcing air to be drawn in all other paths. This one improvement can greatly improve the moisture levels in the crawl.

## **APPLIANCES \ Range**

**75. Condition:** • Missing Anti-tip bracket on range - The anti-tip bracket is provided by the manufacturer to prevent the unit from being pulled over in certain conditions, such as a child using the oven door for a step. This is a severe injury/life-safety issue. This bracket is in the owner's manual packet when a range is purchased. If it is not available, you can contact the manufacturer, provide the model number of the appliance that can normally be found on a label in the pan drawer, and they will normally provide one for you. They can also be purchased after-market on line or at some hardware stores.

# INTERIOR

123 Any Street, Any Town, TN February 19, 2018

Report No. 4176, v.5

[www.fdhomeinspection.com](http://www.fdhomeinspection.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

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143. Missing Anti-tip bracket on range - The...

## APPLIANCES \ Dishwasher

**76. Condition:** • Inoperative

This inspector number got the dishwasher to begin cycle. Is possible this inspector was unfamiliar with its operation. Consult the seller for operation and demonstration that it does work.

**Implication(s):** Equipment inoperative



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**144.** *Inoperative*

# SITE INFO

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## Description

**General:** • blank note

**Weather:** • Sunny • Ground was wet • There was rain the day before the inspection.

**Approximate temperature:** • 54°

**Attendees:** • None

**Access to home provided by:** • Lockbox

**Occupancy:** • The home was vacant during the inspection. • The home was unfurnished during the inspection.

**Utilities:** • All utilities were on during the inspection. • The water service is public. • The plumbing waste disposal system is public.

**Approximate inspection start and end time:** • The inspection started at 11:30 a.m.

**Approximate age of home:** • 96 years

**Approximate date of construction:** • 1922

**Approximate size of home:** • 2300 ft.<sup>2</sup>

**Building type:** • Detached home

**Number of dwelling units:** • Single-family

**Number of stories:** • Two

**Number of rooms:** • Eleven

**Number of bedrooms:** • Three

**Number of bathrooms:** • Two

**Number of kitchens:** • One

**Below grade area:** • Cellar

**Below grade area:** • Crawlspace

**Garage, carport and outbuildings:** • Detached carport

**Area:** • City

**Street type:** • Residential

**Street surface:** • Paved

END OF REPORT

# REFERENCE LIBRARY

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The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS