



YOUR INSPECTION REPORT

Excellence in home inspection.

PREPARED BY:

Jeffrey Mouton, 24063

FOR THE PROPERTY AT:

Hou Dat Inspects
New Orleans, TX

PREPARED FOR:

HOU DAT

INSPECTION DATE:

Saturday, August 31, 2024

Hou-Dat Inspects
21710 Cozy Hollow Ln
Richmond, TX 77469

2259100634

www.myinspectioncompany.com
jeff@hou-datinspects.com



PROPERTY INSPECTION REPORT FORM

| | |
|--|---------------------------|
| Hou Dat | Sat, Aug 31, 2024 |
| <i>Name of Client</i> | <i>Date of Inspection</i> |
| Hou Dat Inspects, New Orleans, TX | |
| <i>Address of Inspected Property</i> | |
| Jeffrey Mouton | 24063 |
| <i>Name of Inspector</i> | <i>TREC License #</i> |
| <i>Name of Sponsor (if applicable)</i> | <i>TREC License #</i> |

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. *It is important* that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

I. STRUCTURAL SYSTEMS

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A. Foundations

Type of Foundation(s): Poured concrete

Foundation Performance Opinion: Performing as intended

Comments:

- Foundations\General notes: **Large trees close to building**

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B. Grading and Drainage

Comments:

- Roof drainage\Gutters: **Damage** Notes: **Front left**
- Roof drainage\Gutters: **Missing** Notes: **Fungal growth and recommend gutters to redirect water drainage from roof**
- Landscaping\Lot grading: **Improper slope or drainage** Notes: **Negative slope**
- Landscaping\Lot grading: **Soil erosion**
- Landscaping\Lot grading: **Soil erosion**

☒ ☐ ☐ ☒

C. Roof Covering Materials

Types of Roof Covering: Asphalt shingles

Viewed From: The ground

Comments:

- Recommendations\General: **Recommend roofer evaluate due to leak in garage**

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D. Roof Structures and Attics

Viewed From: The attic

Approximate Average Depth of Insulation: 6 inches

Comments:

- Attic/roof\Insulation: **Gaps or voids**

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E. Walls (Interior and Exterior)

Comments:

- Walls\Masonry veneer walls: **Lintel rusting**
- Walls\General notes: **Cracks** Notes: **By stairs**
- Walls\Plywood, hardboard, and OSB (Oriented Strand Board): **Rot or insect damage**
- Walls\Masonry (brick, stone) and concrete: **Cracked** Notes: **Front left**
- Walls\Masonry (brick, stone) and concrete: **Cracked**

☒ ☐ ☐ ☒

F. Ceilings and Floors

Comments:

- Ceilings and Walls\General notes: **Typical minor flaws**
- Ceilings\General notes: **Water stains** Notes: **Over fireplace**
- Floors\Wood/laminate floors: **Slopes** Notes: **Upstairs**
- Floors\General notes: **Slight slope in master bathroom**

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G. Doors (Interior and Exterior)

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

Comments:

☒ ☐ ☐ ☒

H. Windows

Comments:

- Windows\General notes: **Difficult to operate**
- Windows\Glass (glazing): **Deterioration of seals**

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I. Stairways (Interior and Exterior)

Comments:

☒ ☐ ☐ ☐

J. Fireplaces and Chimneys

Comments:

☐ ☐ ☐ ☐

K. Porches, Balconies, Decks, and Carports

Comments:

☐ ☐ ☐ ☐

L. Other

Comments:

- Recommendations\General: **Recommend irrigation specialist evaluate system**
- Recommendations\General: **Recommend insulation contractor evaluate low level of insulation**

II. ELECTRICAL SYSTEMS

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A. Service Entrance and Panels

Comments:

- Service box, grounding and panel\Distribution fuses/breakers: **Double taps**
- Service box, grounding and panel\Distribution panel: **No Arc Fault Circuit Interrupter (AFCI)**

☒ ☐ ☐ ☒

B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper - non-metallic sheathed

Comments:

- Distribution system\Aluminum wiring (wires): **Anti-oxidant compound - missing**
- Distribution system\GFCI (Ground Fault Circuit Interrupter) protection not noted at: **Kitchen counters**
- Distribution system\GFCI (Ground Fault Circuit Interrupter) protection not noted at: **Within 6 ft. of the outer edge of a sink, shower or bathtub**
- Distribution system\GFCI (Ground Fault Circuit Interrupter) protection not noted at: **Laundry area**
- Distribution system\Outlets (receptacles): **No AFCI (Arc Fault Circuit Interrupter)**

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C. Other

Comments:

- Recommendations\General: **Recommend licensed electrician evaluate and update**

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

to code

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

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A. Heating Equipment

Type of Systems: Furnace, Fireplace

Energy Sources: Gas

Comments:

☒ ☐ ☐ ☒

B. Cooling Equipment

Type of Systems: Central air

Comments:

- Air conditioning\General notes: **Service air conditioner**
- Air conditioning\Evaporator coil: **Temperature split across cooling coil less than 15 degrees Fahrenheit**
- Air conditioning\Evaporator coil: **Temperature split across cooling coil less than 15 degrees Fahrenheit**

☒ ☐ ☐ ☐

C. Duct Systems, Chases, and Vents

Comments:

☐ ☐ ☐ ☐

D. Other

Comments:

- Recommendations\General: **Recommend licensed hvac contractor evaluate**

IV. PLUMBING SYSTEMS

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A. Plumbing Supply, Distribution Systems and Fixtures

Location of water meter: Front near street

Location of main water supply valve: Meter

Static water pressure reading: 80 psi

Type of supply piping material: PVC

Comments:

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B. Drains, Wastes, and Vents

Type of drain piping material: PVC plastic

Comments:

- Waste plumbing\Drain piping - performance: **Clogged** Notes: **Upstairs left sink slow drain**

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C. Water Heating Equipment

Energy Sources: Gas

Capacity: 40 gallons

Comments:

☒ ☐ ☐ ☐

D. Hydro-Massage Therapy Equipment

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

Comments:

☒ ☐ ☐ ☐

E. Gas Distribution Systems and Gas Appliances

Location of gas meter: Exterior left side

Type of gas distribution piping material: Steel

Comments:

☐ ☐ ☐ ☐

F. Other

Comments:

V. APPLIANCES

☒ ☐ ☐ ☐

A. Dishwashers

Comments:

☒ ☐ ☐ ☐

B. Food Waste Disposers

Comments:

☒ ☐ ☐ ☐

C. Range Hood and Exhaust Systems

Comments:

☒ ☐ ☐ ☐

D. Ranges, Cooktops, and Ovens

Comments:

☒ ☐ ☐ ☐

E. Microwave Ovens

Comments:

☒ ☐ ☐ ☐

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

☒ ☐ ☐ ☐

G. Garage Door Operators

Comments:

☒ ☐ ☐ ☐

H. Dryer Exhaust Systems

Comments:

☐ ☐ ☐ ☐

I. Other

Comments:

VI. OPTIONAL SYSTEMS

☒ ☐ ☐ ☒

A. Landscape Irrigation (Sprinkler) Systems

Comments:

• Irrigation/Sprinkler System\Sprinkler heads : Inoperative

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B. Swimming Pools, Spas, Hot Tubs, and Equipment

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

| | | | |
|---|----|----|---|
| I | NI | NP | D |
|---|----|----|---|

Type of Construction:
Comments:

☐ ☐ ☐ ☐

C. Outbuildings
Comments:

☐ ☐ ☐ ☐

D. Private Water Wells (A coliform analysis is recommended.)
Type of Pump:
Type of Storage Equipment:
Comments:

☐ ☐ ☐ ☐

E. Private Sewage Disposal Systems
Type of System:
Location of Drain Field:
Comments:

☐ ☐ ☐ ☐

F. Other Built-in Appliances
Comments:

☐ ☐ ☐ ☐

G. Other
Comments:

END OF TREC REPORT
(Additional Information Follows)

September 9, 2024

Dear Hou Dat,

RE: Report No. 1583, v.23

Hou Dat Inspects

New Orleans, TX

Thanks very much for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

Jeffrey Mouton

on behalf of

Hou-Dat Inspects

Hou-Dat Inspects
21710 Cozy Hollow Ln
Richmond, TX 77469
2259100634
www.myinspectioncompany.com
jeff@hou-datinspects.com

AGREEMENT

Hou Dat Inspects, New Orleans, TX August 31, 2024

Report No. 1583, v.23

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PARTIES TO THE AGREEMENT

Company

Hou-Dat Inspects
21710 Cozy Hollow Ln
Richmond, TX 77469

Client

Hou Dat

This is an agreement between Hou Dat and Hou-Dat Inspects.

PLEASE READ CAREFULLY BEFORE SIGNING.

The Inspection of this property is subject to the Limitations and Conditions set out in this Agreement. It is based on a visual examination of the readily accessible features of the building. The Inspection is performed in accordance with the Standards of Practice of our national association.

The Home Inspector's report is an opinion of the present condition of the property. The Inspection and report are not a guarantee, warranty or an insurance policy with regards to the property.

The inspection report is for the exclusive use of the client named above. No use of the information by any other party is intended.

LIMITATIONS AND CONDITIONS OF THE HOME INSPECTION

There are limitations to the scope of this Inspection. It provides a general overview of the more obvious repairs that may be needed. It is not intended to be an exhaustive list. The ultimate decision of what to repair or replace is yours. One homeowner may decide that certain conditions require repair or replacement, while another will not.

1) THE INSPECTION IS NOT TECHNICALLY EXHAUSTIVE.

The Home Inspection provides you with a basic overview of the condition of the property. Because your Home Inspector has only a limited amount of time to go through the property, the Inspection is not technically exhaustive.

Some conditions noted, such as foundation cracks or other signs of settling in a house, may either be cosmetic or may indicate a potential problem that is beyond the scope of the Home Inspection.

If you are concerned about any conditions noted in the Home Inspection Report, we strongly recommend that you consult a qualified Licensed Contractor or Consulting Engineer. These professionals can provide a more detailed analysis of any conditions noted in the Report at an additional cost

2) THE INSPECTION IS AN OPINION OF THE PRESENT CONDITION OF THE VISIBLE COMPONENTS.

The Home Inspector's Report is an opinion of the present condition of the property. It is based on a visual examination of the readily accessible features of the building.

A Home Inspection does not include identifying defects that are hidden behind walls, floors or ceilings. This includes wiring, heating, cooling, structure, plumbing and insulation that are hidden or inaccessible.

Some intermittent problems may not be obvious on a Home Inspection because they only happen under certain circumstances. As an example, your Home Inspector may not discover leaks that occur only during certain weather conditions or when a specific tap or appliance is being used in everyday life.

Home Inspectors will not find conditions that may only be visible when storage or furniture is moved. They do not remove wall coverings (including wallpaper) or lift flooring (including carpet) or move storage to look underneath or behind.

AGREEMENT

Hou Dat Inspects, New Orleans, TX August 31, 2024

Report No. 1583, v.23

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3) THE INSPECTION DOES NOT INCLUDE HAZARDOUS MATERIALS.

This includes building materials that are now suspected of posing a risk to health such as phenol-formaldehyde and urea-formaldehyde based insulation, fiberglass insulation and vermiculite insulation. The Inspector does not identify asbestos roofing, siding, wall, ceiling or floor finishes, insulation or fireproofing. We do not look for lead or other toxic metals in such things as pipes, paint or window coverings.

The Inspection does not deal with environmental hazards such as the past use of insecticides, fungicides, herbicides or pesticides. The Home Inspector does not look for, or comment on, the past use of chemical termite treatments in or around the property.

4) WE DO NOT COMMENT ON THE QUALITY OF AIR IN A BUILDING.

The Inspector does not try to determine if there are irritants, pollutants, contaminants, or toxic materials in or around the building.

The Inspection does not include spores, fungus, mold or mildew that may be present. You should note that whenever there is water damage noted in the report, there is a possibility that mold or mildew may be present, unseen behind a wall, floor or ceiling.

If anyone in your home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens at additional cost.

5) WE DON'T LOOK FOR BURIED TANKS.

Your Home Inspector does not look for and is not responsible for fuel oil, septic or gasoline tanks that may be buried on the property. If the building had its heating system converted from oil, there will always be the possibility that a tank may remain buried on the property.

If fuel oil or other storage tanks remain on the property, you may be responsible for their removal and the safe disposal of any contaminated soil. If you suspect there is a buried tank, we strongly recommend that you retain a qualified Environmental Consultant to determine whether this is a potential problem.

6) TIME TO INVESTIGATE

We will have no liability for any claim or complaint if conditions have been disturbed, altered, repaired, replaced or otherwise changed before we have had a reasonable period of time to investigate.

7) REPORT IS FOR OUR CLIENT ONLY

The inspection report is for the exclusive use of the client named herein. No use of the information by any other party is intended.

8) CANCELLATION FEE

If the inspection is cancelled within 24 hours of the appointment time, a cancellation fee of 50% of the inspection fee will apply.

9) NOT A GUARANTEE, WARRANTY OR INSURANCE POLICY.

The inspection is not a guarantee, warranty or an insurance policy with regard to the condition of the property.

I have read, understood, and accepted the above Limitations and Conditions of this Home Inspection.

I, Hou Dat (Signature) _____, (Date) _____, have read, understood and accepted the terms of this agreement.

ROOFING

Hou Dat Inspects, New Orleans, TX August 31, 2024

Report No. 1583, v.23

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE

Description

Types of Roof Covering: • [Asphalt shingles](#)

Roof Viewed From: • The ground

Roofing material:

• [Asphalt shingles](#)



1. *Asphalt shingles*

• [Asphalt shingles](#)



2. *Asphalt shingles*

• [Asphalt shingles](#)

ROOFING

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ROOFING

EXTERIOR

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SITE INFO

REFERENCE



3. *Asphalt shingles*

- [Asphalt shingles](#)



4. *Asphalt shingles*

- [Asphalt shingles](#)

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INTERIOR

SITE INFO

REFERENCE



5. *Asphalt shingles*

- [Asphalt shingles](#)



6. *Asphalt shingles*

- [Asphalt shingles](#)

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7. Asphalt shingles

Flashing material: • Metal

Approximate age: • 25 years

Typical life expectancy: • 25-30 years

Roof Shape: • Hip

Observations and Recommendations

RECOMMENDATIONS \ General

1. **Condition:** • Recommend roofer evaluate due to leak in garage

EXTERIOR

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ROOFING

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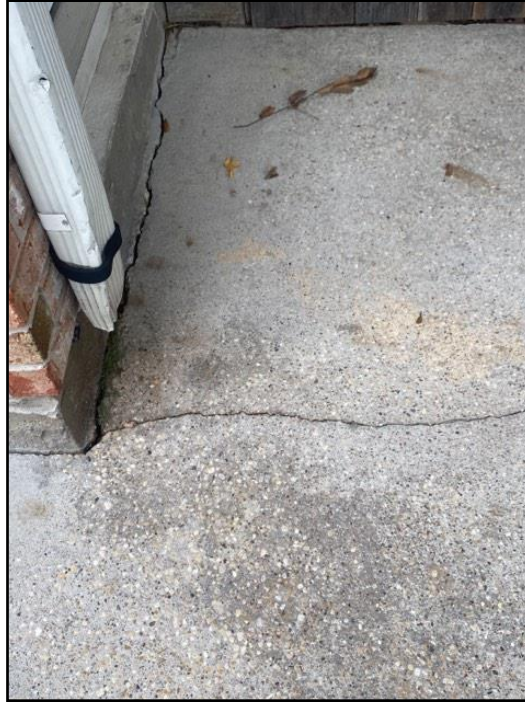
INTERIOR

SITE INFO

REFERENCE

Description

General: • Crack by garage



8.

Wall surfaces and trim:

• [Brick](#)



9. *Brick*

• [Hardboard, plywood or OSB \(Oriented Strand Board\)](#)

Rot

EXTERIOR

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10. Hardboard, plywood or OSB (Oriented Strand...

Driveway:

- Concrete



11. Concrete

Walkway:

- Concrete

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12. Concrete

Patio:

- Concrete Crack



13. Concrete

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SITE INFO

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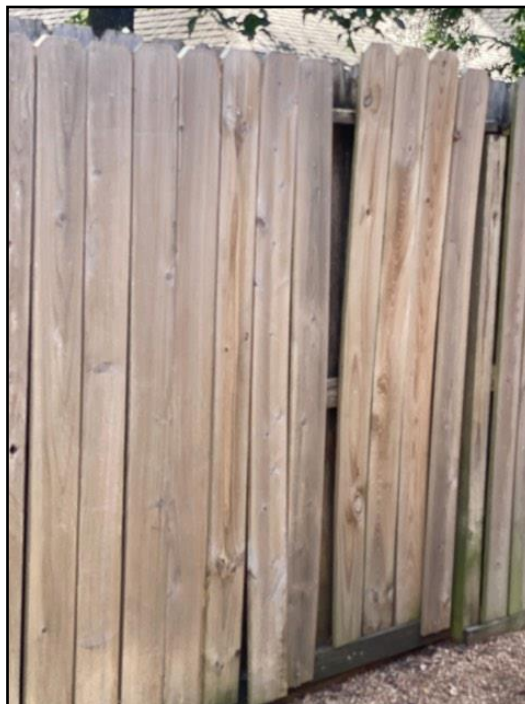
Fence:

- Wood



14. Wood

- Wood
- Missing board



15. Wood

Garage:

- Attached

EXTERIOR

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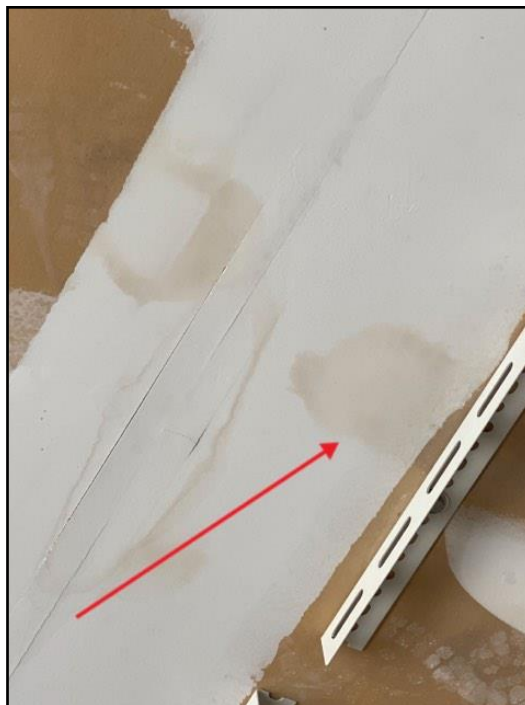
SITE INFO

REFERENCE



16. Attached

- Attached
Water leak



17. Attached

- Attached
Leak

EXTERIOR

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18. Attached

Garage vehicle doors:

- Present



19. Present

Garage vehicle door operator (opener):

- Present

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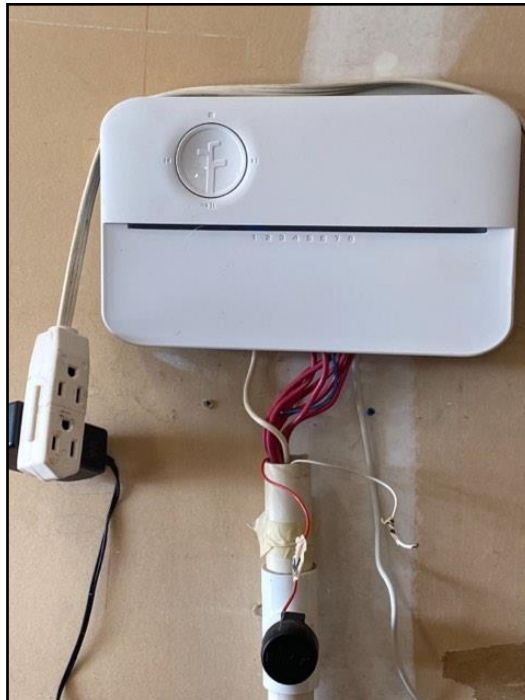


20. Present

Irrigation/Lawn sprinklers:

- Automatic

Inoperable Loose wires Recommend irrigation specialist evaluate



21. Automatic

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REFERENCE

- Inoperable

Observations and Recommendations

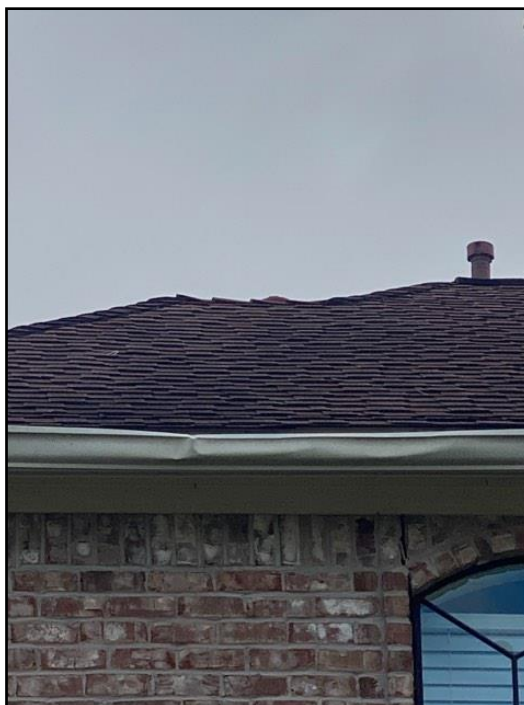
RECOMMENDATIONS \ General

- 2. Condition:** • Recommend irrigation specialist evaluate system

ROOF DRAINAGE \ Gutters

- 3. Condition:** • Damage

Front left



22. Damage

- 4. Condition:** • Missing

Fungal growth and recommend gutters to redirect water drainage from roof

Implication(s): Chance of water damage to structure, finishes and contents

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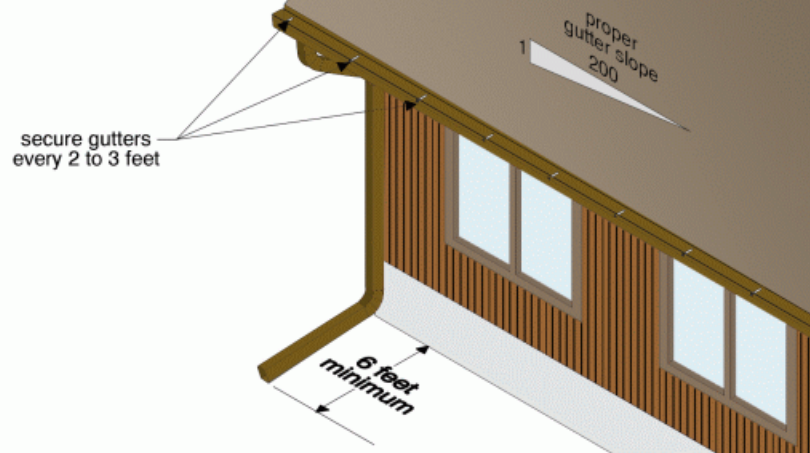
PLUMBING

INTERIOR

SITE INFO

REFERENCE

Gutter and downspout installation



23. Missing

WALLS \ Plywood, hardboard, and OSB (Oriented Strand Board)

5. Condition: • [Rot or insect damage](#)

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ROOFING

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STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

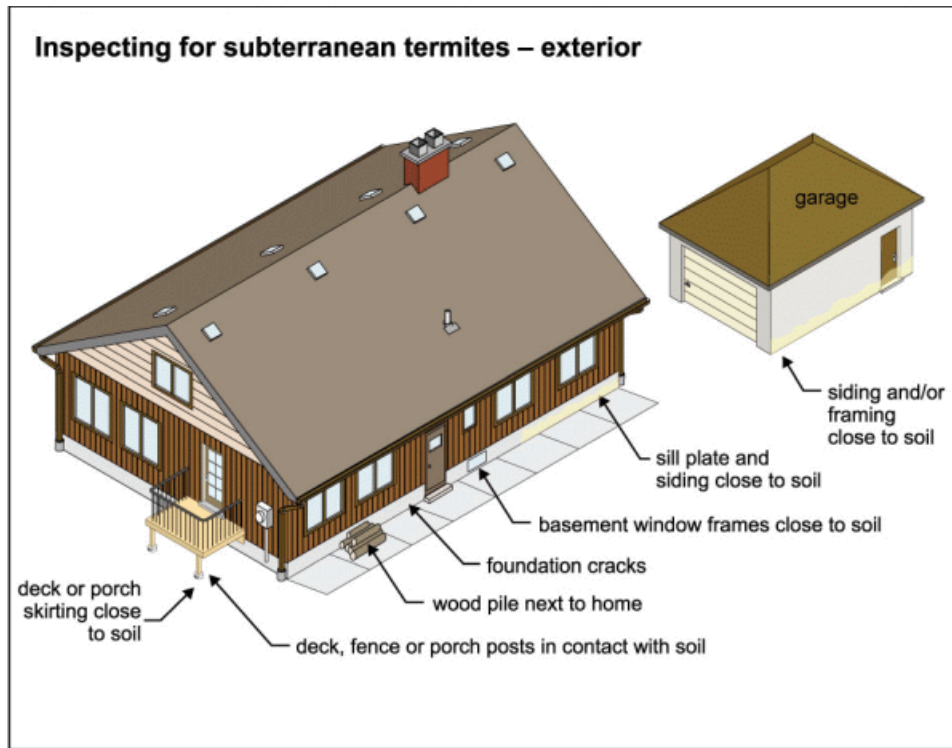
PLUMBING

INTERIOR

SITE INFO

REFERENCE

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration



WALLS \ Masonry (brick, stone) and concrete

6. Condition: • [Cracked](#)

Front left

Implication(s): Chance of water entering building | Weakened structure | Chance of movement

EXTERIOR

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ROOFING

EXTERIOR

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SITE INFO

REFERENCE



24. Cracked

7. Condition: • [Cracked](#)

Implication(s): Chance of water entering building | Weakened structure | Chance of movement



25. Cracked

EXTERIOR

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ROOFING

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SITE INFO

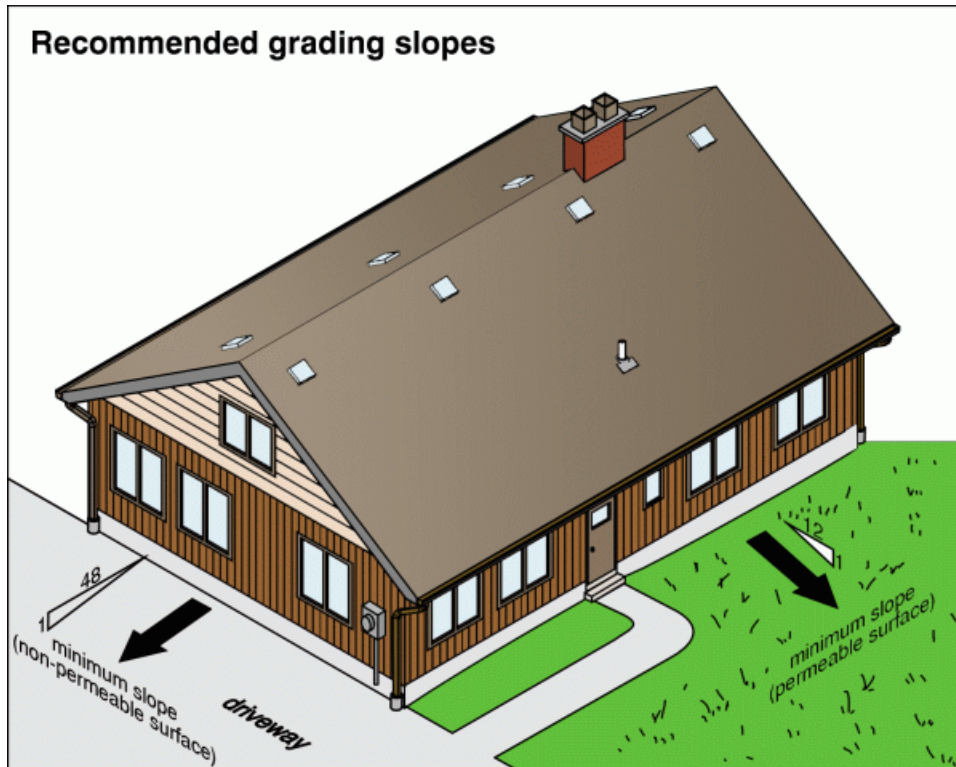
REFERENCE

LANDSCAPING \ Lot grading

8. Condition: • [Improper slope or drainage](#)

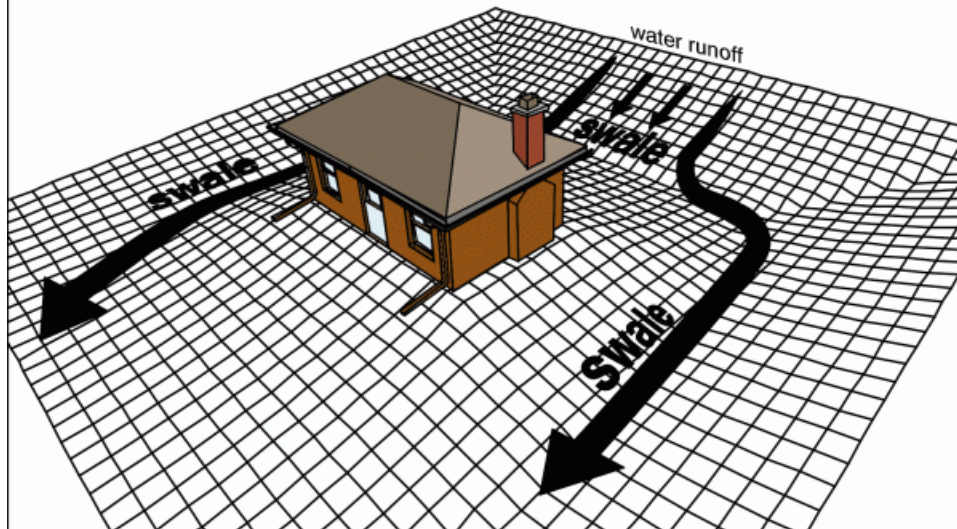
Negative slope

Implication(s): Chance of water damage to structure, finishes and contents



Swales

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation



26. Improper slope or drainage

9. Condition: • [Soil erosion](#)

Implication(s): Chance of water damage to structure, finishes and contents

EXTERIOR

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ROOFING

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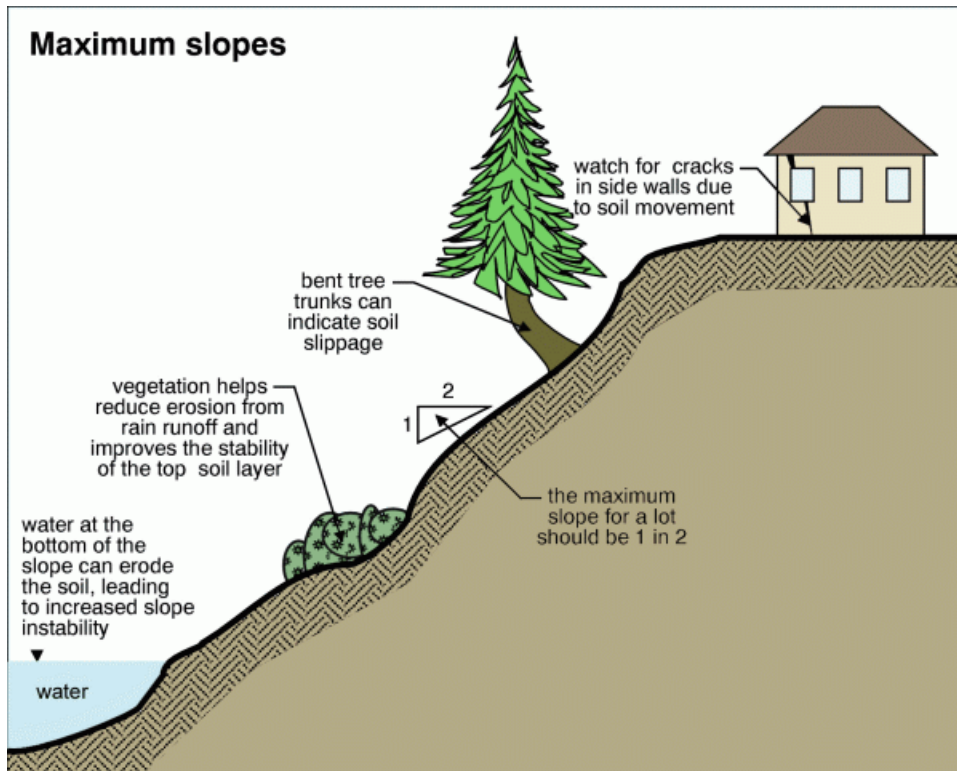
INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE



10. Condition: • [Soil erosion](#)

Implication(s): Chance of water damage to structure, finishes and contents

IRRIGATION/SPRINKLER SYSTEM \ Sprinkler heads

11. Condition: • Inoperative

Description

General: • blank note



27.

Type of Foundation(s): • [Poured concrete](#)

Foundation Performance Opinion: • Performing as intended

Roof Structures and Attics Viewed From: • The attic

Configuration: • [Slab-on-grade](#)

Foundation material:

• [Poured concrete](#)



28. *Poured concrete*

Floor construction: • Slab - concrete

Exterior wall construction: • [Wood frame / Brick veneer](#)

Roof and ceiling framing: • Rafters/ceiling joists

Observations and Recommendations

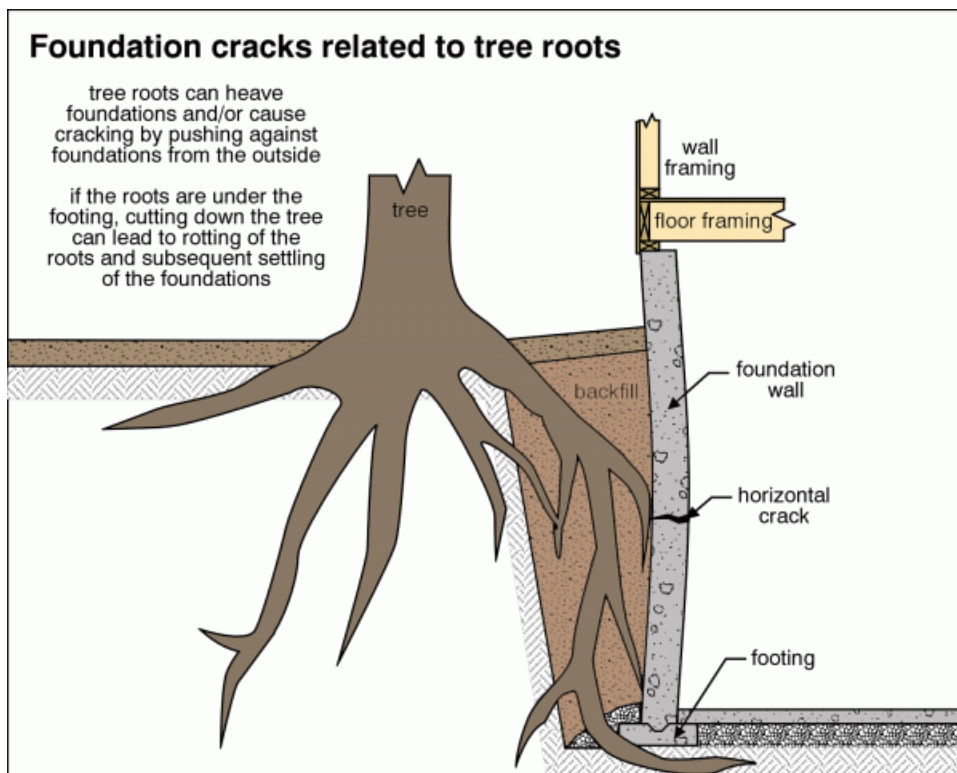
RECOMMENDATIONS \ General

12. Condition: • Recommend insulation contractor evaluate low level of insulation

FOUNDATIONS \ General notes

13. Condition: • [Large trees close to building](#)

Implication(s): Weakened structure | Chance of structural movement



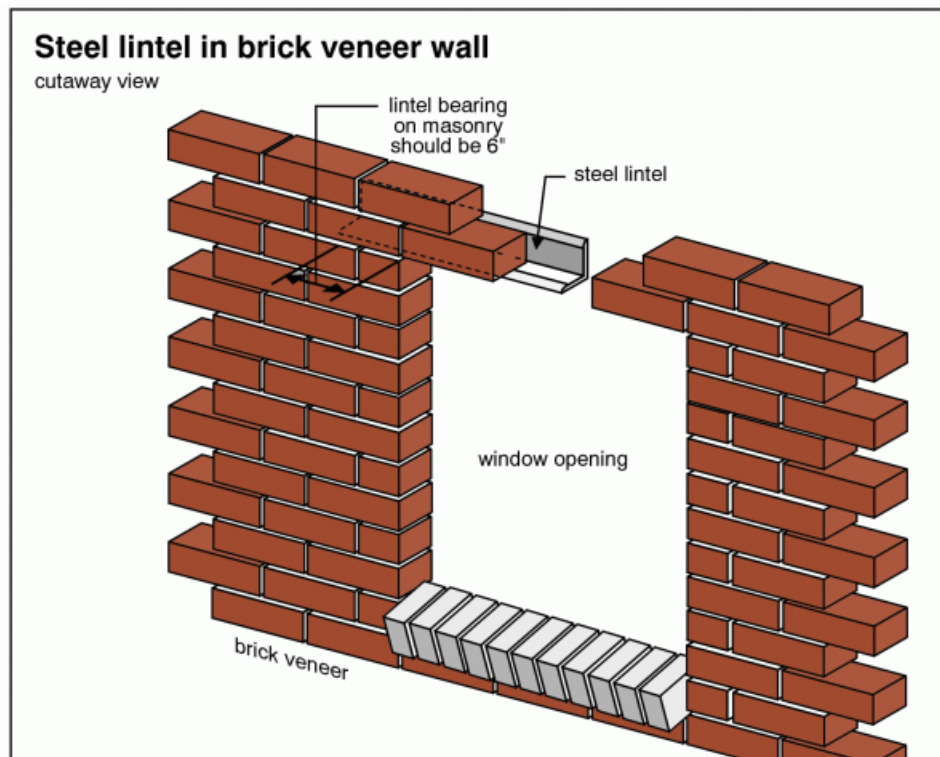


29. Large trees close to building

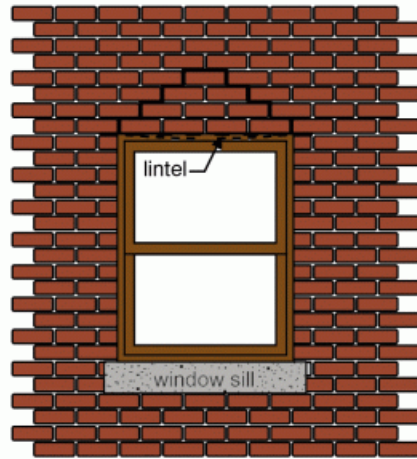
WALLS \ Masonry veneer walls

14. Condition: • [Lintel rusting](#)

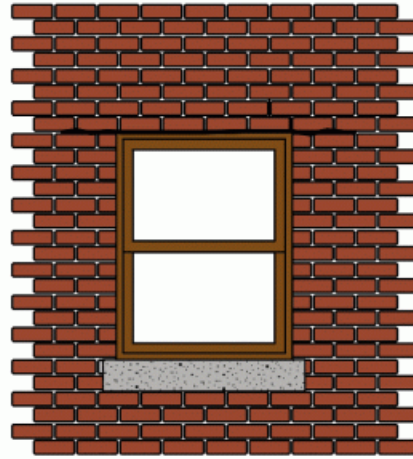
Implication(s): Weakened structure | Chance of structural movement



Lintel related wall cracks



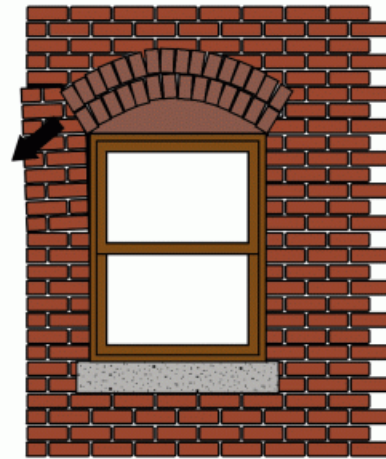
crack pattern commonly associated with sagging lintels due to undersizing or deterioration



horizontal crack is often caused by rusting steel lintels expanding



cracking caused by deterioration of wood lintel



cracking due to insufficient material beside arch to resist lateral thrust

STRUCTURE

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30. *Lintel rusting*

Description

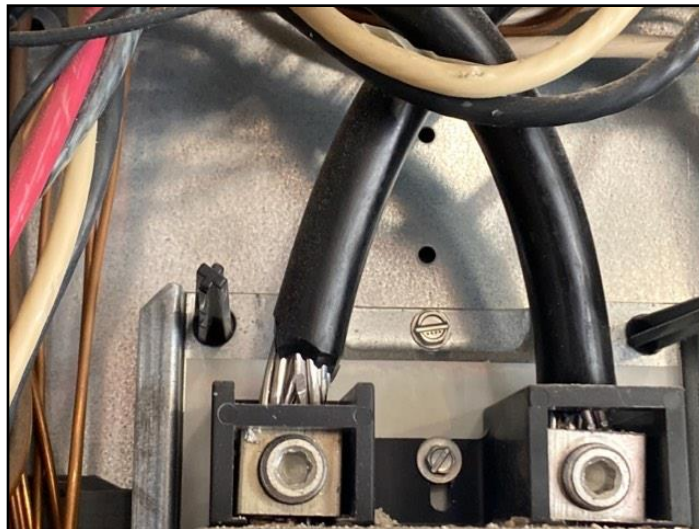
General: • Functional



31.

Type of Wiring:

- [Copper - non-metallic sheathed](#)



32. *Copper - non-metallic sheathed*

Service size:

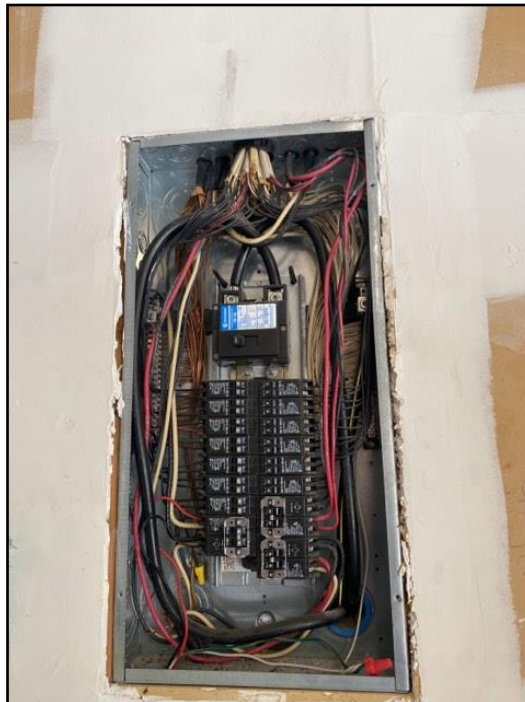
- [200 Amps \(240 Volts\)](#)



33. 200 Amps (240 Volts)

Main disconnect/service box type and location:

- [Breakers](#)



34. Breakers

System grounding material and type: • [Copper - ground rods](#)

Observations and Recommendations

RECOMMENDATIONS \ General

15. Condition: • Recommend licensed electrician evaluate and update to code

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

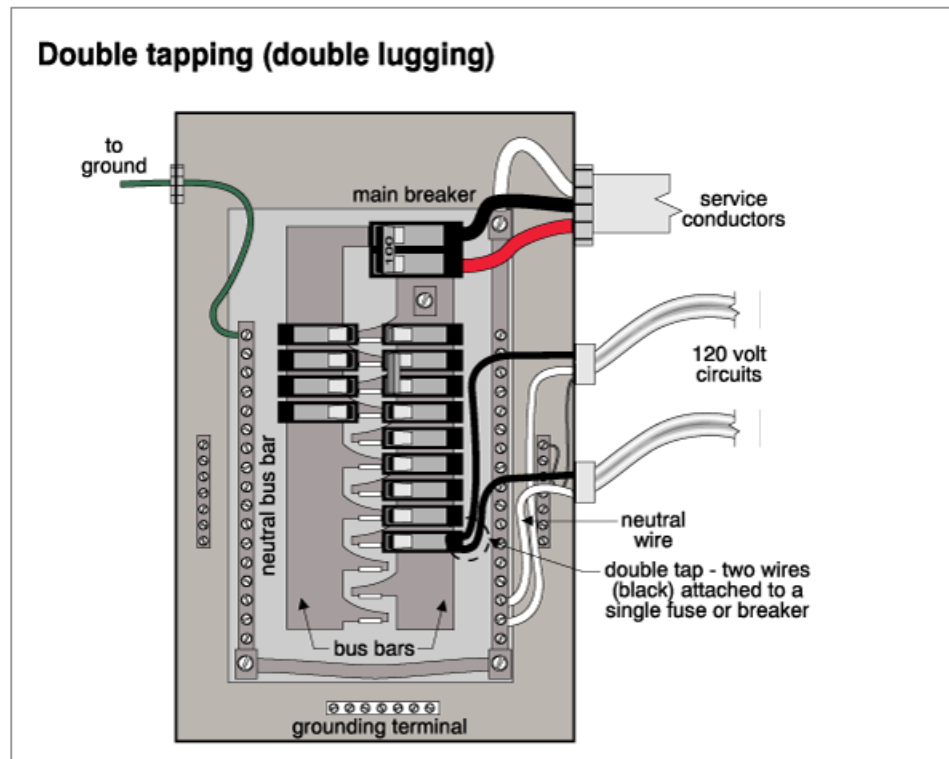
16. Condition: • [No Arc Fault Circuit Interrupter \(AFCI\)](#)

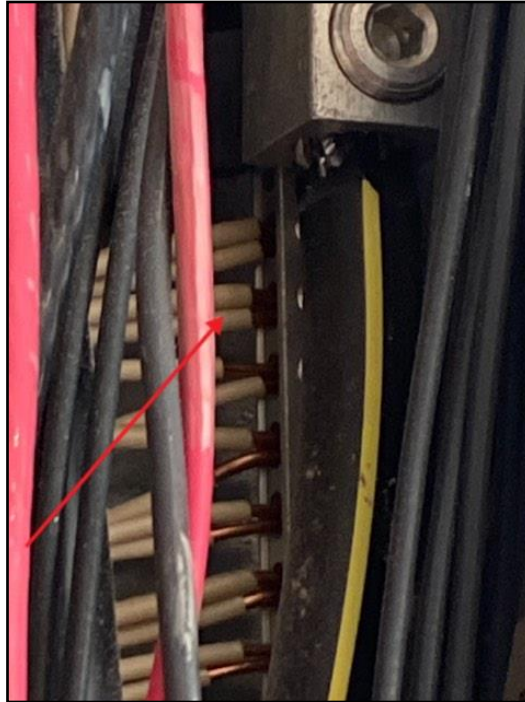
Implication(s): Fire hazard

SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers

17. Condition: • [Double taps](#)

Implication(s): Fire hazard





35. Double taps

DISTRIBUTION SYSTEM \ Aluminum wiring (wires)

18. Condition: • [Anti-oxidant compound - missing](#)

Implication(s): Fire hazard

DISTRIBUTION SYSTEM \ Outlets (receptacles)

19. Condition: • [No AFCI \(Arc Fault Circuit Interrupter\)](#)

Implication(s): Fire hazard

DISTRIBUTION SYSTEM \ GFCI (Ground Fault Circuit Interrupter) protection not noted at

20. Condition: • Kitchen counters

21. Condition: • Within 6 ft. of the outer edge of a sink, shower or bathtub

22. Condition: • Laundry area

HEATING

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ROOFING

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Description

Type of Systems: • [Furnace](#) • [Fireplace](#)

Energy Sources: • [Gas](#)

Heating system type:

• [Furnace](#)

10 years old



36. Furnace

• [Furnace](#)



37. Furnace

HEATING

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REFERENCE

- [Fireplace](#)



38. *Fireplace*

- [Fireplace](#)

Fuel/energy source: • [Gas](#)

Approximate capacity: • 125,000 BTU/hr

Efficiency: • [Mid-efficiency](#)

Exhaust venting method: • [Forced draft](#)

Combustion air source: • Interior of building

Approximate age:

- [New](#)

HEATING

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ROOFING

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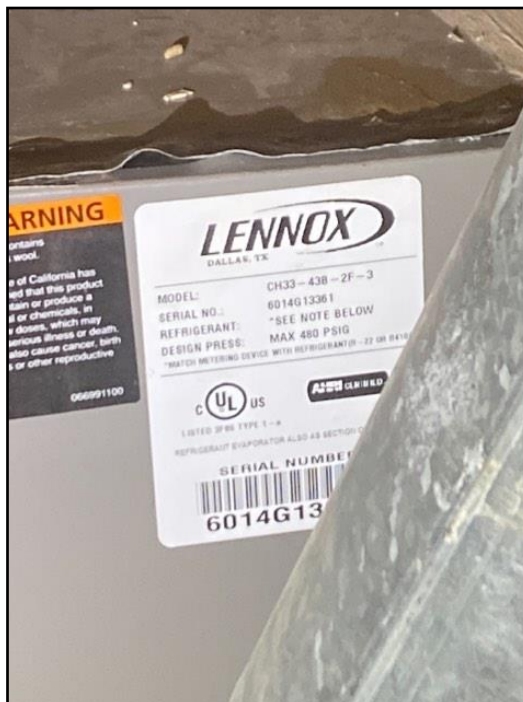
SITE INFO

REFERENCE



39. New

- [10 years](#)



40. 10 years

Typical life expectancy: • Furnace (conventional or mid-efficiency) 18 to 25 years

HEATING

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Main fuel shut off at: • Meter

Observations and Recommendations

RECOMMENDATIONS \ General

23. Condition: • Recommend licensed hvac contractor evaluate

COOLING & HEAT PUMP

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Description

General: • blank note



41.

Type of Systems: • Central air

Air conditioning type: • Central

Cooling capacity:

• 3.5 Tons

COOLING & HEAT PUMP

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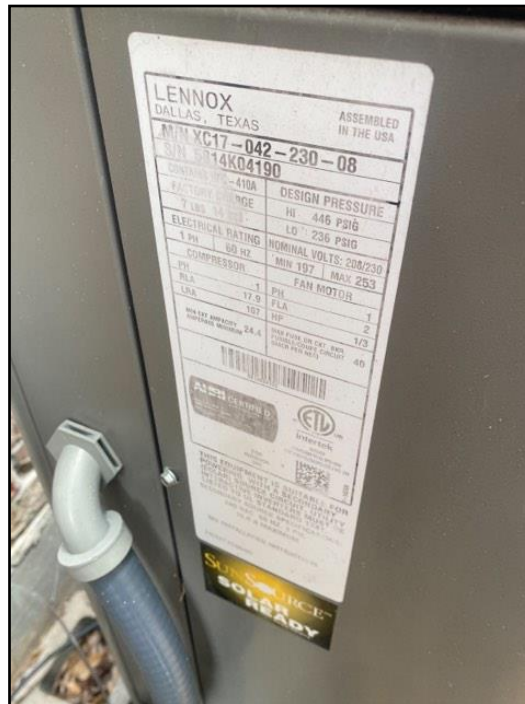
INSULATION

PLUMBING

INTERIOR

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42. 3.5 Tons

Compressor approximate age:

- 5 years
- 3 tons



43. 5 years

COOLING & HEAT PUMP

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- 6 years
- 4 ton



44. 6 years

- 10 years



45. 10 years

COOLING & HEAT PUMP

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Typical life expectancy: • 12 to 15 years

Temperature difference across cooling coil:

- Acceptable temperature difference: 15° to 22°



46. Acceptable temperature difference: 15° to 22°

- Acceptable temperature difference: 15° to 22°



47. Acceptable temperature difference: 15° to 22°

COOLING & HEAT PUMP

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SITE INFO

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Location of the thermostat for the cooling system:

- Second Floor



48. Second Floor

Location of the thermostat for the cooling system: • By master Not cooling efficiently



49.

COOLING & HEAT PUMP

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Location of the thermostat for the cooling system: • By master



50.

Observations and Recommendations

AIR CONDITIONING \ General notes

24. Condition: • Service air conditioner

Implication(s): Reduced system life expectancy | Increased cooling costs | Reduced comfort

AIR CONDITIONING \ Evaporator coil

25. Condition: • Temperature split across cooling coil less than 15 degrees Fahrenheit

COOLING & HEAT PUMP

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51. Temperature split across cooling coil less...

26. Condition: • Temperature split across cooling coil less than 15 degrees Fahrenheit



52. Temperature split across cooling coil less...

INSULATION AND VENTILATION

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ROOFING

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Description

General: • Low level



53.

General: • Gaps and voids in attic



54.

General: • Recommend insulation contractor evaluate

Approximate Average Depth of Insulation: • 6 inches

INSULATION AND VENTILATION

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Attic/roof insulation material: • Blown In

Attic/roof ventilation: • [Roof and soffit vents](#)

Observations and Recommendations

ATTIC/ROOF \ Insulation

27. Condition: • [Gaps or voids](#)

Implication(s): Increased heating and cooling costs | Reduced comfort

Description

Location of water meter:

- Front near street



55. Front near street

Location of Main water supply valve: • Meter

Static water pressure reading:

- [80 psi](#)



56. 80 psi

Type of supply piping material: • PVC

Type of drain piping material: • PVC plastic

Water Heating Energy Source: • [Gas](#)

Water Heating Capacity: • [40 gallons](#)

Location of gas meter: • Exterior left side

Type of gas distribution piping material: • Steel

Water supply source (based on observed evidence): • Public

Supply piping in building: • PVC (PolyVinyl Chloride)

Main water shut off valve at the: • Exterior

Water heater type:

- Tankless/On demand



57. Tankless/On demand

Water heater fuel/energy source:

- [Gas](#)



58. Gas

Water heater fuel/energy source: • blank note



59.

Water heater approximate age: • 1 year

Water heater typical life expectancy: • 10 to 15 years

Waste disposal system: • [Public](#)

Waste and vent piping in building: • [PVC plastic](#)

Sewer cleanout location: • Front yard

Floor drain location: • Water heater drain pan

Gas meter location:

• Exterior left side

PLUMBING

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60. Exterior left side

Main gas shut off valve location: • Gas meter

Backwater valve: • Present

Plumbing 1:

- Item
- Item

PLUMBING

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61. Item

• Item



62. Item

• Item

PLUMBING

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63. Item

- Item



64. Item

- Item
- Item

PLUMBING

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65. Item

• Item



66. Item

• Item

PLUMBING

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67. Item

• Item



68. Item

• Item

PLUMBING

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69. Item

• Item



70. Item

• Item

PLUMBING

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71. Item

• Item



72. Item

• Item

PLUMBING

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ROOFING

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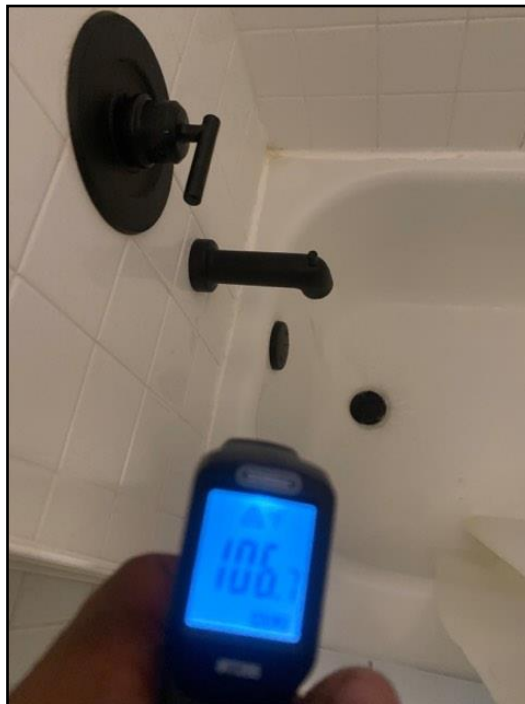
SITE INFO

REFERENCE



73. Item

• Item



74. Item

Observations and Recommendations

WASTE PLUMBING \ Drain piping - performance

28. Condition: • [Clogged](#)

Upstairs left sink slow drain

Implication(s): Sewage entering the building



75. Clogged

Description

Major floor finishes:

- [Stone](#)
- Wood



76. Wood

- Tile

INTERIOR

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77. Tile

Major wall and ceiling finishes:

- [Plaster/drywall](#)



78. Plaster/drywall

Windows:

- [Single/double hung](#)

INTERIOR

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79. *Single/double hung*

Exterior doors - type/material:

- Hinged



80. *Hinged*

Appliances:

- Refrigerator



81. Refrigerator

- Refrigerator



82. Refrigerator

- Range hood



83. Range hood

- Microwave/Exhaust Fan Combo



84. Microwave/Exhaust Fan Combo

- Cooktop

INTERIOR

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85. Cooktop

- Cooktop



86. Cooktop

- Cooktop

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87. Cooktop

- Cooktop



88. Cooktop

- Wall Oven (or Oven)



89. Wall Oven (or Oven)

- Wall Oven (or Oven)



90. Wall Oven (or Oven)

Observations and Recommendations

CEILINGS AND WALLS \ General notes

29. Condition: • Typical minor flaws

CEILINGS \ General notes

30. Condition: • Water stains

Over fireplace

Implication(s): Chance of water damage to structure, finishes and contents



91. *Water stains*

WALLS \ General notes

31. Condition: • Cracks

By stairs

Implication(s): Chance of structural movement | Damage or physical injury due to falling materials

INTERIOR

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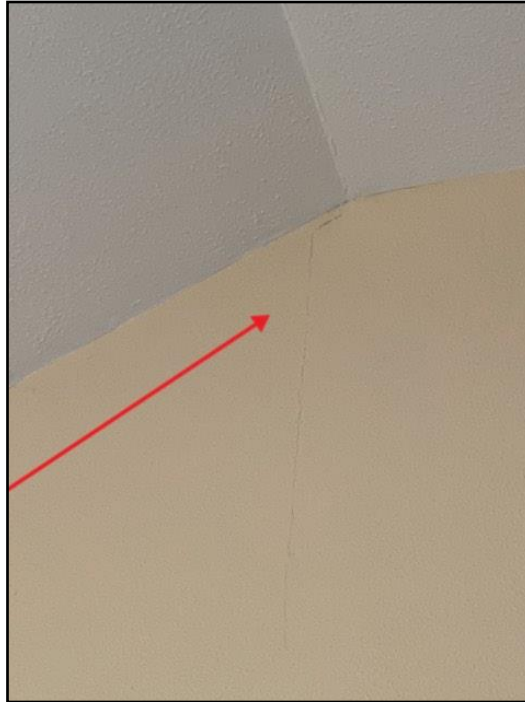
INSULATION

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92. Cracks

FLOORS \ General notes

32. Condition: • Slight slope in master bathroom



93.

FLOORS \ Wood/laminate floors

33. Condition: • Slopes

Upstairs



94. Slopes

WINDOWS \ General notes

34. Condition: • Difficult to operate

Implication(s): System inoperative or difficult to operate

WINDOWS \ Glass (glazing)

35. Condition: • Deterioration of seals

INTERIOR

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95.

SITE INFO

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Description

Weather: • Cloudy

Approximate temperature: • 88°

Attendees: • Buyer's agent

Access to home provided by: • Seller's agent

Occupancy: • The home was occupied at the time of the inspection.

Utilities: • All utilities were on during the inspection.

Approximate inspection Start time: • The inspection started at 11:30 a.m.

Approximate inspection End time: • The inspection ended at 2:00 p.m.

Approximate age of home: • 20 to 30 years

Approximate date of construction: • 1998

Approximate size of home: • 4500 ft.²

Building type: • Detached home

Number of dwelling units: • Single-family

Number of stories: • 2

Number of rooms: • 18

Number of bedrooms: • 5

Number of bathrooms: • 4

Number of kitchens: • 1

Below grade area: • Slab-on-grade

Garage, carport and outbuildings: • Attached three-car garage

Area: • City

Street type: • Residential

Street surface: • Paved

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS