



YOUR INSPECTION REPORT

Inspection, Education, Knowledge.

PREPARED BY:
ADAM HANNAN



FOR THE PROPERTY AT:

34 Coe Hill Drive
Toronto, ON M6S 3C8

PREPARED FOR:
LEAH MONERAWELA

INSPECTION DATE:
Tuesday, August 27, 2019

TIP

THE
INSPECTION
PROFESSIONALS

THE INSPECTION PROFESSIONALS, INC.
3120 Rutherford Rd.
Concord, ON L4K 0B2

416-725-5568
HST# 89249 4501 RT0001

www.inspectionpros.ca
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TIP

THE
INSPECTION
PROFESSIONALS

September 6, 2019

Dear Leah Monerawela,

RE: Report No. 2524, v.2
34 Coe Hill Drive
Toronto, ON
M6S 3C8

Thank you for choosing The Inspection Professionals to perform your Home Inspection.

The Inspection Professionals (TIP) is a Full-Time Professional, Award winning, Certified multi-inspector company founded by Adam Hannan. Since 2006, Adam has performed thousands of residential and commercial inspections and has become a respected expert in his field. Adam has a passion for education and has been an inspection instructor teaching at Community Colleges and Universities since 2009.

Adam is a member of the Ontario Association of Home Inspectors and International Association of Certified Home Inspectors.

"We inspect every home as if we were buying it for ourselves. We care about our clients and we strive to exceed expectations. We offer a professional unbiased opinion of the current performance of the home regardless of who we are working for."

-Adam

BUYERS -

An Onsite Review is an essential component to a complete home inspection. In order to more thoroughly familiarize yourself with the property and our findings, please book an Onsite Review at your convenience by calling (416) 725-5568. Once we have completed the Onsite Review, we will transfer the inspection report to the buyer. The fee for this service is only \$249. (A minimum savings of \$175)

Sincerely,

ADAM HANNAN
on behalf of
THE INSPECTION PROFESSIONALS, INC.

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SUMMARY

34 Coe Hill Drive, Toronto, ON August 27, 2019

Report No. 2524, v.2

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SUMMARY

ROOFING

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This Summary outlines some of the potentially short-term significant issues from a cost standpoint. This section is provided as a COURTESY ONLY and cannot be considered a substitute for reading the entire report. Please read the complete document.

It is not possible for a home inspector to predict the future. It would be advisable to annually budget between 0.5% to 1% of the value of the home for unforeseen repairs and maintenance. This would hold true for any house that you were considering.

Things will wear out, break down, and fail without warning. This is a fact of home ownership.

NOTE: ALL ELECTRICAL ISSUES ARE CONSIDERED PRIORITY ITEMS

NOTE: FOR BALLPARK COSTS THE TERM 'MINOR' REFERS TO COSTS UNDER \$500

NOTE: FOR DIRECTIONAL PURPOSES USED THROUGHOUT THE REPORT, THE "FRONT" OF THE HOUSE IS REFERENCED AS FACING THE FRONT DOOR FROM THE EXTERIOR.

During a home inspection we inspect all visible systems and components. There are literally hundreds of potential minor issues found in every home, new and old. The focus of this inspection was not to list every minor flaw or deficiency. The focus of this inspection was to identify MAJOR issues with MAJOR systems and components. To simplify and give you a better understanding of what is considered a major issue, the inspection can generally be categorized as follows.

- 1)OBSERVABLE STRUCTURAL DEFECTS
- 2)OBSERVABLE WATER LEAKAGE/DAMAGE Roof, Plumbing, and basement moisture intrusion.
- 3)OBSERVABLE ELECTRICAL DEFECTS
- 4)LIFESPAN SYSTEMS- Roof Covering, Heating System, Cooling System, Windows

For Ballpark costs of various home components, please click here:

<http://www.inspectionlibrary.com/costs.htm>

Heating

GAS HOT WATER BOILER \ Life expectancy

Condition: • Aging

Typical lifespan is 20-30 years. The current unit is 20 years old. Service annually and continue to use until replacement is needed.

Location: Basement

Task: Service annually / Replace

Time: Ongoing / When necessary

Cost: \$5000 and up

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Cooling & Heat Pump

AIR CONDITIONING \ Life expectancy

Condition: • [Near end of life expectancy](#)

Typical Life Expectancy for this type of unit is 10-15 years. The current unit is 14 years old. (as per seller) Service annually and continue to use until replacement is needed.

Implication(s): Equipment failure | Reduced comfort

Location: Rear Exterior Addition

Task: Replace

Time: When necessary / Unpredictable

Cost: \$3,000 - and up

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

<http://www.inspectionlibrary.com/wtgw.htm>

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Descriptions

Sloped roofing material: • [Asphalt shingles](#) • [Wood shingles/shakes](#)

Flat roofing material: • [Modified bitumen membrane](#)

Observations and Recommendations

RECOMMENDATIONS \ Overview

Condition: • When replacing a roof covering, it is common to apply a second layer over the first to minimize costs. Best practice however, is to remove the old roof covering before installing the new roof. Adding a third layer of roofing is not recommended. It is common when re-roofing to find concealed damage to roofing boards, these and other hidden components. There is no practical way to predict the presence or extent of the damage

Condition: • When replacing a roof covering, it is common to apply a second layer over the first to minimize costs. Best practice however, is to remove the old roof covering before installing the new roof. Adding a third layer of roofing is not recommended. It is common when re-roofing to find concealed damage to roofing boards, these and other hidden components. There is no practical way to predict the presence or extent of the damage

Condition: • Most roofs are susceptible to ice dams under the right weather conditions. This is where ice forms at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather

SLOPED ROOFING \ Asphalt shingles

Condition: • [Cracks](#)

The roof covering on the addition is reported to be 14 years old. Typical lifespan is 20 years. Surface cracking noted on shingles. (craze-cracking).

Typically craze-cracking starts around the 10-12 year mark but there are many factors that can affect this. This type of cracking is typical with some types of shingles and by itself is not a major concern.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Rear Exterior Addition Roof

Task: Inspect annually

Time: Regular maintenance

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1. rear addition



2. Rear addition

Inspection Methods and Limitations

Inspection performed: • Through Window - Limited View

Inspection performed: • With binoculars from the ground • From roof edge

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Gutter & downspout material: • [Aluminum](#)

Gutter & downspout discharge: • [Above grade](#)

Lot slope: • [Away from building](#) • [Flat](#)

Wall surfaces and trim: • [Boards](#)

Wall surfaces - masonry: • [Brick](#)

Observations and Recommendations

WALLS \ Masonry (brick, stone) and concrete

Condition: • Most masonry walls have small cracks due to shrinkage or minor settlement. These will not be individually noted in the report, unless leakage, building movement or similar problems are noted

Condition: • Gap at Wall

Location: Left Exterior Wall below door sill area

Task: Seal

Time: Regular Maintenance

Cost: Regular Maintenance

EXTERIOR GLASS/WINDOWS \ General

Condition: • Sill - Near or at Grade Level

This is typical for homes of this age. Modern standards require that sill be 6-inches above grade

Location: Right Side Exterior Wall

Task: Monitor / Improve

Time: If necessary



3. Sill - Near or at Grade Level



4. Sill - Near or at Grade Level

BASEMENT WALKOUTS \ General

Condition: • [Guard and handrail problems](#)

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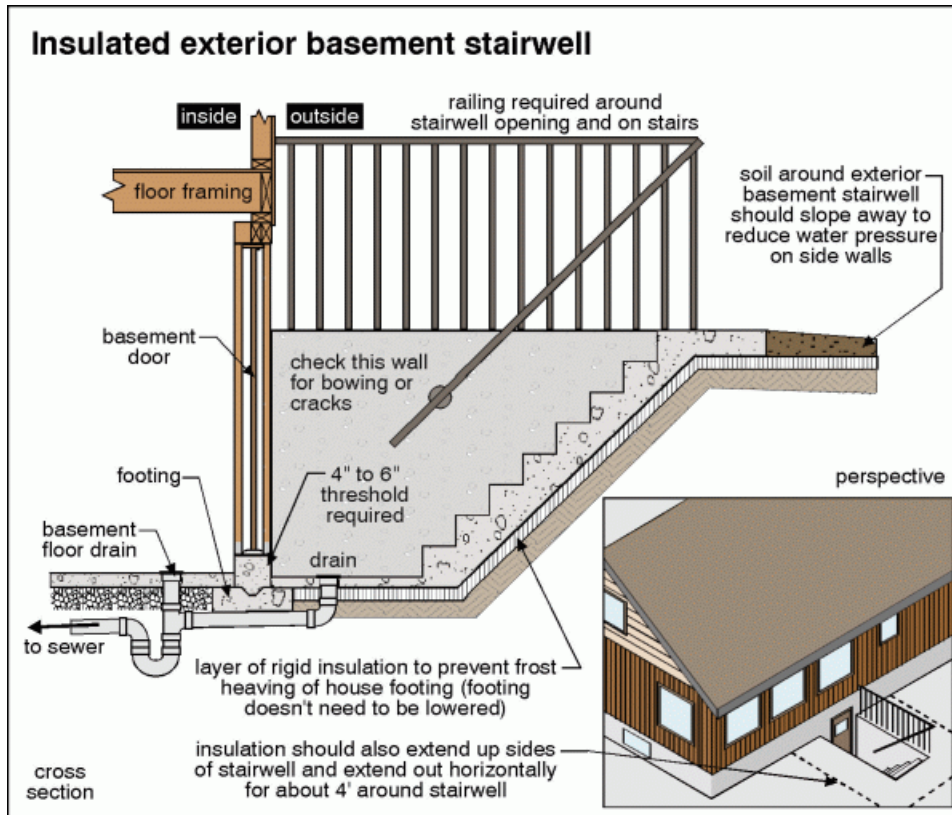
Implication(s): Fall hazard

Location: Rear Exterior

Task: Provide Guardrails on open side

Time: As Soon As Possible

Cost: Minor



5. Guard and handrail problems

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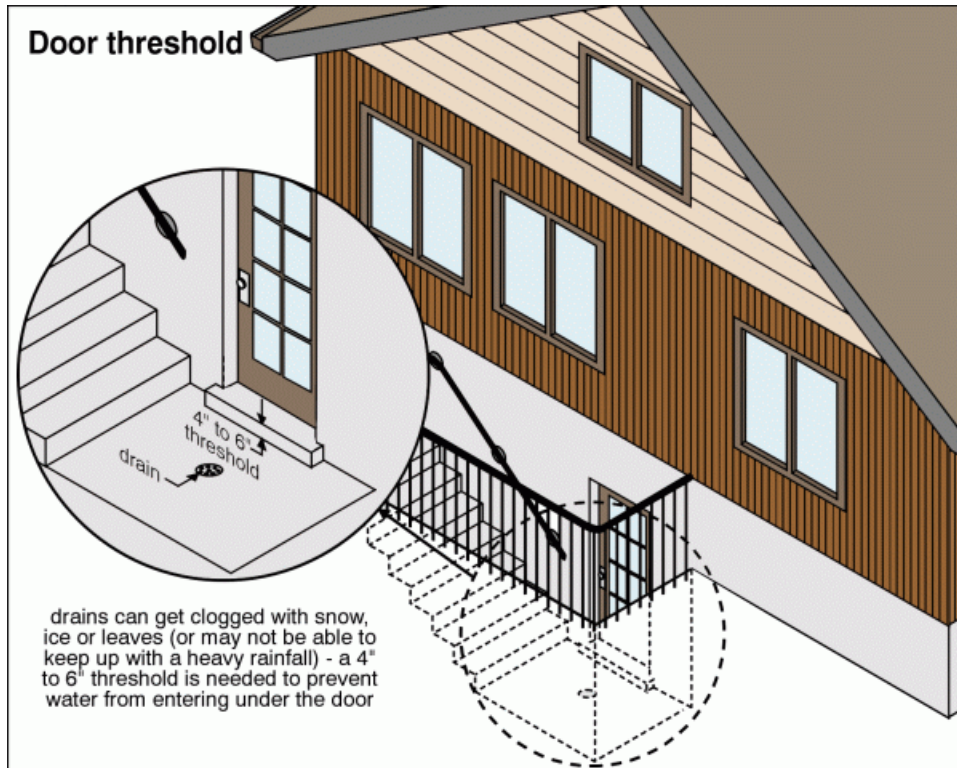
Condition: • [Door threshold missing, too low, not watertight](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Rear Exterior

Task: Improve

Time: If necessary



6. Door threshold missing, too low, not...

LANDSCAPING \ General

Condition: • Vines on building

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Vines may damage the home over time. If vines are to remain, and we understand the aesthetic reasons for leaving them, we recommend controlling the growth so vines do not attach to wood surfaces or roofs, and do not clog gutters and downspouts and soffit vents.

Implication(s): Chance of damage to finishes | Chance of pests entering building

Location: Exterior Wall

Task: Remove

Time: Regular maintenance

Cost: Regular maintenance item



7. Vines on building

LANDSCAPING \ Lot grading

Condition: • Low Areas.

Location: Left Side Exterior

Task: Monitor / Improve

Time: As Needed

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Recommended grading slopes



GARAGE \ General

Condition: • This is a typical very old shed style garage commonly found in Toronto. The concrete floor is cracked. The garage door is not perfectly sized for the opening.

Repair ongoing as needed



8.



9.

GARAGE \ Floor

Condition: • [Cracked](#)

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Cracking and Settlement or Heaving Observed. It is common for a concrete garage floor of this age to contain cracks. This is not part of the structure. Repair/replace as needed.

Implication(s): Uneven floors

Location: Garage

Task: Repair / Replace

Time: Discretionary



10. Cracked

Inspection Methods and Limitations

Inspection limited/prevented by: • Storage in garage

Upper floors inspected from: • Ground level

STRUCTURE

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Descriptions

Configuration: • [Basement](#)

Foundation material: • [Masonry block](#)

Floor construction: • [Joists](#)

Exterior wall construction: • [Masonry](#)

Roof and ceiling framing: • [Rafters/roof joists](#)

Observations and Recommendations

FOUNDATIONS \ General

Condition: • [Typical minor settlement](#)

Location: Various

Task: Monitor

Time: Ongoing

Inspection Methods and Limitations

Inspection limited/prevented by: • Ceiling, wall and floor coverings • Carpet/furnishings • Storage • New finishes/paint

Attic/roof space: • Inspected from access hatch

Percent of foundation not visible: • 99 %

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Descriptions

General: • ALL ELECTRICAL CONDITIONS ARE CONSIDERED PRIORITY ITEMS

Service entrance cable and location: • [Overhead - cable type not determined](#)

Service size: • [100 Amps \(240 Volts\)](#)

Main disconnect/service box type and location: • [Breakers - basement](#)

Distribution panel type and location: • [Breakers - basement](#)

Distribution panel rating: • [125 Amps](#)

Distribution wire material and type: • [Copper - non-metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded - upgraded](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom and exterior](#)

Smoke alarms (detectors): • Provide New

Observations and Recommendations

DISTRIBUTION SYSTEM \ Knob-and-tube wiring

Condition: • Knob and Tube wiring removed as per seller. None was observed. Electrical system appears upgraded

DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

Condition: • Smoke and carbon monoxide (CO) detectors should be provided at every floor level of every home. Smoke detectors should be close to sleeping areas, and carbon monoxide detectors should be in any room with a wood-burning stove or fireplace. These devices are not tested as part of a home inspection. Once you take possession of the home, detectors should be tested regularly, and replaced every 10 years. If unsure of the age of a smoke detector, it should be replaced. Smoke detector batteries should be replaced annually.

Inspection Methods and Limitations

System ground: • Quality of ground not determined

HEATING

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Descriptions

System type: • [Boiler](#)

Fuel/energy source: • [Gas](#)

Heat distribution: • [Radiators](#)

Approximate capacity: • 105,000 BTU/hr

Efficiency: • [Conventional](#)

Approximate age: • [20 years](#)

Typical life expectancy: • Boiler (steel) 20 to 25 years

Fireplace/stove: • None

Observations and Recommendations

GAS HOT WATER BOILER \ Life expectancy

Condition: • Aging

Typical lifespan is 20-30 years. The current unit is 20 years old. Service annually and continue to use until replacement is needed.

Location: Basement

Task: Service annually / Replace

Time: Ongoing / When necessary

Cost: \$5000 and up

GAS HOT WATER BOILER \ Gas burners

Condition: • [Dirt or soot](#)

Implication(s): Equipment not operating properly | Increased heating costs | Reduced comfort

Location: Basement

Task: Service

Time: Regular maintenance

CHIMNEY AND VENT \ Masonry chimney

Condition: • Prior Repairs

Location: Exterior Chimney

Task: For your information

Inspection Methods and Limitations

Safety devices: • Not tested as part of a building inspection

Heat loss calculations: • Not done as part of a building inspection

Heat exchanger: • Not visible

COOLING & HEAT PUMP

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Descriptions

Air conditioning type:

- [Air cooled](#)

Split system. Condenser on rear addition with air handler in attic. Ducts in ceiling on second floor only



11. Air cooled



12. Air cooled

Cooling capacity: • Not determined

Compressor approximate age: • 20 years

Typical life expectancy: • 10 to 15 years

Observations and Recommendations

AIR CONDITIONING \ Life expectancy

Condition: • [Near end of life expectancy](#)

Typical Life Expectancy for this type of unit is 10-15 years. The current unit is 14 years old. (as per seller) Service annually and continue to use until replacement is needed.

Implication(s): Equipment failure | Reduced comfort

Location: Rear Exterior Addition

Task: Replace

Time: When necessary / Unpredictable

Cost: \$3,000 - and up

COOLING & HEAT PUMP

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13. Near end of life expectancy

Inspection Methods and Limitations

Heat gain/loss calculations: • Not done as part of a building inspection

Descriptions

Attic/roof insulation material:

- [Glass fiber](#)



14. Glass fiber

- [Mineral wool](#)



15. Glass fiber

Attic/roof insulation amount/value: • [R-32](#)

Attic/roof air/vapor barrier: • Spot Checked Only

Attic/roof air/vapor barrier: • [Kraft paper](#)

Attic/roof ventilation: • [Roof and soffit vents](#)

Observations and Recommendations

RECOMMENDATIONS \ Overview

Condition: • No insulation recommendations are offered as a result of this inspection.

ATTIC/ROOF \ Insulation

Condition: • [Amount less than current standards](#)

Below current standards of R-50 (as of 2012) . Also gaps or voids in insulation observed

Implication(s): Increased heating and cooling costs

Location: Attic

Task: Upgrade

Time: Discretionary / When necessary

INSULATION AND VENTILATION

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Inspection Methods and Limitations

Inspection prevented by no access to: • Walls, which were spot checked only

Attic inspection performed: • From access hatch

Roof ventilation system performance: • Not evaluated

Air/vapor barrier system: • Continuity not verified

Descriptions

Service piping into building: • [Not visible](#)

Supply piping in building: • [Copper](#)

Main water shut off valve at the:

- Front of the basement



16. Front of the basement

Water flow and pressure: • [Functional](#)

Water heater type: • [Conventional](#)

Water heater fuel/energy source: • [Gas](#)

Water heater tank capacity: • 151 liters

Water heater approximate age: • New

Water heater typical life expectancy: • 10 to 15 years

Waste and vent piping in building: • [Plastic](#)

Pumps:

- [Sump pump](#)



17. Sump pump

Floor drain location: • Near laundry area

Observations and Recommendations

WASTE PLUMBING \ Drain piping - performance

Condition: • Sewage backup insurance is recommended.

Implication(s): drainage and/or leakage problems

Location: Basement

Task: Provide

Time: Immediate

Condition: • Drain line video camera inspection recommended

RECOMMENDED ON ALL HOMES BUILT PRIOR TO 1970

Implication(s): Drainage and/or leakage problems

Location: Basement

Task: Camera inspection

Time: Immediate

FIXTURES AND FAUCETS \ Shower stall

Condition: • [Entrance problems](#)

Implication(s): Difficult access

Location: Basement Bathroom

Task: Adjust

Time: Regular maintenance

Cost: Minor

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Inspection Methods and Limitations

Items excluded from a building inspection: • Tub and basin overflows are not tested as part of a home inspection. Leakage at the overflows is a common problem.

Items excluded from a building inspection: • Well • Water quality • Septic system • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Pool • Spa

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Descriptions

- Major floor finishes:** • [Hardwood](#) • [Laminate](#)
- Major wall and ceiling finishes:** • [Plaster/drywall](#) • [Stucco/texture/stipple](#)
- Windows:** • [Fixed](#) • [Sliders](#) • [Casement](#) • [Skylight](#)
- Glazing:** • [Double](#)

Observations and Recommendations

General

- Typical minor flaws were noted on floors, walls and ceilings. These cosmetic issues reflect normal wear and tear
- Work in Progress Observed
Home Improvements, Carpeting, Painting, etc.

WINDOWS \ General

Condition: • We noted windows of varying ages. We typically recommend replacement only when inoperative or leaky windows are found. Replacement of functioning windows, however old, are discretionary.

Task: For Your Information

DOORS \ Hardware

Condition: • [Missing](#)

Implication(s): System inoperative or difficult to operate

Location: First Floor Front and Rear Doors

Task: Provide door latches

Time: Regular maintenance

Cost: Minor

BASEMENT \ Leakage

Condition: • ***FOR FUTURE REFERENCE*** Basement Leakage 4-step method.

Almost every basement (and crawlspace) leaks under the right conditions. Based on a one-time visit, it's impossible to know how often or severe leaks may be. While we look for evidence of past leakage during our inspection, this is often not a good indicator of current conditions. Exterior conditions such as poorly performing gutters and downspouts, and ground sloping down toward the house often cause basement leakage problems. To summarize, wet basement issues can be addressed in 4 steps: 1. First, ensure gutters and downspouts carry roof run-off away from the home. (relatively low cost) 2. If problems persist, slope the ground (including walks, patios and driveways) to direct water away from the home. (Low cost if done by homeowner. Higher cost if done by contractor or if driveways, patios and expensive landscaping are disturbed.) 3. If the problem is not resolved and the foundation is poured concrete, seal any leaking cracks and form-tie holes from the inside. (A typical cost is \$300 to \$600 per crack or hole.) 4. As a last resort, dampproof the exterior of the foundation, provide a drainage membrane and add/repair perimeter drainage tile. (High cost

BASEMENT \ Wet basement - evidence

Condition: • No leakage was observed. Homeowner noted that in the past, dampness was found time to time at the front basement, however since damp-proofing was provided, no issues have been noted.

Inspection Methods and Limitations

General: • Up until about 1985, Asbestos was used in a multitude of building materials including but not limited to: Insulation on hydronic piping, attic insulation, flooring and ceiling tiles, stucco ceilings, glue, insulation around heating ducts and registers and so on. Identification of asbestos is outside the scope of a home inspection. If you have concerns about asbestos, consult with a professional environmental company that specializes with asbestos lab testing.

Inspection limited/prevented by: • Storage/furnishings • New finishes/paint • Storage in closets and cabinets / cupboards

Not included as part of a building inspection: • Carbon monoxide alarms (detectors), security systems, central vacuum • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any

Cosmetics: • No comment offered on cosmetic finishes

Appliances: • Appliances are not inspected as part of a building inspection • Appliances are not moved during an inspection

Percent of foundation not visible: • 99 %

Basement leakage: • Monitor the basement for leaks in the Spring.

Note: This is recommended on all homes

Basement leakage: • Cannot predict how often or how badly basement will leak • Storage in basement limited inspection

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General: • [The Inspection Professionals Website](#)

General: • [Low concentrations of CO can go undetected and can contribute to ongoing, unidentified illnesses. At high concentrations, it can be deadly.](#)

General: • [Serious structural problems in houses are not very common, but when they occur they are never cheap to fix.](#) Some cant be fixed at all. This report wont turn you into a home inspector, but it will give you some of the common indicators.

General: • [There are so many home maintenance and repair items that are important; it can be confusing trying to establish which are the most critical.](#)

General: • [\(Life Cycles and Costs\)](#)

General: • [This report will deal with the simpler topic of home repair--basically replacing things that are worn out or fixing things that are broken.](#)

General: • [Common Building Technical Terms Explained](#)

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General: • pictures taken during inspection

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GOOD ADVICE FOR ALL HOMEOWNERS: • The following items apply to all homes and explain how to prevent and correct some common problems.

Roof Leaks: • Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced.

Annual Roof Maintenance: • We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of your roof.

Ice Dams on Roofs: • [Most roofs are susceptible to ice dams under the right weather conditions. This is where ice forms](#) at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather.

Maintaining the Exterior of Your Home: • Regular maintenance includes painting and caulking of all exterior wood.

Insulation Amounts - Current Standards: • Attic and roof space: R-40 (R-50 if electric heat)

Reduce Air Leaks: • Insulation is not effective if air (and the heat that goes with it) can escape from the home. Caulking and weather-stripping help control air leakage, improving comfort while reducing energy consumption and costs. Air leakage control improvements are inexpensive and provide a high return on investment.

Bathtub and Shower Maintenance: • Caulking and grout in bathtubs and showers should be checked every six months and improved as necessary to prevent leakage and damage behind wall surfaces.

Basement/Crawlspace Leakage: • Almost every basement (and crawlspace) leaks under the right conditions. • [Click](#) for more information.

MORE GOOD ADVICE FOR ALL HOMES: • Here is some more information that applies to all homes.

MORE GOOD INFORMATION: • The following links give you access to documents that provide additional information on a range of topics.

Life Cycles and Costs: • [Ballpark estimates based on a typical three-bedroom home.](#)

Priority Items for Home Buyers: • [A list of things you should do when moving into your new home and a few regular](#) maintenance items.

Maintenance: • [Scheduled maintenance can avoid repairs and extend the life expectancy of many home components.](#) This document helps you look after your home.

When Things Go Wrong: • [Unpleasant surprises are unfortunately part of homeownership. This document helps to](#) explain why things happen and why your home inspector may not have predicted it.

Standards of Practice: • [This document sets out what a professional home inspection should include, and guides the](#) activities of our inspectors.

END OF REPORT

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

PHOTOS

MORE INFO

REFERENCE

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS