



YOUR INSPECTION REPORT

Excellence in home inspection.

PREPARED BY:

Uptown Home Inspections



FOR THE PROPERTY AT:

4400 Bouldercrest Road
Ellenwood, GA 30294

PREPARED FOR:

ESTATE HOLDINGS LLC

INSPECTION DATE:

Wednesday, August 13, 2025



Uptown Home Inspections LLC
1280 West Peachtree St NW
Atlanta, GA 30309

4049692193

www.uptownhi.com
team@uptownhi.com



August 13, 2025

Dear Estate Holdings LLC,

RE: Report No. 1841
4400 Bouldercrest Road
Ellenwood, GA
30294

Thanks very much for choosing Uptown Home Inspections. We trust the experience was both valuable and pleasant. The inspection itself and the attached report comply with InterNACHI Standards of Practice for Performing a General Home Inspection.

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report. Our consulting service via telephone is also available at no cost to you for as long as you own the home.

Thanks again for allowing us to work with you. Our business thrives on referrals from satisfied clients, and we appreciate you referring us to friends, family and colleagues.

Sincerely,

Uptown Home Inspections
on behalf of
Uptown Home Inspections LLC

Uptown Home Inspections LLC
1280 West Peachtree St NW
Atlanta, GA 30309
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INVOICE

August 13, 2025

Client: Estate Holdings LLC

Report No. 1841

For inspection at:

4400 Bouldercrest Road

Ellenwood, GA

30294

on: Wednesday, August 13, 2025

Property size: 1000 - 1,999 sqft.

\$350.00

Processing
Fee

\$10.50

Total

\$360.50

PAID IN FULL - THANK YOU!

Uptown Home Inspections LLC
1280 West Peachtree St NW
Atlanta, GA 30309
4049692193
www.uptownhi.com
team@uptownhi.com

AGREEMENT

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

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PARTIES TO THE AGREEMENT

Company

Uptown Home Inspections LLC
1280 West Peachtree St NW
Atlanta, GA 30309

Client

Estate Holdings LLC

Total Fee: \$360.50

This is an agreement between Estate Holdings LLC and Uptown Home Inspections LLC.

THIS CONTRACT LIMITS THE LIABILITY OF THE HOME INSPECTION COMPANY.
PLEASE READ CAREFULLY BEFORE SIGNING.

In addition to the limitations in the Standards of Practice, the Inspection of this property is subject to the Limitations and Conditions set out in this Agreement. The Inspection is performed in accordance with the Standards of Practice of our national association.

LIMITATIONS AND CONDITIONS OF THE HOME INSPECTION

There are limitations to the scope of this Inspection. It provides a general overview of the more obvious repairs that may be needed. It is not intended to be an exhaustive list. The ultimate decision of what to repair or replace is yours. One homeowner may decide that certain conditions require repair or replacement, while another will not.

1) THE INSPECTION IS NOT TECHNICALLY EXHAUSTIVE.

The Home Inspection provides you with a basic overview of the condition of the property. Because your Home Inspector has only a limited amount of time to go through the property, the Inspection is not technically exhaustive.

Some conditions noted, such as foundation cracks or other signs of settling in a house, may either be cosmetic or may indicate a potential problem that is beyond the scope of the Home Inspection.

If you are concerned about any conditions noted in the Home Inspection Report, we strongly recommend that you consult a qualified Licensed Contractor or Consulting Engineer. These professionals can provide a more detailed analysis of any conditions noted in the Report at an additional cost.

2) THE INSPECTION IS AN OPINION OF THE PRESENT CONDITION OF THE VISIBLE COMPONENTS.

The Home Inspector's Report is an opinion of the present condition of the property. It is based on a visual examination of the readily accessible features of the building.

A Home Inspection does not include identifying defects that are hidden behind walls, floors or ceilings. This includes wiring, heating, cooling, structure, plumbing and insulation that are hidden or inaccessible.

Some intermittent problems may not be obvious on a Home Inspection because they only happen under certain circumstances. As an example, your Home Inspector may not discover leaks that occur only during certain weather conditions or when a specific tap or appliance is being used in everyday life.

AGREEMENT

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

Home Inspectors will not find conditions that may only be visible when storage or furniture is moved. They do not remove wall coverings (including wallpaper) or lift flooring (including carpet) or move storage to look underneath or behind.

3) THE INSPECTION DOES NOT INCLUDE HAZARDOUS MATERIALS.

This includes building materials that are now suspected of posing a risk to health such as phenol-formaldehyde and urea-formaldehyde based insulation, fiberglass insulation and vermiculite insulation. The Inspector does not identify asbestos roofing, siding, wall, ceiling or floor finishes, insulation or fireproofing. We do not look for lead or other toxic metals in such things as pipes, paint or window coverings.

The Inspection does not deal with environmental hazards such as the past use of insecticides, fungicides, herbicides or pesticides. The Home Inspector does not look for, or comment on, the past use of chemical termite treatments in or around the property.

4) WE DO NOT COMMENT ON THE QUALITY OF AIR IN A BUILDING.

The Inspector does not try to determine if there are irritants, pollutants, contaminants, or toxic materials in or around the building.

The Inspection does not include spores, fungus, mold or mildew that may be present. You should note that whenever there is water damage noted in the report, there is a possibility that mold or mildew may be present, unseen behind a wall, floor or ceiling.

If anyone in your home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens at additional cost.

5) WE DON'T LOOK FOR BURIED TANKS.

Your Home Inspector does not look for and is not responsible for fuel oil, septic or gasoline tanks that may be buried on the property. If the building had its heating system converted from oil, there will always be the possibility that a tank may remain buried on the property.

If fuel oil or other storage tanks remain on the property, you may be responsible for their removal and the safe disposal of any contaminated soil. If you suspect there is a buried tank, we strongly recommend that you retain a qualified Environmental Consultant to determine whether this is a potential problem.

6) TIME TO INVESTIGATE

We will have no liability for any claim or complaint if conditions have been disturbed, altered, repaired, replaced or otherwise changed before we have had a reasonable period of time to investigate.

7) REPORT IS FOR OUR CLIENT ONLY

The inspection report is for the exclusive use of the client named herein. No use of the information by any other party is intended.

AGREEMENT

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

8) CANCELLATION FEE

If the inspection is cancelled within 24 hours of the scheduled appointment time, no refunds will be issued. However, any fees paid may be applied as a credit toward a future inspection.

9) RESCHEDULING

Clients may reschedule up to 1 hour before the inspection start time no charge. However, after the first reschedule, the inspection fee becomes non-refundable. The fee may still be applied as a credit toward future services. CBS codes, lockbox combinations, gate codes, and any other necessary access instructions must be provided prior to the appointment to ensure timely access. A \$50 rescheduling fee will apply if the inspector is required to wait more than 30 minutes for property access and the inspection must be rescheduled.

10) NOT A GUARANTEE, WARRANTY OR INSURANCE POLICY.

The inspection is not a guarantee, warranty or an insurance policy with regard to the condition of the property.

11) LIMIT OF LIABILITY / LIQUIDATED DAMAGES

The Home Inspector and the Home Inspection Company assume no liability arising from this Inspection and Report, for any cause of action whatsoever, whether based in contract, negligence, or otherwise. By agreeing to this inspection, you acknowledge that no refunds, damages, or other compensation will be provided beyond the services performed.

I, Estate Holdings LLC (Signature) _____, (Date) _____, have read, understood and accepted the terms of this agreement.

SUMMARY

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Roofing

SLOPED ROOFING \ Asphalt shingles

Condition: • Aging

The roof of the home is showing clear signs of aging and is original to the property. Due to its age, it is likely experiencing wear and potential issues that are typical as roofs near the end of their lifespan. Aging roofs often face challenges such as weakened shingles, potential leaks, and reduced structural integrity. Additionally, as roofs age, they become harder to insure, with many insurance companies requiring updates or replacements to provide coverage. It is recommended that the roof be thoroughly evaluated and considered for replacement to maintain the home's safety, functionality, and insurability.

Location: Roof

Task: Consult Roofing Professional

Time: As needed

Condition: • Tree branches touching roof

Having a trees too close to your home can pose multiple hazards, including roof damage from wind-blown branches, the risk of limbs penetrating the property, and acting as a pathway for pests like rodents to access the roof and attic.

Implication(s): Shortened life expectancy of material

Location: Roof

Task: Trim Trees

Time: As soon as possible

Exterior

ROOF DRAINAGE \ Gutters

Condition: • [Clogged](#)

The home's gutters were found to be clogged with debris, which prevents proper drainage of rainwater from the roof and can lead to water overflow onto fascia boards, siding, and the foundation. Prolonged clogging can cause water to back up under the roofing materials, potentially leading to roof leaks, wood rot, and damage to structural components. Additionally, poor drainage near the foundation increases the risk of basement or crawlspace moisture intrusion. Recommend immediate cleaning of the gutter system and installation of gutter guards or a regular maintenance schedule to ensure consistent water flow and protect the home from water-related damage.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior

Task: Clean Gutters/Add Gutter Guards

Time: As soon as possible

ROOF DRAINAGE \ Downspouts

Condition: • [Damage](#)

Downspouts are damaged, with visible cracks, dents, or deformations. This damage can obstruct the proper flow of

SUMMARY

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

water, leading to potential overflow, water pooling near the foundation, or further deterioration of the downspouts. It is recommended to repair or replace the damaged downspouts to ensure effective water management and prevent water-related issues around the property.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior

Task: Repair

Condition: • [Discharge below grade](#)

Downspouts are discharging water below grade, directing water underground rather than away from the building's foundation. This can lead to improper drainage, potentially causing water to pool around the foundation or seep into the basement or crawl space. It is recommended to modify the downspout discharge system to ensure that water is directed above grade and away from the structure, reducing the risk of water damage and foundation issues.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior

Task: Repair

Condition: • [Should discharge 6 feet from building](#)

Downspout extensions needs to be rearranged/replaced to divert water away from the foundation. Discharging the downspout at least six feet away from the property's foundation helps ensure proper drainage, minimize potential damage, and maintain a healthy and dry environment around the foundation

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior

Task: Improve Downspout Extensions

Time: As soon as possible

WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)

Condition: • [Damage](#)

Soffit and fascia boards in multiple areas of the property. This damage may include rot, warping, or missing sections, which can expose the roof structure and attic to moisture, pests, and further deterioration. Left unaddressed, this issue could lead to more extensive damage to the roof and surrounding structures. It is recommended to have a qualified contractor perform necessary repairs or replacements to restore the soffit and fascia to proper condition.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior

Task: Repair

Time: Immediately

Electrical

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • [Loose](#)

Implication(s): Electric shock | Fire hazard

Location: Exterior/Interior

Task: Consult Licensed Electrician

SUMMARY

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

DISTRIBUTION SYSTEM \ GFCI (Ground Fault Circuit Interrupter) protection not noted at

Condition: • Bathroom

Location: Bathroom

Task: Replace the outlet with GFCI-protected receptacle

Time: Before use

Condition: • Kitchen counters

Location: Kitchen

Task: Replace

Condition: • Laundry area

Location: Laundry Area

Task: Update to GFCI Outlet

Condition: • Outdoors

Location: Exterior

Task: Replace to GFCI Outlet

Time: As soon as possible

Heating

FURNACE \ Air filter

Condition: • [Dirty](#)

Implication(s): Equipment ineffective | Increased heating costs | Reduced comfort | Increased maintenance costs

Task: Replace

Time: As soon as possible

FURNACE \ General notes

Condition: • Service Furnace

Recommend HVAC professional service furnace based on the condition of the appliance was found with faceplate unattached. Unable to locate the data plate including serial number to determine the age of this unit.

Location: Basement

Task: Consult HVAC Professional

Time: As soon as possible

FURNACE \ Life expectancy

Condition: • Past life expectancy

Implication(s): Equipment failure | No heat for building

Task: Consult Licensed HVAC Professional

SUMMARY

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Cooling & Heat Pump

AIR CONDITIONING \ General notes

Condition: • Service air conditioner

Implication(s): Reduced system life expectancy | Increased cooling costs | Reduced comfort

Location: Exterior

Task: Consult Licensed HVAC Professional

Time: As soon as possible

AIR CONDITIONING \ Life expectancy

Condition: • [Near end of life expectancy](#)

Implication(s): Equipment failure | Reduced comfort

Location: Exterior

Task: Consult HVAC Technician

Time: As needed

Plumbing

WASTE PLUMBING \ Drain piping - performance

Condition: • [Leak](#)

A leak was observed in the drain piping system, indicating potential failure at a joint, crack, or fixture connection. Water leaks in waste lines can lead to structural damage and mold. It is recommended that the leaking section be promptly repaired or replaced.

Implication(s): Sewage entering the building

Task: Consult Licensed Plumber

FIXTURES AND FAUCETS \ Toilet

Condition: • [Loose](#)

A loose toilet can cause water leaks, unpleasant odors, and potential damage to the flooring and surrounding areas. It can also lead to an unstable and uncomfortable experience for users. Promptly fixing a loose toilet is important to prevent further problems and maintain a functional and hygienic bathroom.

Implication(s): Chance of water damage to structure, finishes and contents | Sewage entering the building | Possible hidden damage

Location: All Bathrooms

Task: Consult Licensed Plumber

Interior

CEILINGS \ General notes

Condition: • Water stains

Water stains were observed in the ceiling, indicating prior moisture intrusion from above. The staining suggests that water may have pooled or traveled along structural elements before saturating the ceiling materials, potentially compromising the integrity of the drywall, insulation, and any nearby electrical components. These stains may also signal ongoing or unresolved leaks, especially if discoloration has spread or deepened over time. Recommend assessment of the ceiling cavity for hidden damage or mold, and replacement of all affected materials to prevent future deterioration and

SUMMARY

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

ensure occupant safety.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Interior

Task: Consult Licensed Contractor

Time: As Soon as Possible

BASEMENT \ Wet basement - evidence

Condition: • [Efflorescence](#)

Efflorescence was observed on the basement walls. Efflorescence is a white, powdery substance that appears when water carrying soluble salts evaporates from masonry or concrete surfaces, leaving the salts behind. This indicates that moisture is seeping through the walls, likely due to inadequate waterproofing or drainage issues. While efflorescence itself is not harmful, it is a sign of ongoing moisture problems that could lead to further issues such as mold growth or deterioration of the building materials. It is recommended to address the source of the moisture intrusion by improving drainage around the foundation, applying waterproofing treatments, and ensuring proper ventilation in the basement.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Basement

Task: Further evaluation

Time: As soon as possible

CRAWLSPACE \ Wet crawlspace - evidence

Condition: • [Efflorescence](#)

Implication(s): Chance of water damage to structure, finishes and contents

Location: Crawlspace

Task: Improve Exterior Drainage/Ventilate Crawlspace

Time: Ongoing

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

ROOFING

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Sloped roofing material: • [Asphalt shingles](#) • [Metal](#)

Limitations

Inspection performed: • From the ground • With a drone

Recommendations

SLOPED ROOFING \ Asphalt shingles

1. Condition: • Aging

The roof of the home is showing clear signs of aging and is original to the property. Due to its age, it is likely experiencing wear and potential issues that are typical as roofs near the end of their lifespan. Aging roofs often face challenges such as weakened shingles, potential leaks, and reduced structural integrity. Additionally, as roofs age, they become harder to insure, with many insurance companies requiring updates or replacements to provide coverage. It is recommended that the roof be thoroughly evaluated and considered for replacement to maintain the home's safety, functionality, and insurability.

Location: Roof

Task: Consult Roofing Professional

Time: As needed

2. Condition: • Tree branches touching roof

Having a trees too close to your home can pose multiple hazards, including roof damage from wind-blown branches, the risk of limbs penetrating the property, and acting as a pathway for pests like rodents to access the roof and attic.

Implication(s): Shortened life expectancy of material

Location: Roof

Task: Trim Trees

Time: As soon as possible

ROOFING

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

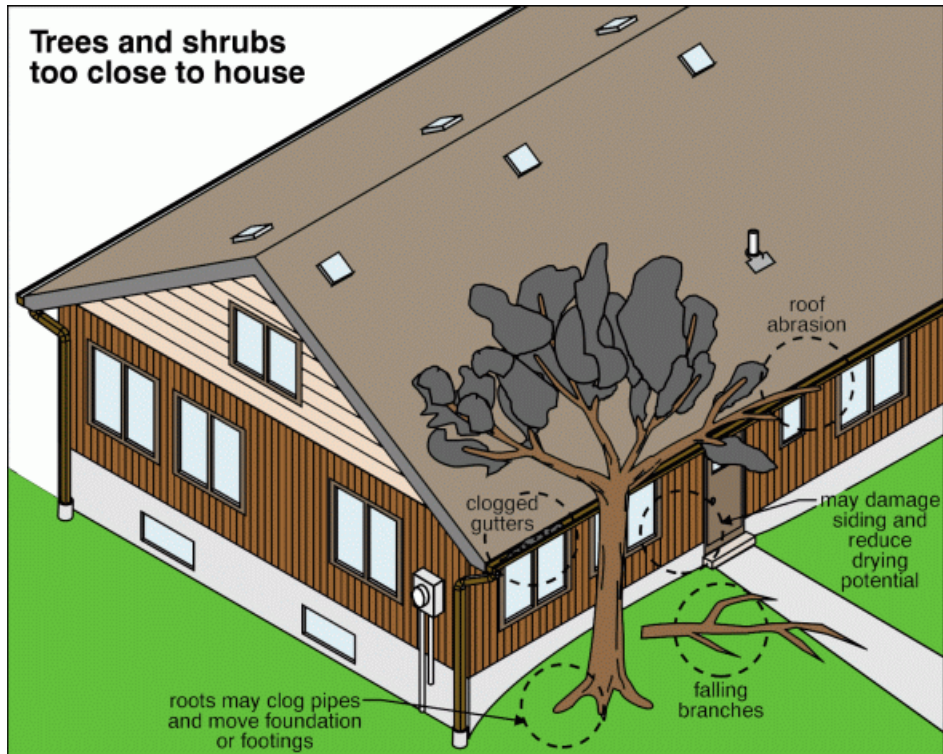
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



EXTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

General:

- Exterior View



1. Exterior View



2. Exterior View



3. Exterior View



4. Exterior View

EXTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

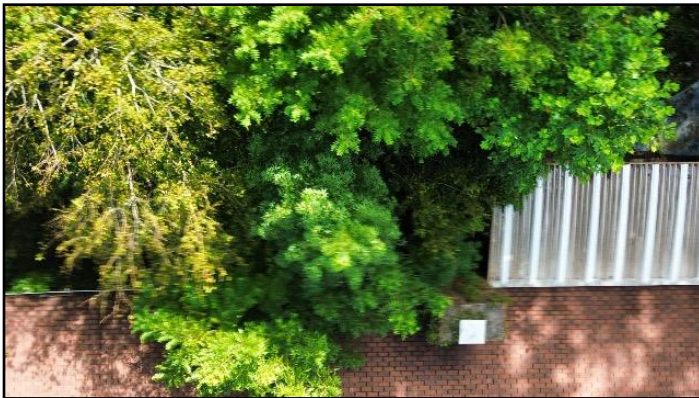
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5. Exterior View



6. Exterior View



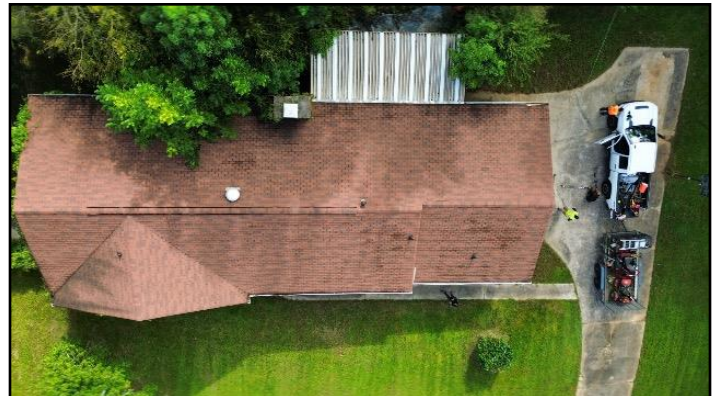
7. Exterior View



8. Exterior View



9. Exterior View



10. Exterior View

EXTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

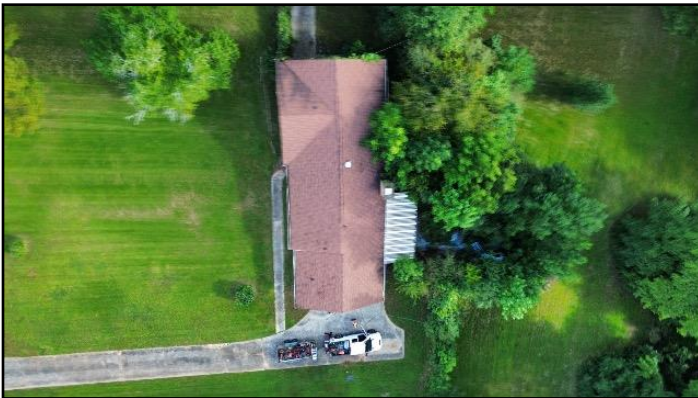
REFERENCE



11. Exterior View



12. Exterior View



13. Exterior View



14. Exterior View



15. Exterior View



16. Exterior View

EXTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



17. Exterior View



18. Exterior View



19. Exterior View



20. Exterior View

EXTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



21. Exterior View



22. Exterior View



23. Exterior View



24. Exterior View

EXTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



25. Exterior View



26. Exterior View



27. Exterior View



28. Exterior View

EXTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

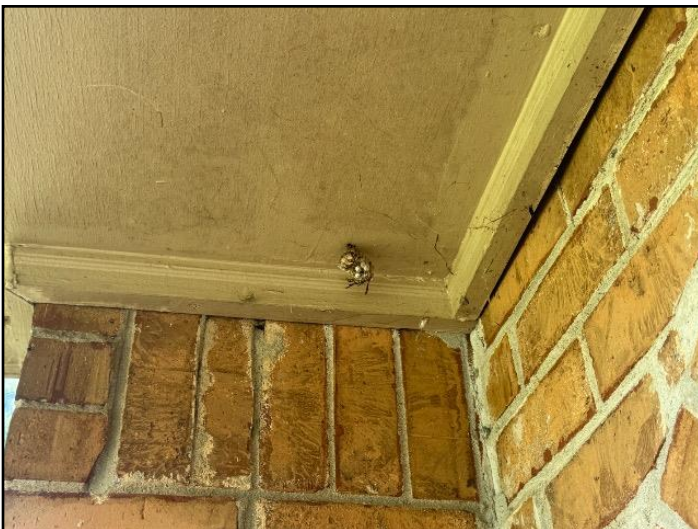
REFERENCE



29. Exterior View



30. Exterior View



31. Exterior View



32. Exterior View

EXTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



33. Exterior View



34. Exterior View



35. Exterior View



36. Exterior View

EXTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



37. Exterior View



38. Exterior View



39. Exterior View



40. Exterior View

Downspout discharge: • [Below grade](#) • [Above grade](#)

Wall surfaces and trim: • [Brick](#)

Recommendations

ROOF DRAINAGE \ Gutters

3. Condition: • [Clogged](#)

The home's gutters were found to be clogged with debris, which prevents proper drainage of rainwater from the roof and can lead to water overflow onto fascia boards, siding, and the foundation. Prolonged clogging can cause water to back up under the roofing materials, potentially leading to roof leaks, wood rot, and damage to structural components. Additionally, poor drainage near the foundation increases the risk of basement or crawlspace moisture intrusion. Recommend immediate cleaning of the gutter system and installation of gutter guards or a regular maintenance schedule to ensure consistent water flow and protect the home from water-related damage.

EXTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

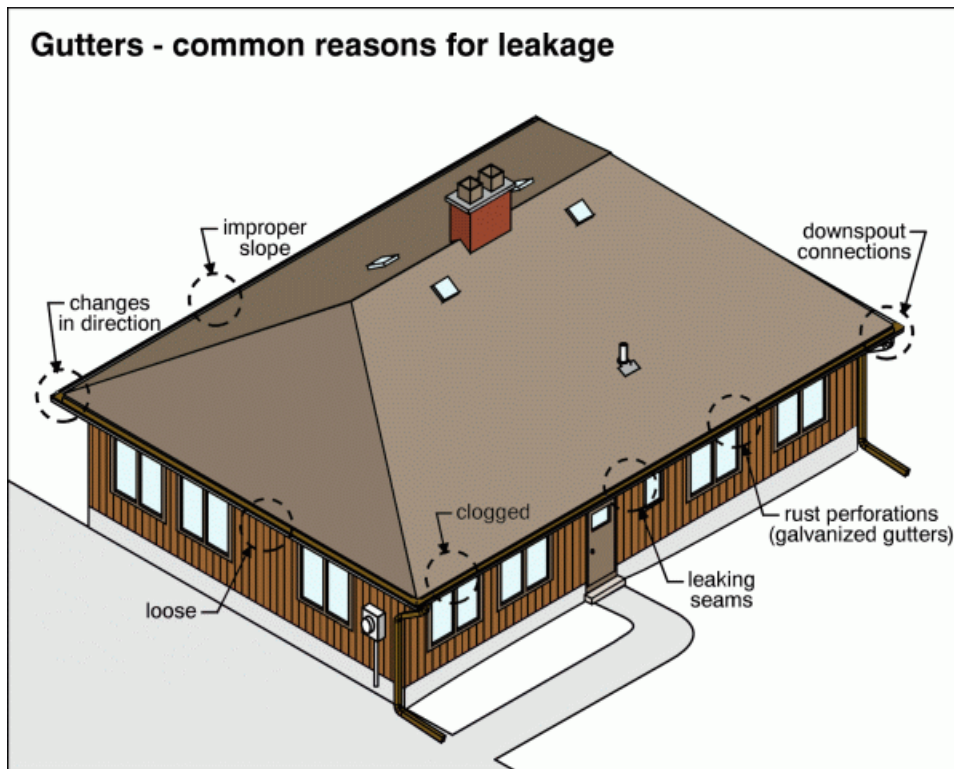
REFERENCE

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior

Task: Clean Gutters/Add Gutter Guards

Time: As soon as possible



ROOF DRAINAGE \ Downspouts

4. Condition: • [Damage](#)

Downspouts are damaged, with visible cracks, dents, or deformations. This damage can obstruct the proper flow of water, leading to potential overflow, water pooling near the foundation, or further deterioration of the downspouts. It is recommended to repair or replace the damaged downspouts to ensure effective water management and prevent water-related issues around the property.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior

Task: Repair

EXTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

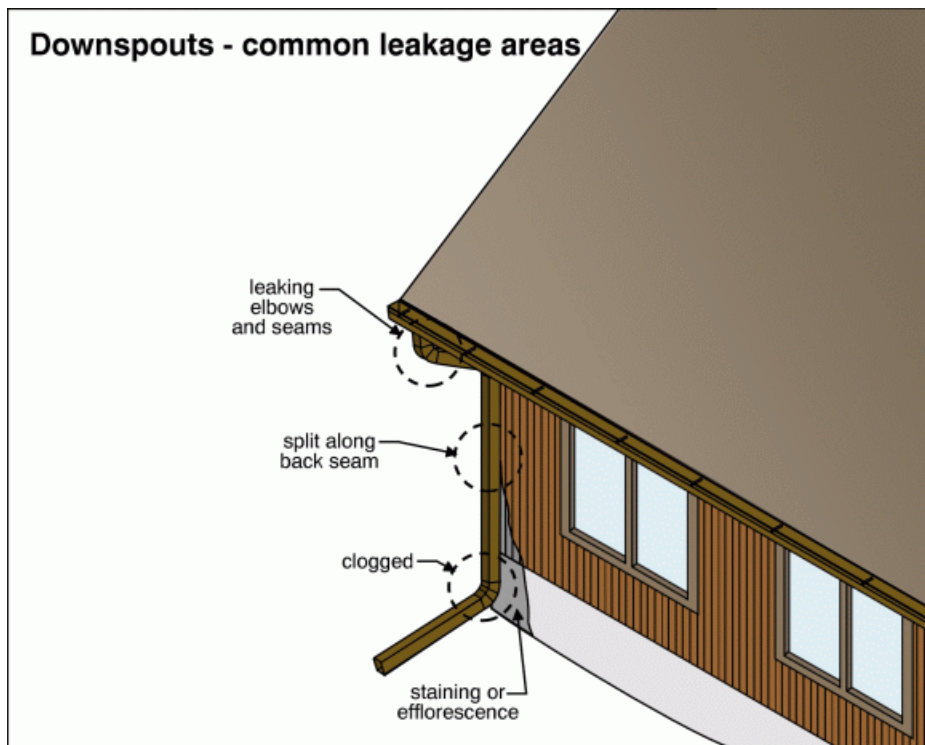
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



5. Condition: • [Discharge below grade](#)

Downspouts are discharging water below grade, directing water underground rather than away from the building's foundation. This can lead to improper drainage, potentially causing water to pool around the foundation or seep into the basement or crawl space. It is recommended to modify the downspout discharge system to ensure that water is directed above grade and away from the structure, reducing the risk of water damage and foundation issues.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior

Task: Repair

EXTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

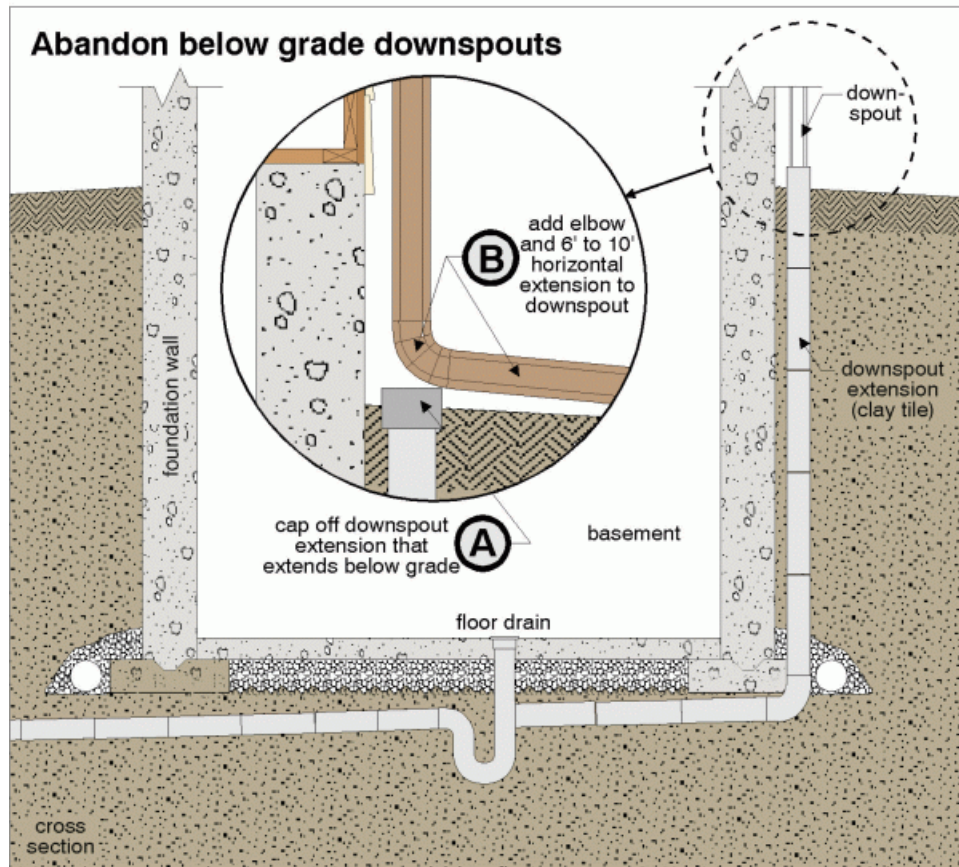
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



6. Condition: • [Should discharge 6 feet from building](#)

Downspout extensions need to be rearranged/replaced to divert water away from the foundation. Discharging the downspout at least six feet away from the property's foundation helps ensure proper drainage, minimize potential damage, and maintain a healthy and dry environment around the foundation

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior

Task: Improve Downspout Extensions

Time: As soon as possible

EXTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

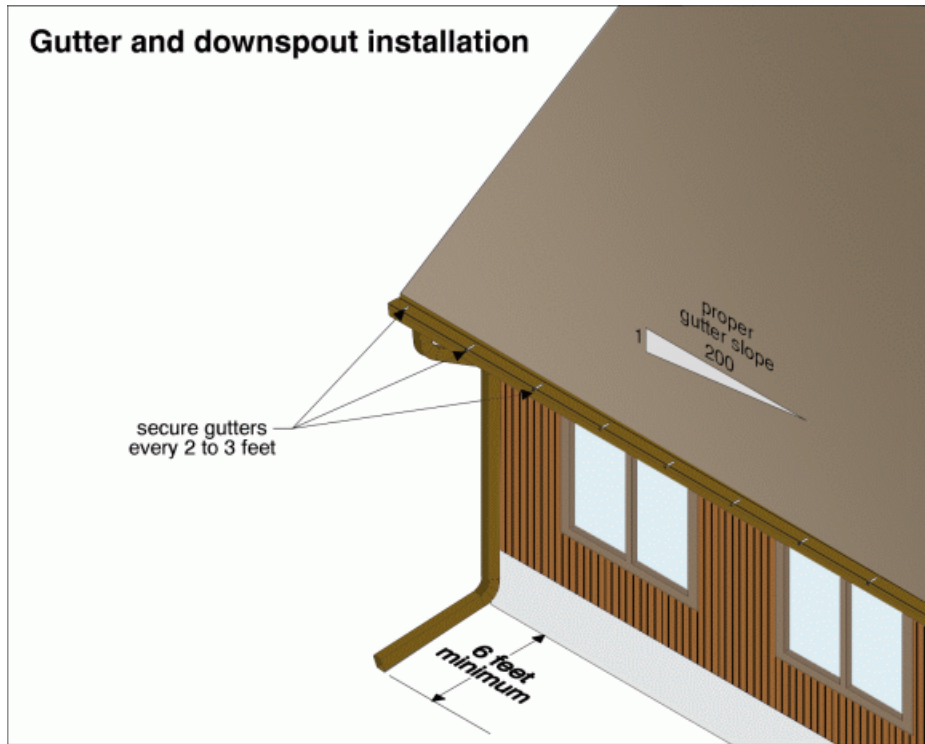
INSULATION

PLUMBING

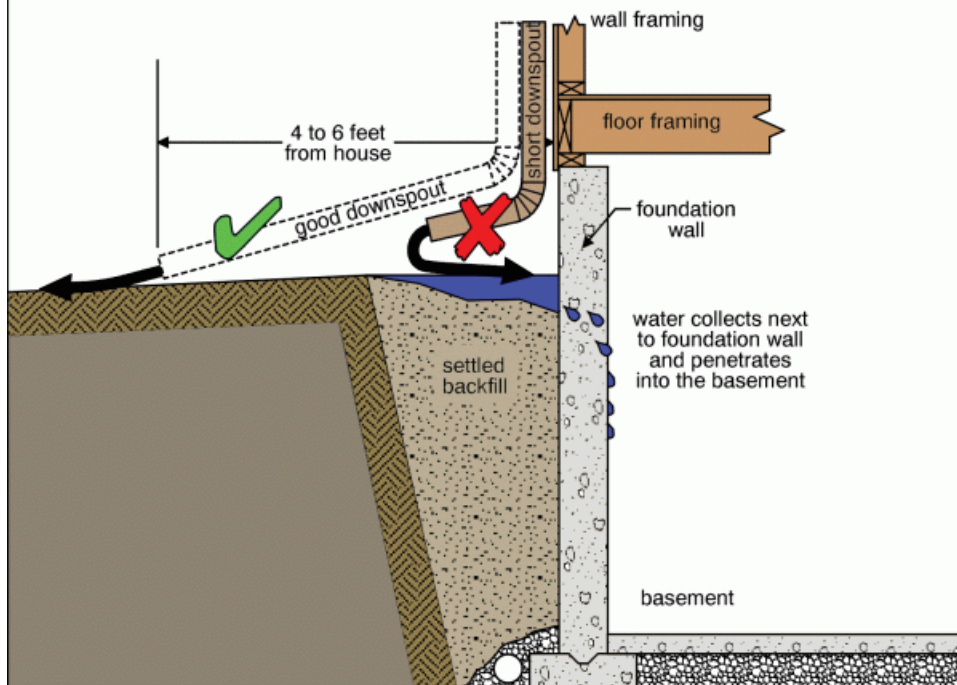
INTERIOR

REFERENCE

Gutter and downspout installation



Downspout extension too short



WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)

7. Condition: • [Damage](#)

EXTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

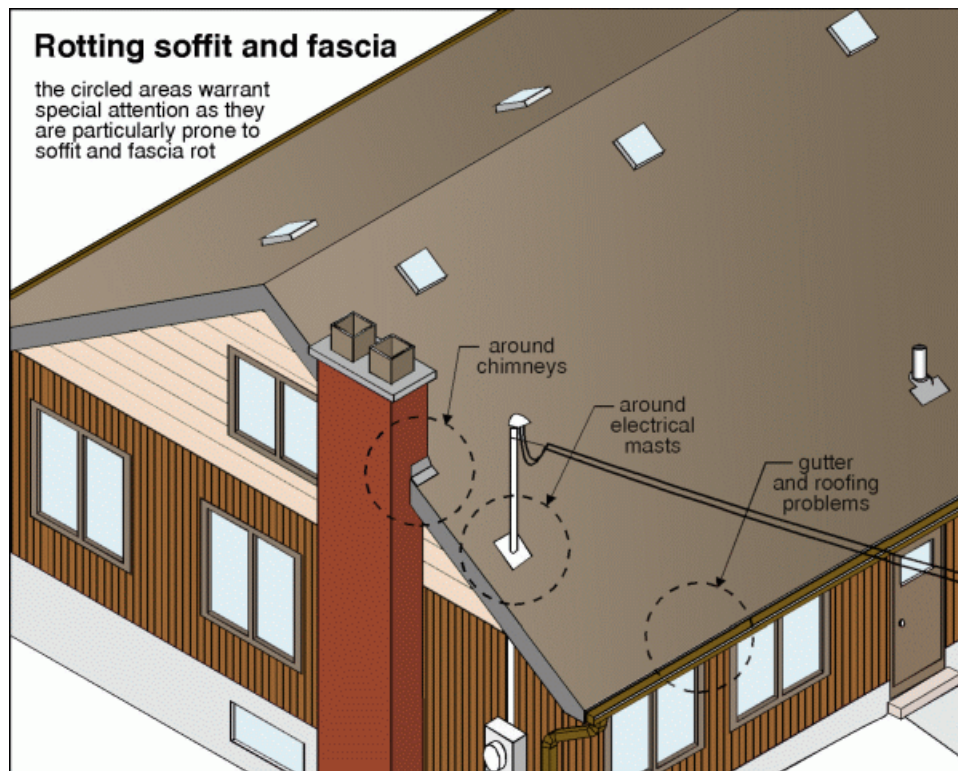
Soffit and fascia boards in multiple areas of the property. This damage may include rot, warping, or missing sections, which can expose the roof structure and attic to moisture, pests, and further deterioration. Left unaddressed, this issue could lead to more extensive damage to the roof and surrounding structures. It is recommended to have a qualified contractor perform necessary repairs or replacements to restore the soffit and fascia to proper condition.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior

Task: Repair

Time: Immediately



WALLS \ Flashings and caulking

8. Condition: • [Flashings incomplete or ineffective](#)

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior

Task: Repair or Replace

9. Condition: • [Caulking missing or ineffective](#)

Implication(s): Chance of water damage to structure, finishes and contents

Location: Rear Exterior

Task: Repair

WALLS \ Vent (fan, clothes dryer, etc.)

10. Condition: • Cover damaged

Dryer vent opening lacked cover or had broken components. All vents should be fitted with proper covers to prevent pests and weather exposure.

Implication(s): Increased operating costs

Location: Exterior

Task: Repair

EXTERIOR GLASS/WINDOWS \ Frames

11. Condition: • Rot

Rot was observed on the window frame, which can occur when prolonged exposure to moisture allows wood decay fungi to weaken the material. This deterioration can compromise the frame's structural integrity, cause drafts, and create a pathway for further water intrusion or pest activity. It is recommended that the damaged wood be repaired or replaced, and the source of moisture intrusion addressed to prevent recurrence.

Implication(s): Material deterioration

Location: Exterior

Task: Repair

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Stairs and landings

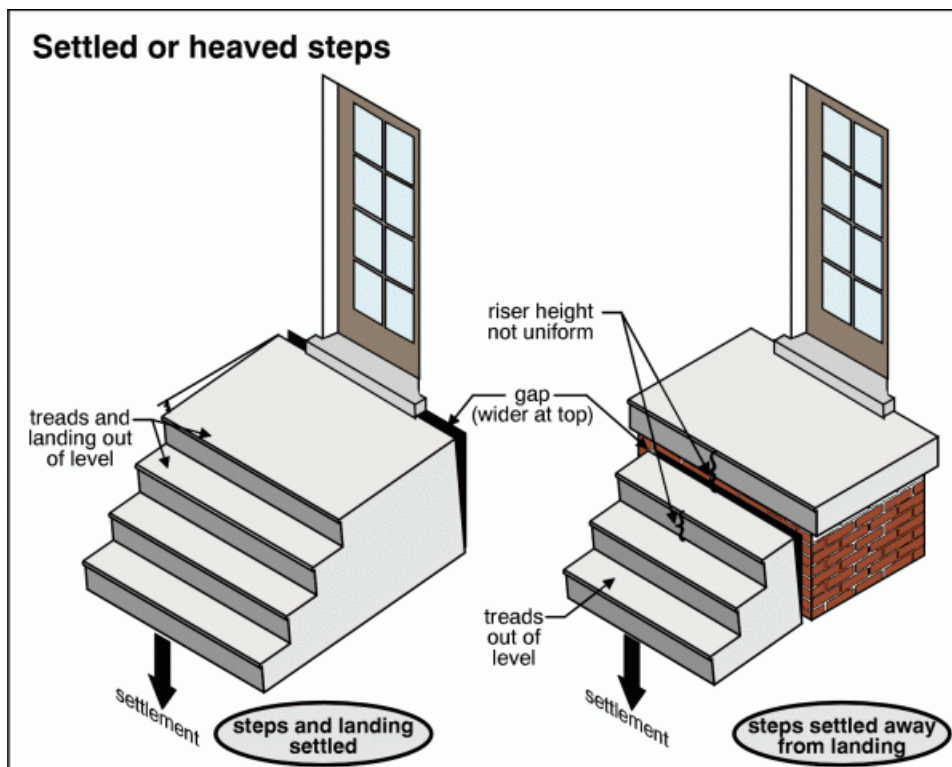
12. Condition: • [Steps or landings settling or heaving](#)

During the inspection, steps and/or landings were observed to have settled or heaved, creating uneven surfaces. This condition can present a tripping hazard and may indicate underlying soil movement or drainage issues. It is recommended that a qualified contractor evaluate the affected areas and perform necessary repairs to restore safe and stable surfaces.

Implication(s): Weakened structure | Trip or fall hazard

Location: Front Exterior

Task: Consult Licensed Contractor



EXTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

LANDSCAPING \ General notes

13. Condition: • Vines on building

During the inspection, vines were observed growing on the exterior of the building. While visually appealing to some, uncontrolled vines can trap moisture, damage siding, roofing, and structural elements, and provide access for pests. It is recommended that the vines be removed or properly managed to prevent potential damage to the building exterior.

Implication(s): Chance of damage to finishes | Chance of pests entering building

Location: Exterior

Task: Landscape

LANDSCAPING \ Driveway

14. Condition: • [Cracked or damaged surfaces](#)

Cracks and surface damage were observed in the driveway and surrounding landscaped hardscape areas. These defects can worsen over time due to moisture penetration, freeze-thaw cycles, and normal wear, potentially leading to trip hazards or drainage issues. We recommend evaluation and appropriate repairs by a qualified contractor to maintain safety, functionality, and curb appeal.

Implication(s): Trip or fall hazard

Location: Exterior

Task: Repair/Seal

OTHER \ Observations

15. Condition: • Insects Sighted

16. Condition: • Insects Sighted

Bird's Nest

Location: Front Porch

Task: Remove

Description

Configuration: • [Basement](#) • [Crawlspace](#)

Foundation material: • [Masonry block](#)

Floor construction: • [Joists](#)

Exterior wall construction: • [Masonry](#)

Roof and ceiling framing: • Rafters

Recommendations

FOUNDATIONS \ Columns or piers

17. Condition: • Rust

During the inspection, columns or piers supporting the structure were observed to have rust. Rust can weaken metal components over time, potentially compromising structural stability. It is recommended that a qualified contractor or structural engineer evaluate the affected columns or piers and perform necessary repairs or protective treatments to ensure continued structural integrity.

Location: Crawlspace

Task: Consult Licensed Contractor

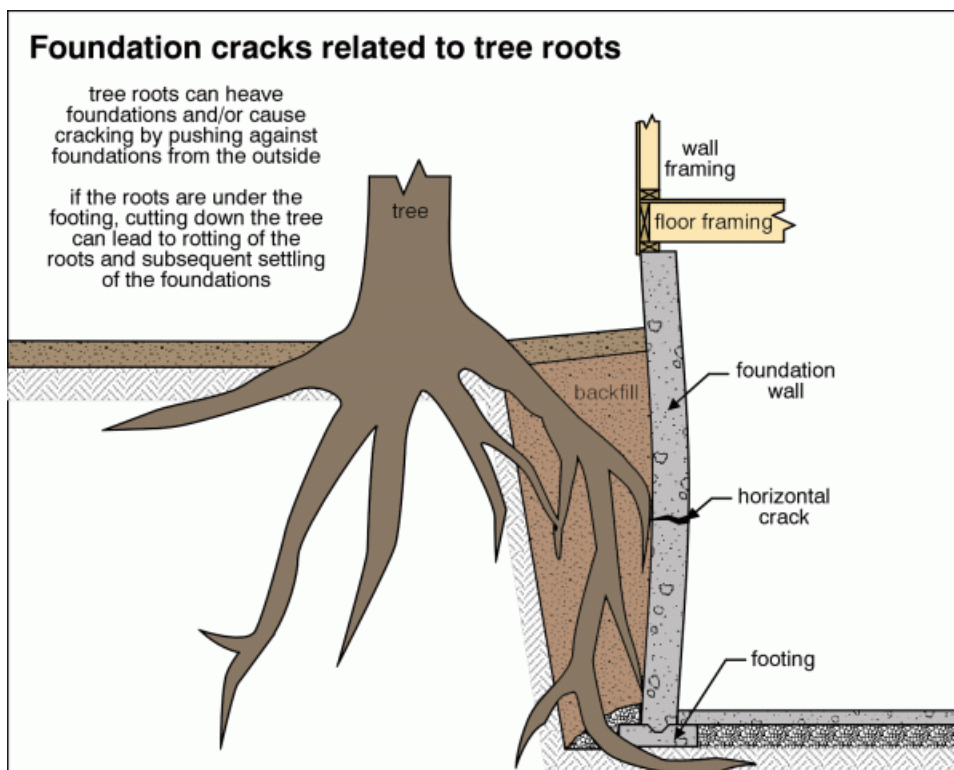
FOUNDATIONS \ General notes

18. Condition: • [Large trees close to building](#)

Implication(s): Weakened structure | Chance of structural movement

Location: Exterior

Task: Consult Arborist



STRUCTURE

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
REFERENCE									

19. Condition: • Moisture Retention

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Service size: • [200 Amps \(240 Volts\)](#)

Main disconnect/service box type and location: • [Breakers - basement](#)

Distribution wire (conductor) material and type: • [Copper - non-metallic sheathed](#)

Smoke alarms (detectors): • None noted

Carbon monoxide (CO) alarms (detectors): • None noted

Recommendations

DISTRIBUTION SYSTEM \ Wiring (wires) - installation

20. Condition: • [Open splices](#)

Exposed splices were found in the electrical wiring without appropriate junction boxes or wire nuts, creating a shock and fire hazard. All open splices should be properly enclosed in junction boxes with approved covers.

Implication(s): Electric shock | Fire hazard

Location: Ceiling

Task: Consult Licensed Electrician

21. Condition: • [Extension cord used as permanent wiring](#)

Observed extension cords are being used as permanent wiring within the property. Extension cords are intended for temporary use and are not designed to replace permanent wiring. This practice poses a significant fire hazard due to the potential for overheating, overloading, and damage to the cords over time. It is strongly recommended to engage a licensed electrician to install appropriate, code-compliant permanent wiring to ensure the safety and reliability of the electrical system.

Implication(s): Electric shock | Fire hazard

Location: Bedroom

Task: Consult Licensed Electrician

DISTRIBUTION SYSTEM \ Outlets (receptacles)

22. Condition: • [Loose](#)

Implication(s): Electric shock | Fire hazard

Location: Exterior/Interior

Task: Consult Licensed Electrician

DISTRIBUTION SYSTEM \ GFCI (Ground Fault Circuit Interrupter) protection not noted at

23. Condition: • Bathroom

Location: Bathroom

Task: Replace the outlet with GFCI-protected receptacle

Time: Before use

24. Condition: • Kitchen counters

Location: Kitchen

Task: Replace

25. Condition: • Laundry area

Location: Laundry Area

Task: Update to GFCI Outlet

26. Condition: • Outdoors

Location: Exterior

Task: Replace to GFCI Outlet

Time: As soon as possible

27. Condition: • Garage

Location: Garage

Task: Consult Licensed Electrician

DISTRIBUTION SYSTEM \ Switches

28. Condition: • [Damage](#)

Here's the version without the "Recommendation:" label:

****Electrical | Switches - Damaged/Non-Operational:****

During the inspection, several wall switches were found to be damaged and unable to operate properly. This condition presents a potential safety hazard and may indicate underlying wiring issues. It is recommended that a licensed electrician evaluate all affected switches and repair or replace them to ensure safe and proper functionality.

Implication(s): Electric shock | Fire hazard

Location: Hallway

Task: Consult Licensed Electrician

DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

29. Condition: • Missing

Implication(s): Safety issue

Location: Interior

Task: Repair

HEATING

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Heating system type: • [Furnace](#)

Fuel/energy source: • [Electricity](#)

Approximate age: • Past lifespan

Fireplace/stove: • Wood-burning fireplace - not in service

Location of the thermostat for the heating system: • Hallway

Recommendations

FURNACE \ Air filter

30. Condition: • [Dirty](#)

Implication(s): Equipment ineffective | Increased heating costs | Reduced comfort | Increased maintenance costs

Task: Replace

Time: As soon as possible

FURNACE \ General notes

31. Condition: • Service Furnace

Recommend HVAC professional service furnace based on the condition of the appliance was found with faceplate unattached. Unable to locate the data plate including serial number to determine the age of this unit.

Location: Basement

Task: Consult HVAC Professional

Time: As soon as possible

FURNACE \ Life expectancy

32. Condition: • Past life expectancy

Implication(s): Equipment failure | No heat for building

Task: Consult Licensed HVAC Professional

FURNACE \ Ducts, registers and grilles

33. Condition: • [Dirty](#)

Recommend duct cleaning because it can significantly improve indoor air quality by removing accumulated dust, debris, and allergens from the HVAC system. This not only enhances the overall comfort of the living space but also promotes better respiratory health, especially for individuals prone to allergies or asthma. Additionally, regular duct cleaning can improve the efficiency and longevity of the HVAC system

Implication(s): Increased heating and cooling costs | Reduced comfort

Location: Interior

Task: Clean

HEATING CONTROL \ Thermostat

34. Condition: • Inoperative

The thermostat controlling the heating system was inoperative at the time of inspection, preventing proper adjustment or activation of the heating equipment. This condition may result from electrical issues, battery depletion, wiring faults, or internal component failure, and it leaves the heating system non-functional until repaired. It is recommended to have a licensed HVAC technician inspect the thermostat, determine the cause of the malfunction, and repair or replace it to restore full heating control.

HEATING

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Location: Interior

Task: Consult Licensed HVAC Technician

FIREPLACE \ General notes

35. Condition: • Not functional

The fireplace was found to be non-functional at the time of inspection and could not be used for heating or ventilation purposes. This condition may be due to issues with the firebox, damper, chimney, fuel supply, or other operational components. It is recommended to have a qualified fireplace or chimney specialist evaluate the system, identify necessary repairs, and restore safe and proper operation before use.

Implication(s): System inoperative

Location: Living Room

Task: Consult Professional

COOLING & HEAT PUMP

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Air conditioning type: • Central

Heat pump type: • None present

Compressor approximate age: • Near end of life expectancy

Location of the thermostat for the cooling system: • Hallway

Recommendations

AIR CONDITIONING \ General notes

36. Condition: • Service air conditioner

Implication(s): Reduced system life expectancy | Increased cooling costs | Reduced comfort

Location: Exterior

Task: Consult Licensed HVAC Professional

Time: As soon as possible

AIR CONDITIONING \ Life expectancy

37. Condition: • [Near end of life expectancy](#)

Implication(s): Equipment failure | Reduced comfort

Location: Exterior

Task: Consult HVAC Technician

Time: As needed

AIR CONDITIONING \ Compressor

38. Condition: • [Inoperative](#)

Implication(s): Equipment overheating | Damage to equipment | System inoperative or difficult to operate | Reduced comfort

Location: Interior

Task: Repair

AIR CONDITIONING \ Thermostat

39. Condition: • [Inoperative](#)

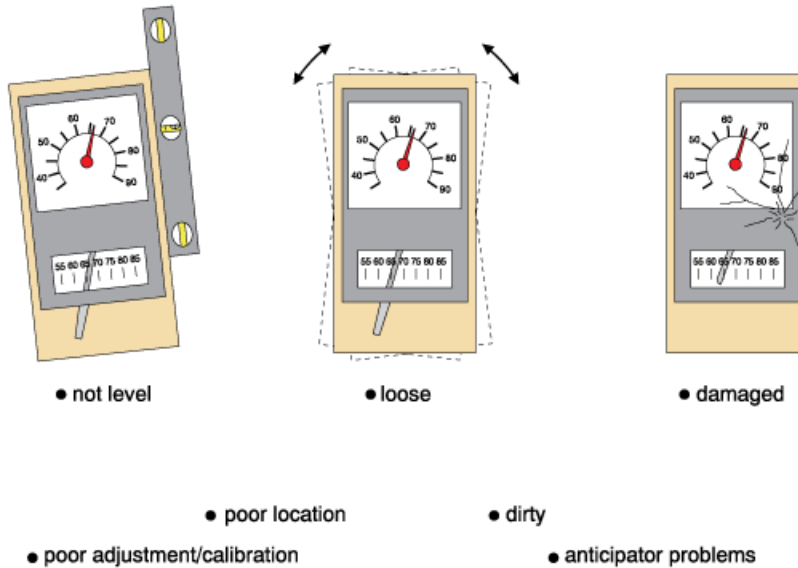
The air conditioning system's thermostat was found to be inoperative at the time of inspection, preventing the unit from being controlled or tested for proper function. An inoperative thermostat may be due to electrical faults, battery failure, or internal component malfunction, and will render the cooling system unusable until corrected. It is recommended to have a qualified HVAC technician diagnose the cause of the failure and repair or replace the thermostat to restore system operation.

Implication(s): Increased cooling costs | Reduced comfort

Location: Interior

Task: Consult Licensed HVAC Technician

Thermostat conditions to watch for



AIR CONDITIONING \ Whole house fan

40. Condition: • [Inoperative](#)

During the inspection, the whole house fan was found to be inoperative and did not function when tested. This may indicate electrical, mechanical, or motor-related issues that prevent proper operation. It is recommended that a qualified HVAC technician or licensed electrician evaluate the fan and perform any necessary repairs to restore proper functionality.

Implication(s): Reduced comfort

Location: Hallway

Task: Consult Licensed Contractor

INSULATION AND VENTILATION

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Attic/roof insulation material: • Not visible

Attic/roof air/vapor barrier: • [Not visible](#)

Attic/roof ventilation: • [Roof and soffit vents](#)

Recommendations

ATTIC/ROOF \ Insulation

41. Condition: • Animal/pest droppings in attic

Animal or pest droppings were observed in the attic, indicating that rodents or other wildlife have accessed the space. This can pose health risks due to contamination, damage insulation, and potentially compromise electrical wiring if chewing has occurred. The presence of droppings suggests an active or past infestation and warrants further evaluation by a pest control professional. It is recommended to have the attic thoroughly inspected, sealed as needed to prevent future access, and cleaned to remove contaminated materials.

Implication(s): Health hazard

Location: Attic

Task: Consult Pest Control

FOUNDATION \ Interior insulation

42. Condition: • [No vapor barrier](#)

During the inspection, the interior insulation was observed to be installed without a vapor barrier. The absence of a vapor barrier can allow moisture to pass into wall cavities, potentially leading to mold growth, wood rot, and reduced energy efficiency. It is recommended that a qualified contractor evaluate the insulation and consider installing an appropriate vapor barrier to protect the building envelope.

Implication(s): Chance of condensation damage to finishes and/or structure

Location: Crawlspace

Task: Add Vapor Barrier

43. Condition: • [Loose, sagging or voids](#)

Proper foundation insulation is essential for maintaining energy efficiency and protecting the foundation from temperature extremes and moisture-related issues. Loose or sagging insulation can reduce its effectiveness, leading to potential heat loss, higher energy bills, and compromised structural protection. Voids in the insulation can also allow for moisture infiltration and pest entry. It is recommended to have the insulation repaired or replaced to ensure it is properly secured and fills all gaps.

Implication(s): Increased heating costs

Location: Crawlspace

Task: Repair

FOUNDATION \ Crawlspace floor

44. Condition: • Animal/pest droppings in crawlspace

During the inspection, animal or pest droppings were observed in the crawlspace. This condition indicates the presence of wildlife or pests, which can lead to health hazards, damage to insulation or wiring, and potential structural concerns. It is recommended that a licensed pest control professional inspect the area, remove any droppings, and implement measures to prevent further infestation.

INSULATION AND VENTILATION

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Location: Crawlspace

Task: Consult Pest Control

Description

Water supply source (based on observed evidence): • Not determined

Supply piping in building: • [Copper](#)

Water heater type: • Tank

Water heater fuel/energy source: • [Electric](#)

Water heater tank capacity: • [40 gallons](#)

Water heater approximate age: • 9 years

Waste and vent piping in building: • [PVC plastic](#)

Recommendations

SUPPLY PLUMBING \ Water supply piping in building

45. Condition: • [Poor support](#)

During the inspection, water supply piping throughout the building was observed to have inadequate or improper support. This condition can lead to stress on joints, leaks, or pipe movement over time. It is recommended that a licensed plumber evaluate the piping and install proper supports to ensure stability and prevent potential damage.

Implication(s): Chance of water damage to structure, finishes and contents | Leakage

Location: Bathroom

Task: Consult Licensed Plumber

WASTE PLUMBING \ Drain piping - performance

46. Condition: • [Leak](#)

A leak was observed in the drain piping system, indicating potential failure at a joint, crack, or fixture connection. Water leaks in waste lines can lead to structural damage and mold. It is recommended that the leaking section be promptly repaired or replaced.

Implication(s): Sewage entering the building

Task: Consult Licensed Plumber

47. Condition: • [Rust](#)

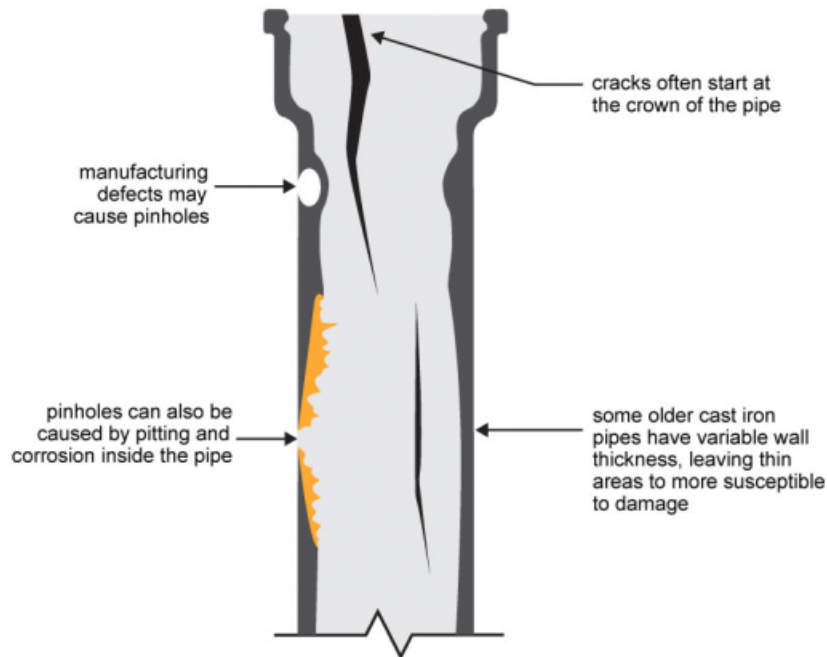
Rust was noted on metal drain piping, especially at joints and low spots. Rust weakens pipe walls and increases the risk of leaks. It is recommended that corroded pipes be replaced with corrosion-resistant materials to maintain system integrity.

Implication(s): Sewage entering the building

Location: Basement

Task: Consult Licensed Plumber

Pinholing and cracks in cast iron stacks



WASTE PLUMBING \ Traps - performance

48. Condition: • [Leak](#)

A leak was observed at a plumbing trap, which can allow wastewater to escape and create unsanitary conditions. Leaking traps may also lead to water damage, foul odors, and potential mold growth in surrounding materials. It is recommended to have a licensed plumber repair or replace the leaking trap to restore proper function and prevent further water intrusion or damage.

Implication(s): Sewage entering the building

Location: Hallway Bathroom

Task: Consult Licensed Plumber

WASTE PLUMBING \ Floor drain

49. Condition: • [Grate missing, rusted or obstructed](#)

The floor drain grate was found to be missing, heavily rusted, or obstructed, which can create a safety hazard, reduce drainage efficiency, and allow debris to enter the drain system. These conditions may also increase the risk of injury or clogging. It is recommended to have a qualified plumber or contractor replace the grate, remove obstructions, and ensure the drain is clear and functioning properly to maintain safety and drainage performance.

Implication(s): Chance of water damage to structure, finishes and contents | Trip or fall hazard

Location: Laundry Area

Task: Consult Licensed Plumber

FIXTURES AND FAUCETS \ Basin, sink and laundry tub

50. Condition: • [Leak](#)

A leak was observed in one or more of the plumbing fixtures, including the basin, sink, and laundry tub. The source may be faulty drain connections, deteriorated seals, or cracked components, which can lead to water damage to cabinetry, flooring, or adjacent structures. It is recommended to have a licensed plumber inspect each fixture, identify the source of the leaks, and perform the necessary repairs to ensure watertight and reliable operation.

Implication(s): Chance of water damage to structure, finishes and contents | Sewage entering the building

Location: Kitchen

Task: Consult Licensed Plumber

51. Condition: • [Slow drains](#)

One or more basins, sinks, or laundry tubs exhibited slow drainage at the time of inspection, indicating a possible partial blockage, buildup of debris, or improper venting. Restricted drainage can lead to standing water, unpleasant odors, and further plumbing issues if not addressed. It is recommended to have a licensed plumber evaluate the affected fixtures, clear any obstructions, and verify proper venting to restore normal drainage flow.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Kitchen

Task: Consult Licensed Plumber

FIXTURES AND FAUCETS \ Toilet

52. Condition: • [Loose](#)

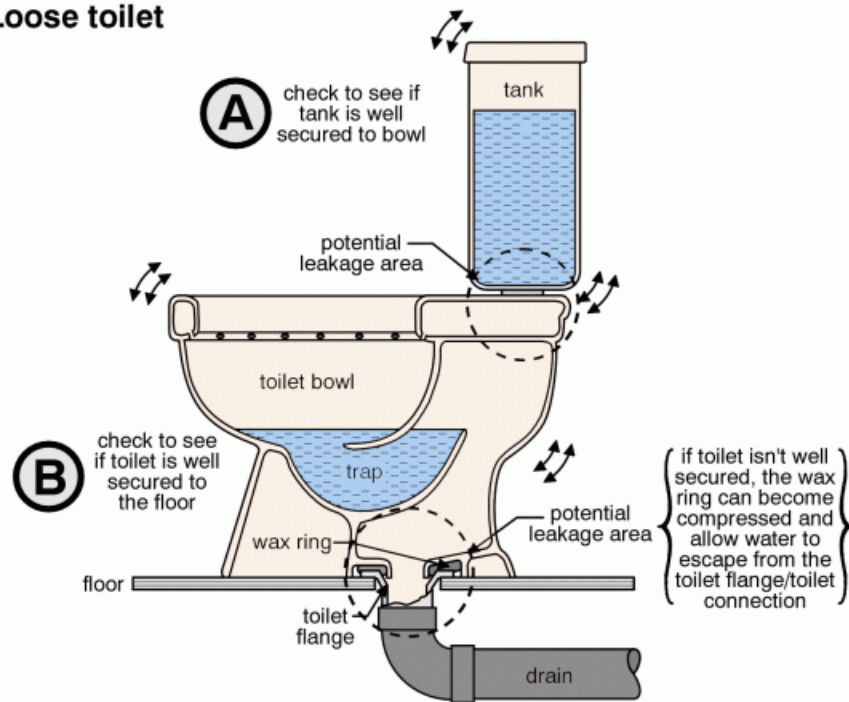
A loose toilet can cause water leaks, unpleasant odors, and potential damage to the flooring and surrounding areas. It can also lead to an unstable and uncomfortable experience for users. Promptly fixing a loose toilet is important to prevent further problems and maintain a functional and hygienic bathroom.

Implication(s): Chance of water damage to structure, finishes and contents | Sewage entering the building | Possible hidden damage

Location: All Bathrooms

Task: Consult Licensed Plumber

Loose toilet



53. Condition: • [Broken or cracked tank lids, bowls or seats](#)

During the inspection, the toilet lid was found to be broken and not fully functional. While this is primarily a cosmetic issue, it can affect safe and comfortable use. It is recommended that the toilet lid be repaired or replaced to restore proper function and usability.

Implication(s): Chance of water damage to structure, finishes and contents | Physical injury

Location: Bathroom

Task: Repair

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

General:

- Interior View
First Floor



41. Interior View



42. Interior View



43. Interior View



44. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



45. Interior View



46. Interior View



47. Interior View



48. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



49. Interior View



50. Interior View



51. Interior View



52. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



53. Interior View



54. Interior View



55. Interior View



56. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



57. Interior View



58. Interior View



59. Interior View



60. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

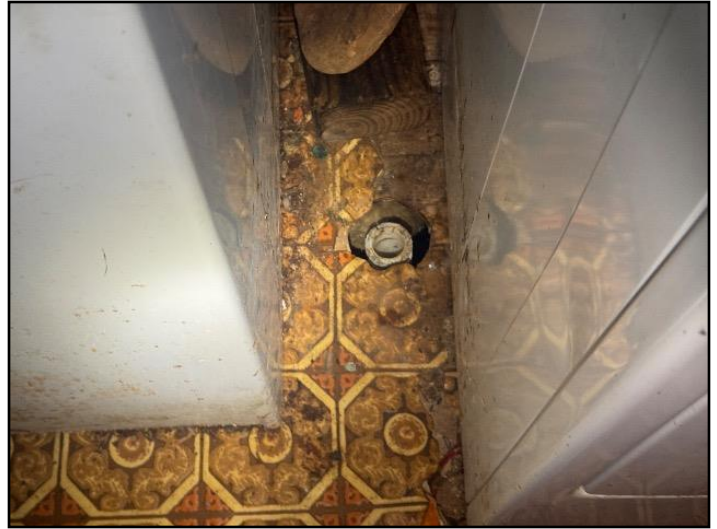
PLUMBING

INTERIOR

REFERENCE



61. Interior View



62. Interior View



63. Interior View



64. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



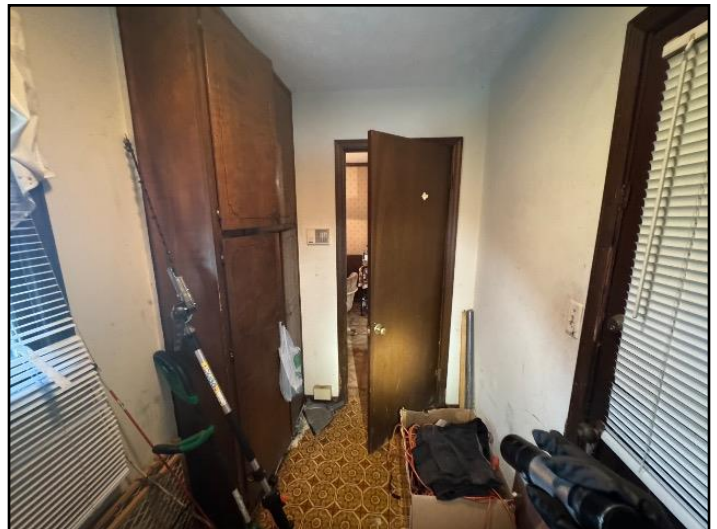
65. Interior View



66. Interior View



67. Interior View



68. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



69. Interior View



70. Interior View



71. Interior View



72. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



73. Interior View



74. Interior View



75. Interior View



76. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



77. Interior View



78. Interior View



79. Interior View



80. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



81. Interior View



82. Interior View



83. Interior View



84. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



85. Interior View



86. Interior View



87. Interior View



88. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



89. Interior View



90. Interior View



91. Interior View



92. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

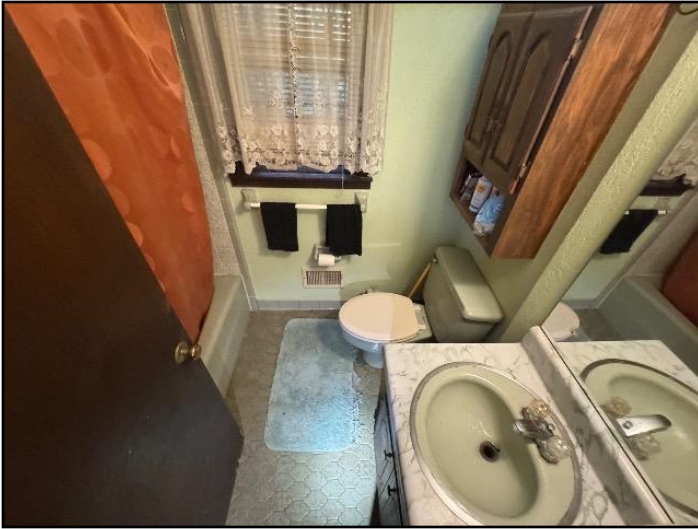
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



93. Interior View



94. Interior View



95. Interior View



96. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



97. Interior View



98. Interior View



99. Interior View



100. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

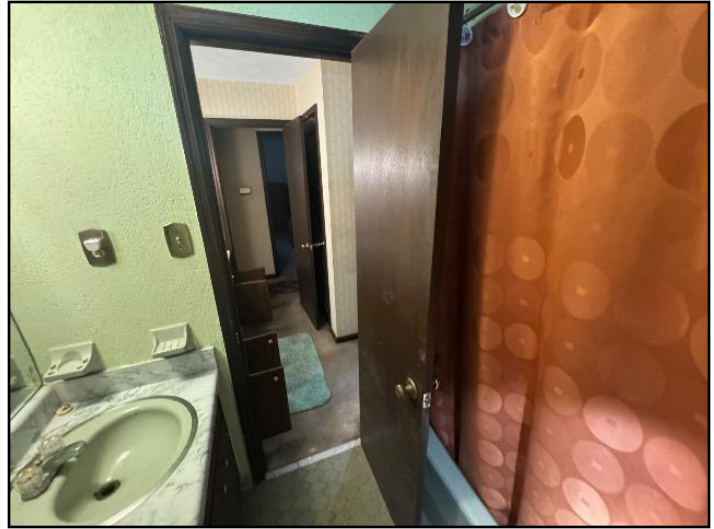
PLUMBING

INTERIOR

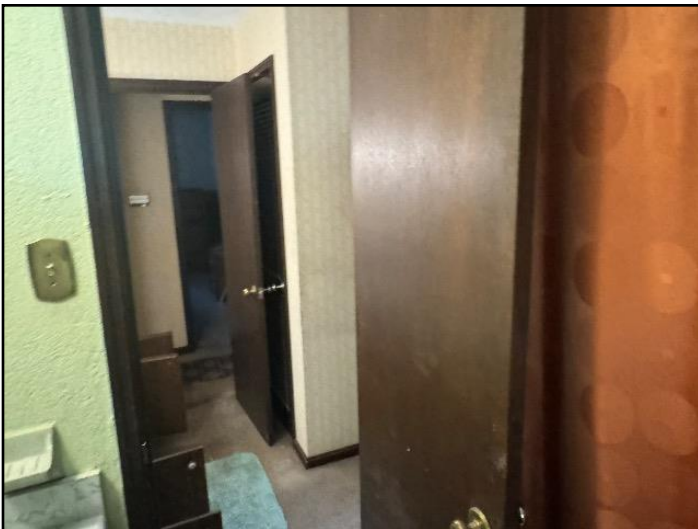
REFERENCE



101. Interior View



102. Interior View



103. Interior View



104. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



105. Interior View



106. Interior View



107. Interior View



108. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



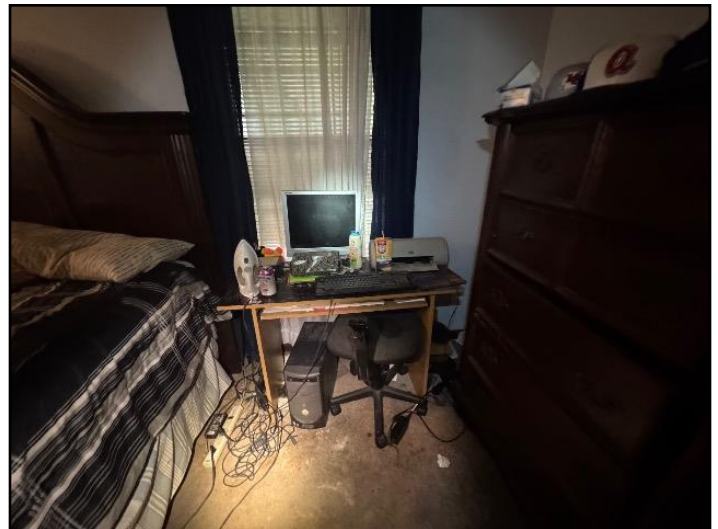
109. Interior View



110. Interior View



111. Interior View



112. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



113. Interior View



114. Interior View



115. Interior View



116. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



117. Interior View



118. Interior View



119. Interior View



120. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



121. Interior View



122. Interior View



123. Interior View



124. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



125. Interior View



126. Interior View



127. Interior View



128. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



129. Interior View



130. Interior View



131. Interior View



132. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



133. Interior View



134. Interior View



135. Interior View



136. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



137. Interior View



138. Interior View



139. Interior View



140. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



141. Interior View



142. Interior View



143. Interior View



144. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



145. Interior View



146. Interior View



147. Interior View



148. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

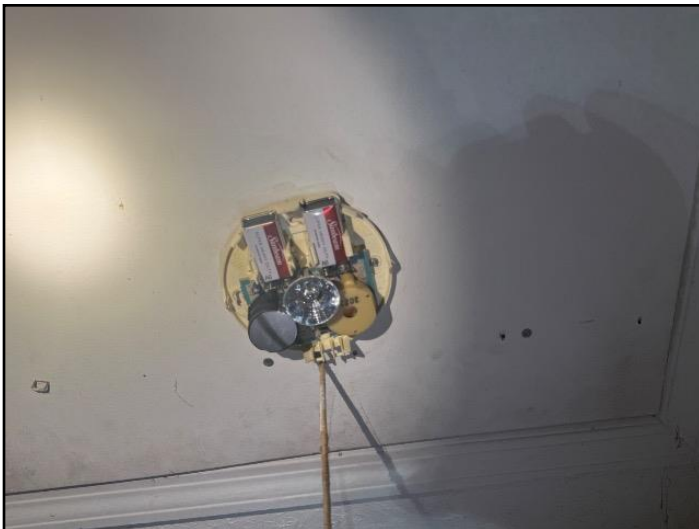
REFERENCE



149. Interior View



150. Interior View



151. Interior View



152. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



153. Interior View



154. Interior View



155. Interior View



156. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

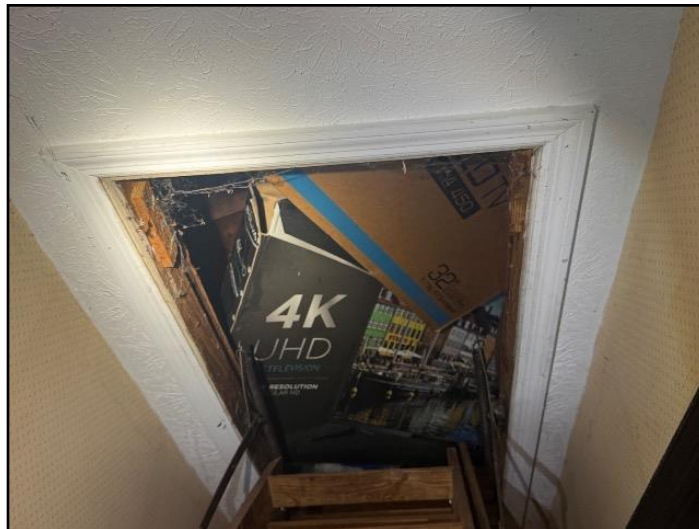
REFERENCE



157. Interior View



158. Interior View



159. Interior View

- Interior View
Basement, Garage, Crawlspace

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

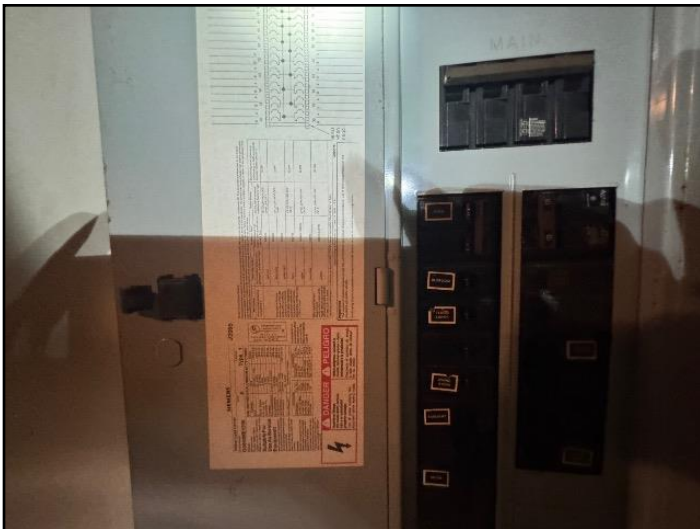
REFERENCE



160. Interior View



161. Interior View



162. Interior View



163. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

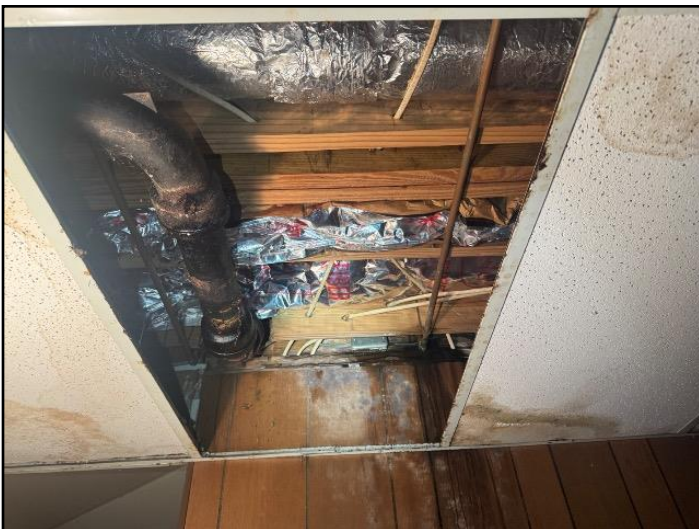
REFERENCE



164. Interior View



165. Interior View



166. Interior View



167. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

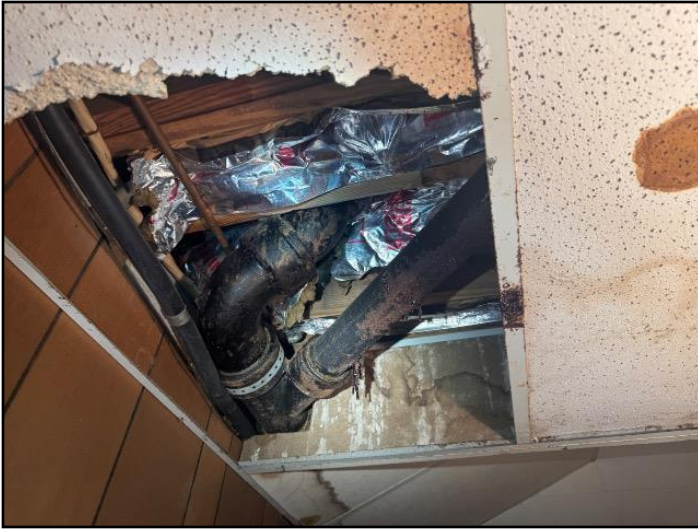
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



168. Interior View



169. Interior View



170. Interior View



171. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



172. Interior View



173. Interior View



174. Interior View



175. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



176. Interior View



177. Interior View



178. Interior View



179. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



180. Interior View



181. Interior View



182. Interior View



183. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

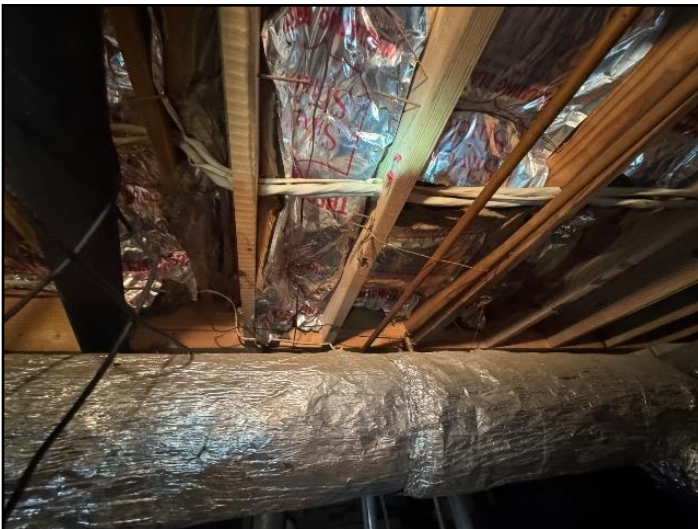
REFERENCE



184. Interior View



185. Interior View



186. Interior View



187. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



188. Interior View



189. Interior View



190. Interior View



191. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



192. Interior View



193. Interior View



194. Interior View



195. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



196. Interior View



197. Interior View



198. Interior View



199. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



200. Interior View



201. Interior View



202. Interior View



203. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

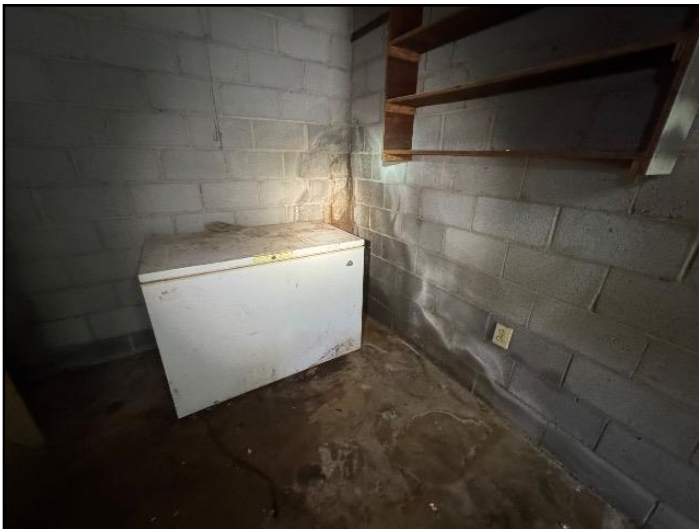
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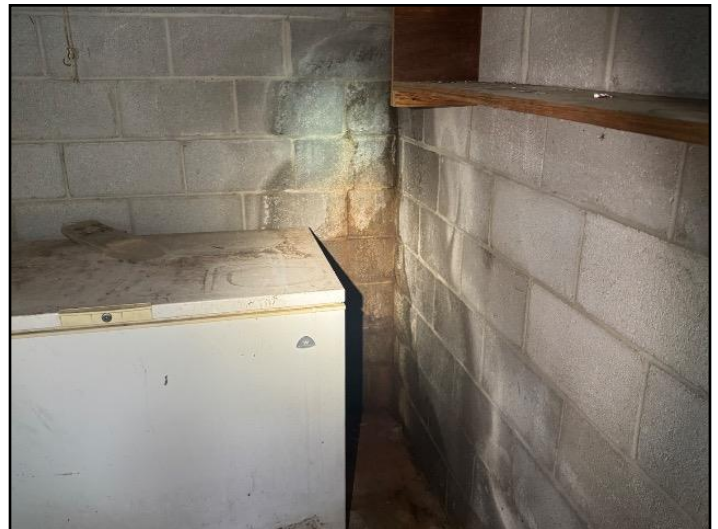
204. Interior View



205. Interior View



206. Interior View



207. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

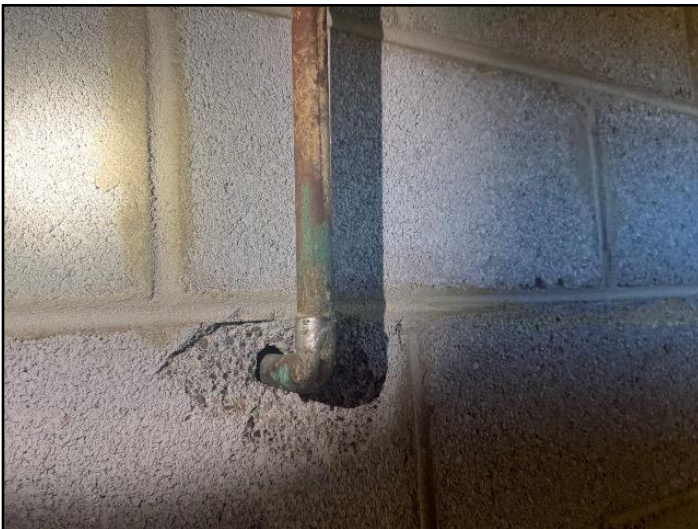
REFERENCE



208. Interior View



209. Interior View



210. Interior View



211. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



212. Interior View



213. Interior View



214. Interior View



215. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



216. Interior View



217. Interior View



218. Interior View



219. Interior View

INTERIOR

4400 Bouldercrest Road, Ellenwood, GA August 13, 2025

Report No. 1841

www.uptownhi.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



220. Interior View



221. Interior View



222. Interior View



223. Interior View

Major floor finishes: • [Carpet](#) • [Resilient](#) • Tile

Major wall and ceiling finishes: • [Plaster/drywall](#)

Exterior doors - type/material: • Hinged

Recommendations

CEILINGS \ General notes

54. Condition: • Water stains

Water stains were observed in the ceiling, indicating prior moisture intrusion from above. The staining suggests that water may have pooled or traveled along structural elements before saturating the ceiling materials, potentially compromising the integrity of the drywall, insulation, and any nearby electrical components. These stains may also signal ongoing or unresolved leaks, especially if discoloration has spread or deepened over time. Recommend assessment of the ceiling cavity for hidden damage or mold, and replacement of all affected materials to prevent future deterioration and

ensure occupant safety.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Interior

Task: Consult Licensed Contractor

Time: As Soon as Possible

WALLS \ Wood

55. Condition: • Damaged

Implication(s): Material deterioration | Damage or physical injury due to falling materials

Location: Basement

Task: Repair

56. Condition: • Water damaged

During the inspection, areas of the interior wood walls were observed to have water damage, including discoloration and potential warping. This condition may indicate past or ongoing moisture intrusion and could lead to structural or mold-related issues if not addressed. It is recommended that a qualified contractor evaluate the affected walls, identify the source of moisture, and perform necessary repairs to prevent further damage.

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration

Location: Basement

Task: Repair

FLOORS \ Resilient flooring

57. Condition: • [Damage](#)

Implication(s): Material deterioration | Trip or fall hazard

Location: Kitchen

Task: Consult Licensed Contractor

FLOORS \ Carpet on floors

58. Condition: • [Stains](#)

During the inspection, stains were observed on the carpeting in one or more areas. While the stains may be cosmetic, they can indicate previous spills or moisture issues that could affect the carpet's condition over time. It is recommended that the carpets be professionally cleaned and evaluated for any underlying damage.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Interior

Task: Repair

59. Condition: • [Odors](#)

Odor was detected inside the interior space of the home. The source of this odor could be attributed to several potential issues, including poor ventilation, pet-related smells, or the presence of volatile organic compounds (VOCs) from building materials or household products. Persistent odors can indicate underlying problems such as moisture intrusion, which may lead to further structural damage or health concerns if left unaddressed. It is recommended to conduct a thorough investigation to identify the source of the odor and take appropriate remedial actions, such as improving ventilation, addressing moisture sources, or professional cleaning, to ensure a safe and comfortable indoor environment.

Implication(s): Hygiene issue

Location: Basement

Task: Remediate

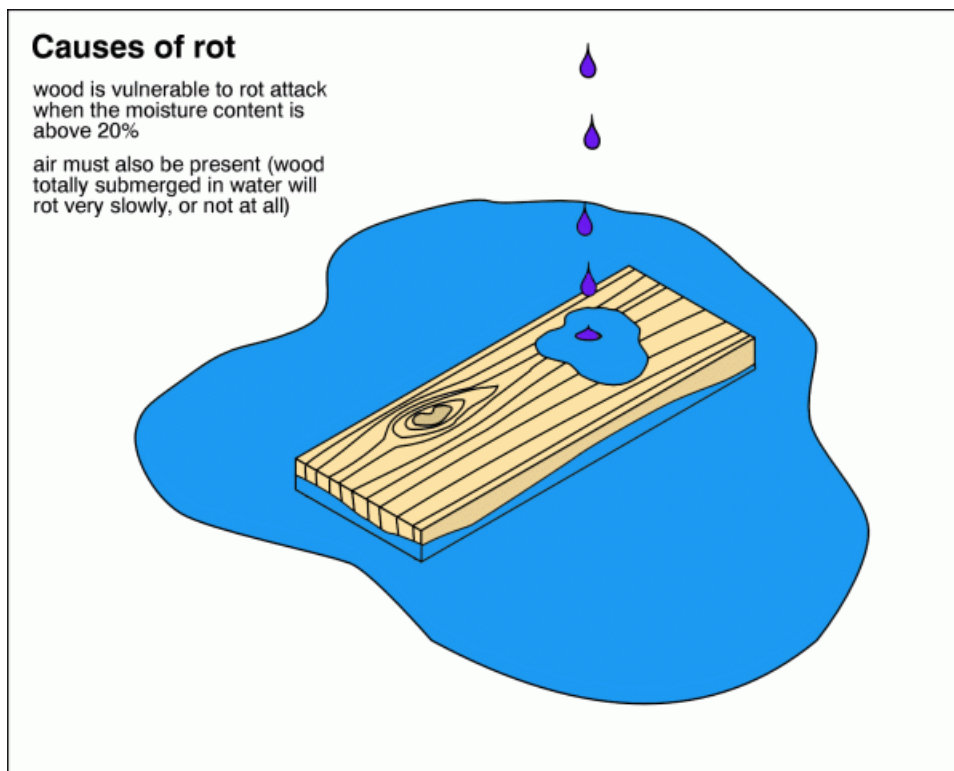
60. Condition: • [Rot](#)

During the inspection, areas of carpeting on the floors were observed to be rotted, showing signs of significant moisture damage and deterioration. This condition can compromise the flooring structure and may create a potential health hazard. It is recommended that the affected carpeting be removed, the underlying floor evaluated for damage, and necessary repairs performed by a qualified contractor.

Implication(s): Reduced system life expectancy

Location: Basement

Task: Remediate



FLOORS \ Subflooring

61. Condition: • [Damage](#)

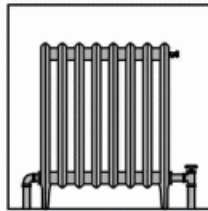
The subflooring in one or more areas was found to be damaged, which may be due to moisture intrusion, rot, insect activity, or physical impact. Damaged subflooring can compromise floor stability, cause uneven surfaces, and lead to further structural deterioration if not repaired. It is recommended to have a qualified contractor assess the extent of the subfloor damage, identify and correct the underlying cause, and repair or replace affected sections to restore structural integrity.

Implication(s): Physical injury

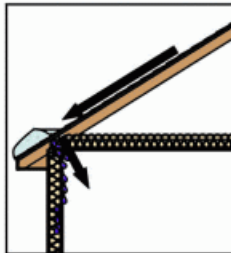
Location: Kitchen

Task: Consult Licensed Contractor

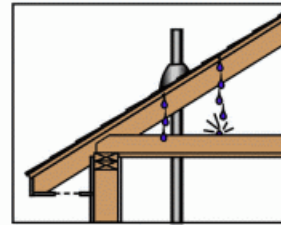
Sources of interior water damage



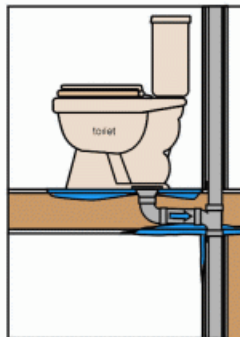
heating leaks



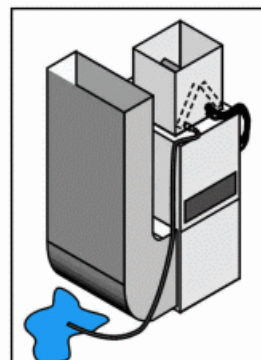
ice damming and condensation



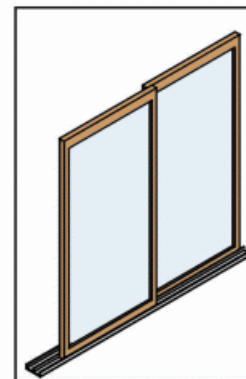
roof or flashing leaks



plumbing leaks



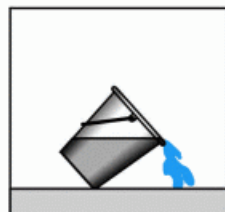
air conditioning leaks



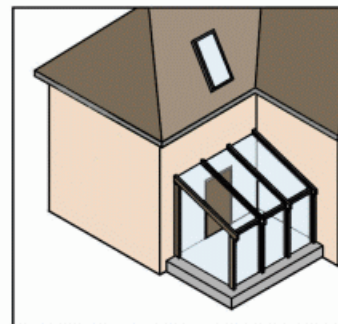
door leaks



melting snow



accidental spills



wall, window, solarium and skylight leaks

WINDOWS \ General notes

62. Condition: • [Original lower quality units](#)

Windows installed in the property are the original, lower-quality units, potentially leading to higher heating and cooling costs and reduced comfort. Upgrading to higher-quality, energy-efficient windows is recommended to improve the property's overall energy performance.

Implication(s): Increased heating costs | Increased maintenance costs

Location: Interior

Task: Replace Windows

Time: As Needed

WINDOWS \ Means of egress/escape

63. Condition: • [Burglar bars not operable without keys](#)

During the inspection, several burglar bars were observed to be inoperable without their corresponding keys. This condition may present a safety hazard, particularly in emergency situations where quick egress is required. It is recommended that the locks be evaluated and modified, or replacement keys provided, to ensure safe and reliable operation.

Implication(s): Restricted emergency exits

Location: Windows

Task: Remove

CARPENTRY \ Cabinets

64. Condition: • [Doors or drawers missing or loose](#)

One or more cabinet doors or drawers were missing or loosely attached at the time of inspection, which affects functionality, appearance, and storage security. Loose or missing components may result from worn hinges, damaged tracks, or prior removal, and can lead to further wear on surrounding materials if left unaddressed. It is recommended to have a qualified contractor or cabinet repair specialist replace missing components and tighten or adjust loose hardware to ensure proper operation and appearance.

Implication(s): Nuisance | Damage or physical injury due to falling materials

Location: Kitchen

Task: Consult Licensed Contractor

65. Condition: • [Stained, worn, damaged](#)

Cabinet surfaces were observed to be stained, worn, or otherwise damaged, which detracts from appearance and may indicate prolonged use, water exposure, or physical impact. Such conditions can lead to further deterioration of finishes or underlying materials if not addressed. It is recommended to have a qualified contractor or cabinet refinishing specialist repair, refinish, or replace affected cabinets to restore appearance and protect the underlying structure.

Implication(s): Material deterioration

Location: Kitchen

Task: Repair

66. Condition: • [Stained, worn, damaged](#)

Cabinet surfaces were observed to be stained, worn, or otherwise damaged, which detracts from appearance and may indicate prolonged use, water exposure, or physical impact. Such conditions can lead to further deterioration of finishes or underlying materials if not addressed. It is recommended to have a qualified contractor or cabinet refinishing specialist repair, refinish, or replace affected cabinets to restore appearance and protect the underlying structure.

Implication(s): Material deterioration

Location: Hallway Bathroom

Task: Repair

BASEMENT \ Wet basement - evidence

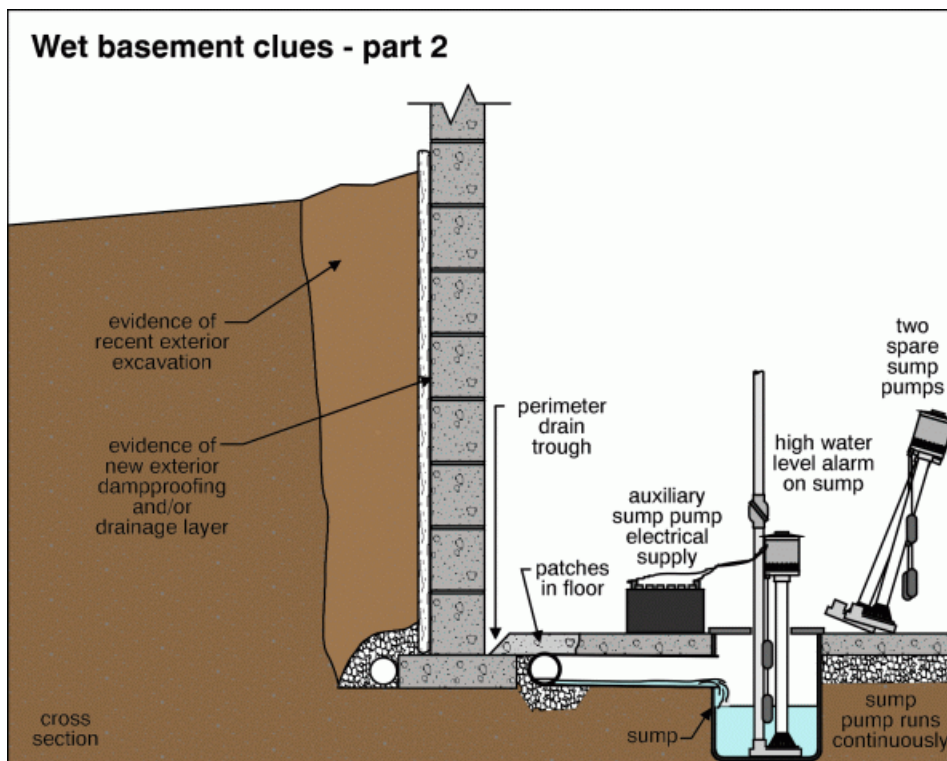
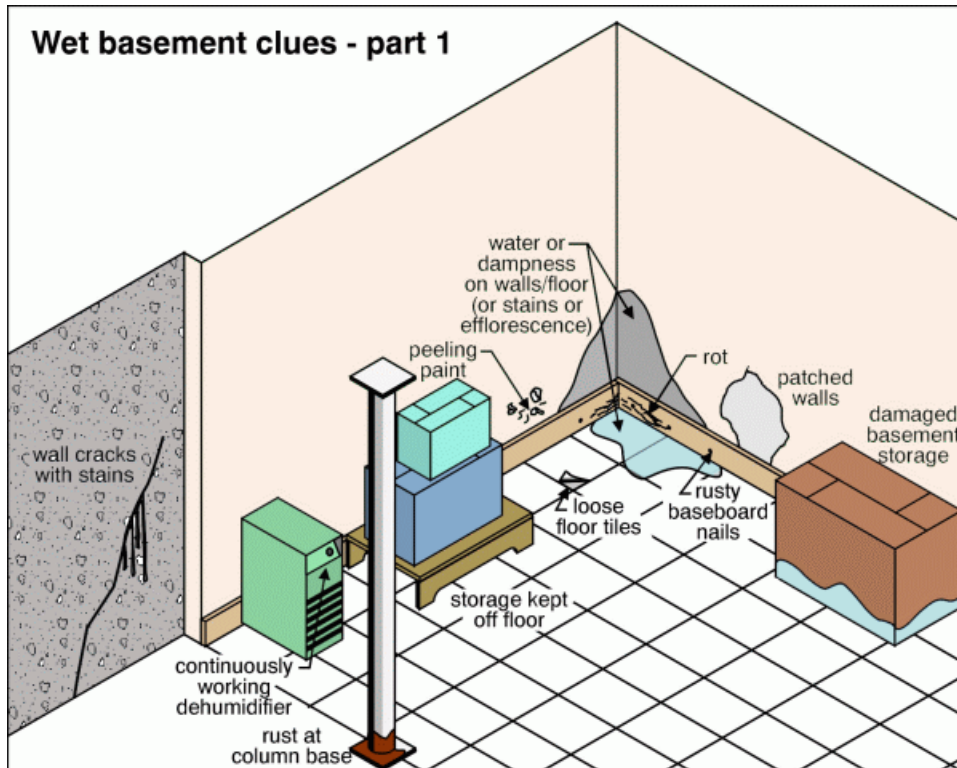
67. Condition: • [Dampness on floor or walls](#)

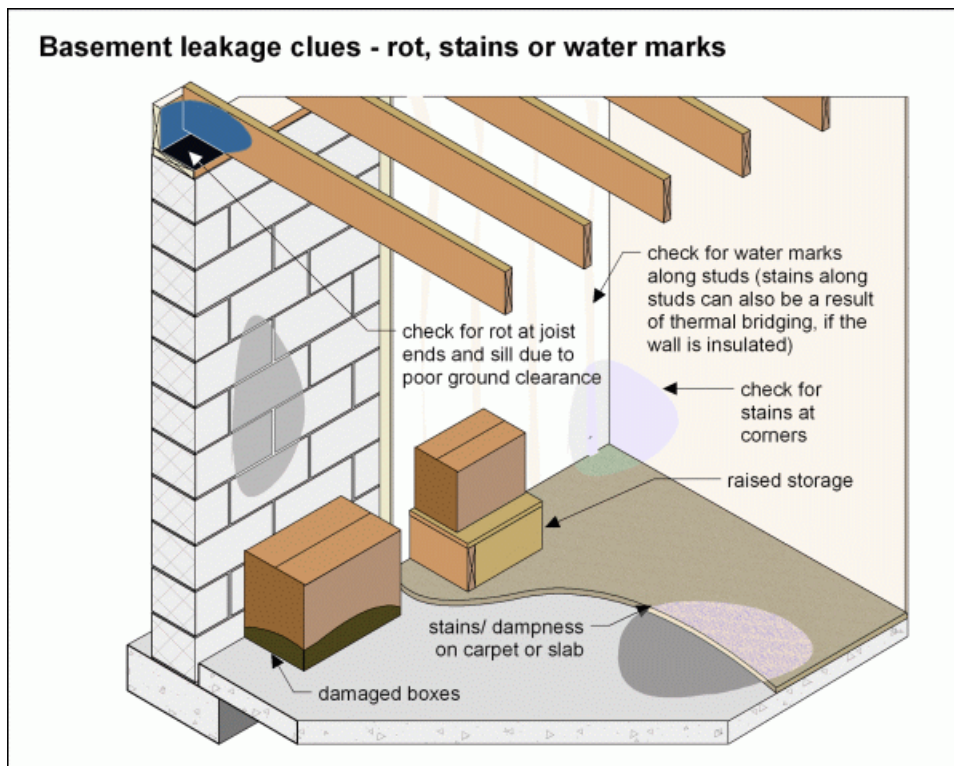
Ensure that the area around the foundation has proper drainage to direct water away from the piers. Install gutters, downspouts, and extend them at least 6 feet away from the building. Ensure that the area around the basement has adequate ventilation. Proper ventilation can help reduce moisture buildup and prevent issues like condensation.

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration

Location: Basement

Task: Consult Licensed Contractor





68. Condition: • [Efflorescence](#)

Efflorescence was observed on the basement walls. Efflorescence is a white, powdery substance that appears when water carrying soluble salts evaporates from masonry or concrete surfaces, leaving the salts behind. This indicates that moisture is seeping through the walls, likely due to inadequate waterproofing or drainage issues. While efflorescence itself is not harmful, it is a sign of ongoing moisture problems that could lead to further issues such as mold growth or deterioration of the building materials. It is recommended to address the source of the moisture intrusion by improving drainage around the foundation, applying waterproofing treatments, and ensuring proper ventilation in the basement.

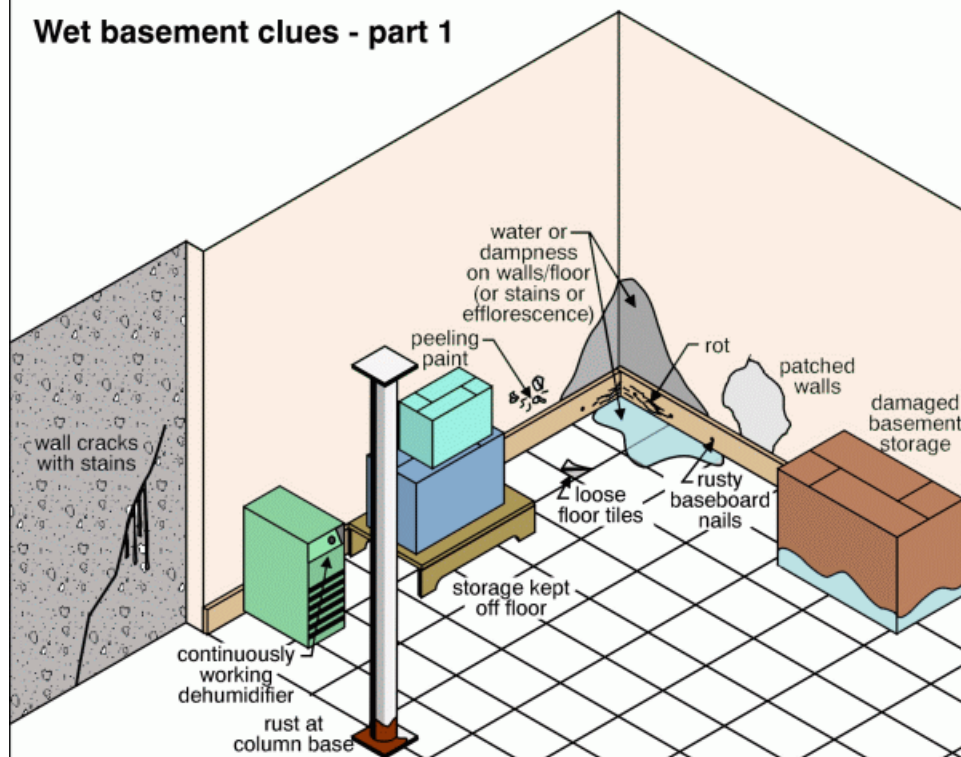
Implication(s): Chance of water damage to structure, finishes and contents

Location: Basement

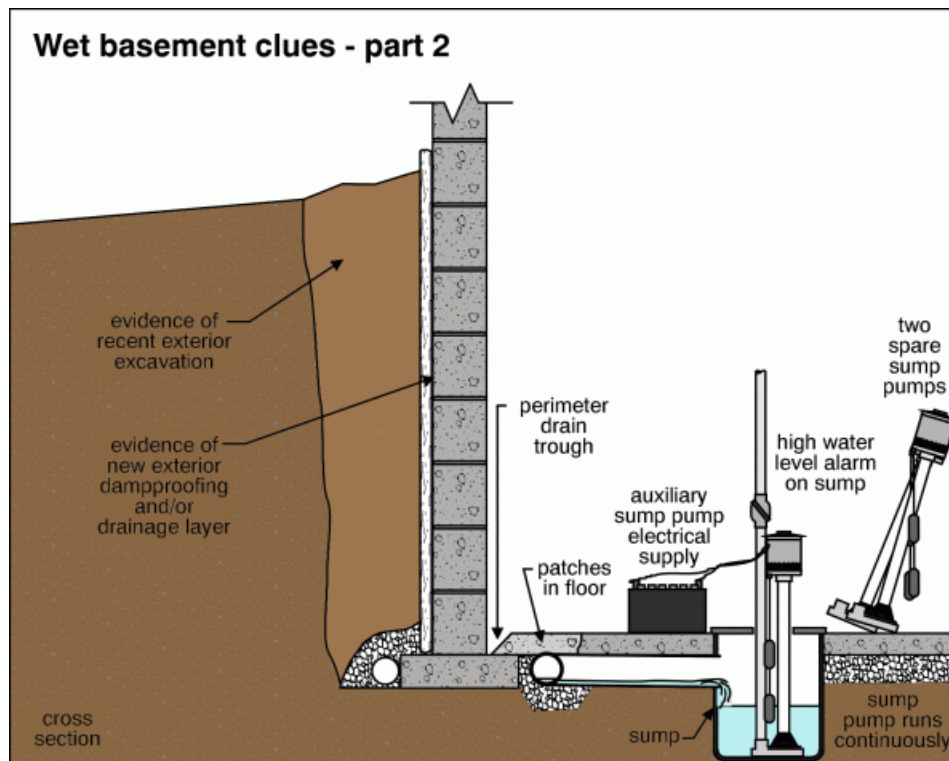
Task: Further evaluation

Time: As soon as possible

Wet basement clues - part 1



Wet basement clues - part 2

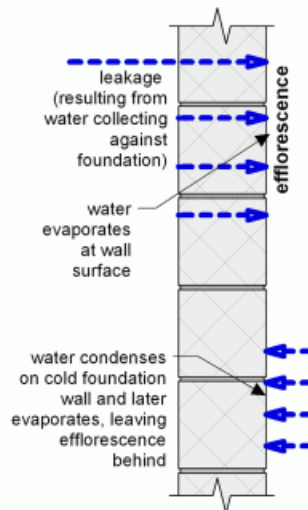


Basement leakage clues - efflorescence

efflorescence is a powdery, white substance that appears when water with dissolved minerals evaporates



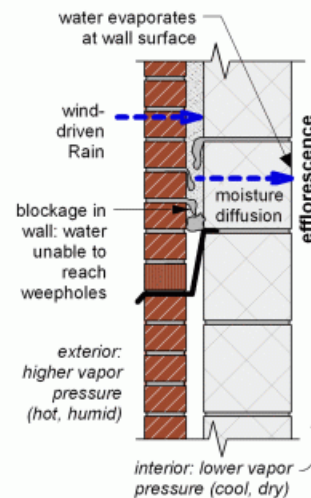
efflorescence may form because of water on the surface of the wall, either from leaks or from condensation, for example:



efflorescence may also form because of moisture diffusion through a wall

concrete and clay are not water-tight

for example:



CRAWLSPACE \ Wet crawlspace - evidence

69. Condition: • [Efflorescence](#)

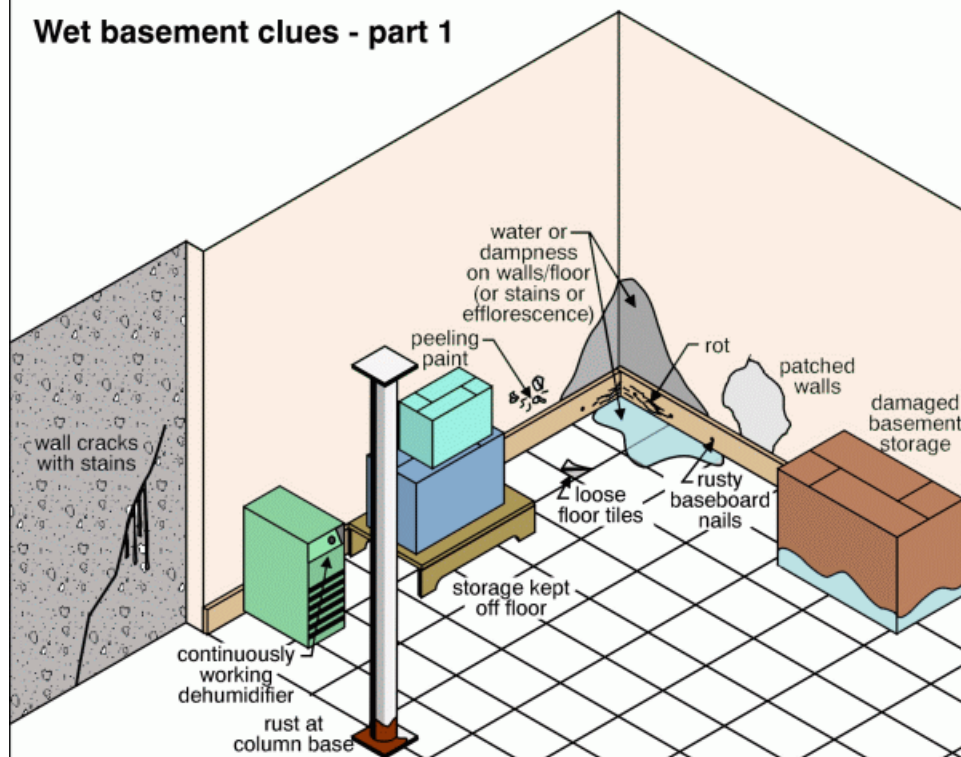
Implication(s): Chance of water damage to structure, finishes and contents

Location: Crawlspace

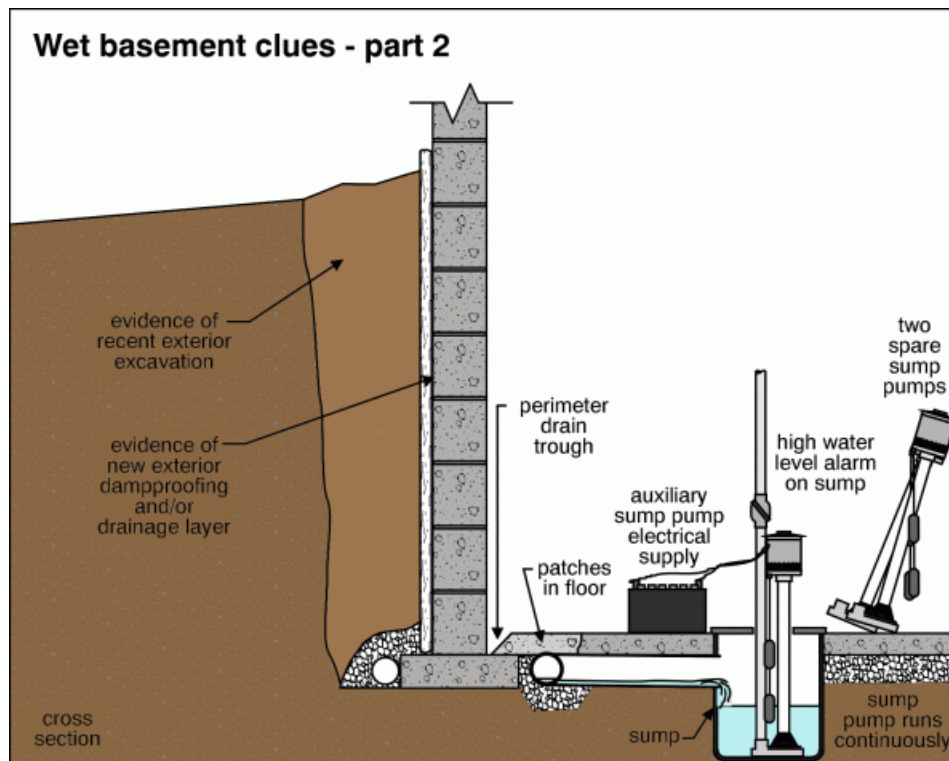
Task: Improve Exterior Drainage/Ventilate Crawlspace

Time: Ongoing

Wet basement clues - part 1



Wet basement clues - part 2



APPLIANCES \ Oven

70. Condition: • Old

Implication(s): Reduced system life expectancy

Location: Kitchen

Task: Monitor

APPLIANCES \ Range

71. Condition: • Old

Implication(s): Reduced system life expectancy

Location: Kitchen

Task: Monitor

APPLIANCES \ Dishwasher

72. Condition: • Inoperative

The dishwasher was found to be inoperative at the time of inspection, showing no response to controls or failing to start a cycle. This condition may be due to power supply issues, a malfunctioning control panel, or internal mechanical failure. It is recommended to have a qualified appliance technician evaluate and repair or replace the unit as needed.

Implication(s): Equipment inoperative

Location: Kitchen

Task: Repair or Replace

APPLIANCES \ Washing machine

73. Condition: • Drip pan missing

Installing a drip pan beneath the washing machine is highly recommended to prevent water damage. It catches leaks and spills, protecting floors, especially wood or laminate, from costly damage.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Laundry Area

Task: Add Drip Pan

POTENTIALLY HAZARDOUS MATERIALS \ General notes

74. Condition: • Mold

Suspected mold growth was observed on interior surfaces, which may result from chronic moisture intrusion, inadequate ventilation, or high humidity. Mold can pose health risks, particularly to individuals with allergies, asthma, or compromised immune systems, and may indicate underlying water damage. It is recommended to have the affected areas evaluated by a qualified mold remediation specialist to confirm the presence and type of mold, address the source of moisture, and perform remediation as needed.

Implication(s): Health hazard

Location: Interior

Task: Consult Licensed Mold Remediation Specialist

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS