

YOUR Inspection Report



Welcome Home!

FOR THE PROPERTY AT:

75 York View Dr
Toronto, ON M8Z 2G3

PREPARED FOR:

LUISA PICCIRILLI

INSPECTION DATE:

Sunday, August 18, 2019

PREPARED BY:

Tom Woolley, RHI



thehome  **check**



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report

The Home Check
6-2400 Dundas Street West, Suite 503
Mississauga, ON L5K 2R8

905-916-6888
HST#140534322RT0001
www.thehomecheck.ca

IMPORTANT NOTE

75 York View Dr, Toronto, ON August 18, 2019

Report No. 5700, v.2

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IMPORTANT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

IMPORTANT NOTE: This report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be held responsible to any parties for the content of the report other than the party named herein. We recommend that an independent home inspection by a different company be completed before making a buying decision.

Please read the entire report and the appropriate text included in the hyperlinks. The goal of a home inspection is to identify significant issues that would affect the average person's decision to buy a home. While looking for big issues we typically identify some minor defects along the way. We include these in the report as a courtesy, but please understand a home inspection is not a Technical Audit and does not include a comprehensive list of minor issues.

[Priority Maintenance Items](#)

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

ROOFING

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IMPORTANT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Sloped roofing material: • [Asphalt shingles \(1.1\)](#)

Flat roofing material: • [Modified bitumen \(1.10\)](#)

Limitations

Roof inspection method: • Pole Camera

Roof inspection method: • Binoculars from the ground • Ladder at the edge of the roof • Walking on the roof

Roof inspection limited/prevented by: • Slope - too steep to walk on some areas of the roof

Recommendations

General

• View of roof from above (fyi):



FLAT ROOF(S) \ 1.0

Condition: • Some minor ponding noted near skylight. This is a common condition and no immediate action is required. Monitoring skylights as part of regular home maintenance is recommended.

ROOFING

75 York View Dr, Toronto, ON August 18, 2019

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IMPORTANT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Condition: • Poor roof drainage - water ponds on roof

VULNERABLE AREAS \ 1.13, 1.14 & 1.15

Condition: • 'Log jam' roof design will be more prone to water issues.

Note: No evidence of problem was noted at the time of inspection.



Converging roof lines

Condition: • [Change in roof slope is a vulnerable area for roof leaks](#)

Condition: • Flashings are vulnerable areas

Some flashings are relying on caulking to remain water tight. Caulking is prone to cracking over time. All flashings should be monitored annually.



Regular maintenance is important

ROOF LEAKS (4.0), ANNUAL MAINTENANCE AND ICE DAMS (1.14) \ Good advice for all homeowners

Condition: • Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or

ROOFING

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Report No. 5700, v.2

www.thehomecheck.ca

IMPORTANT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced. We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of roofs.

Most roofs are susceptible to ice dams under the right weather conditions. This is where ice forms at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather. Read Section 1.14 for more detail and solutions.

EXTERIOR

75 York View Dr, Toronto, ON August 18, 2019

Report No. 5700, v.2

www.thehomecheck.ca

IMPORTANT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Gutters and Downspouts (1.0): • [Aluminum \(1.1\)](#)

Gutter and Downspout Discharge (1.2): • [Discharge above grade \(1.2\)](#)

Wall Surfaces (4.0): • [Brick \(4.1\)](#) • [Stone \(4.2\)](#)

Limitations

Exterior inspection method: • The exterior was inspected from ground level.

Limitations: • Fences, outbuildings (other than garages) and landscape features are not included as part of a home inspection.

Limitations: • Garage - storage restricted the inspection

Recommendations

GUTTERS \ 1.0

Condition: • [Drain onto lower roof - causes premature roof wear](#)



Extend to gutter below

DOWNSPOUTS \ 1.0

Condition: • [Downspout ends too close to home. It should direct water at least 6 feet from building.](#)

EXTERIOR

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Report No. 5700, v.2

www.thehomecheck.ca

IMPORTANT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

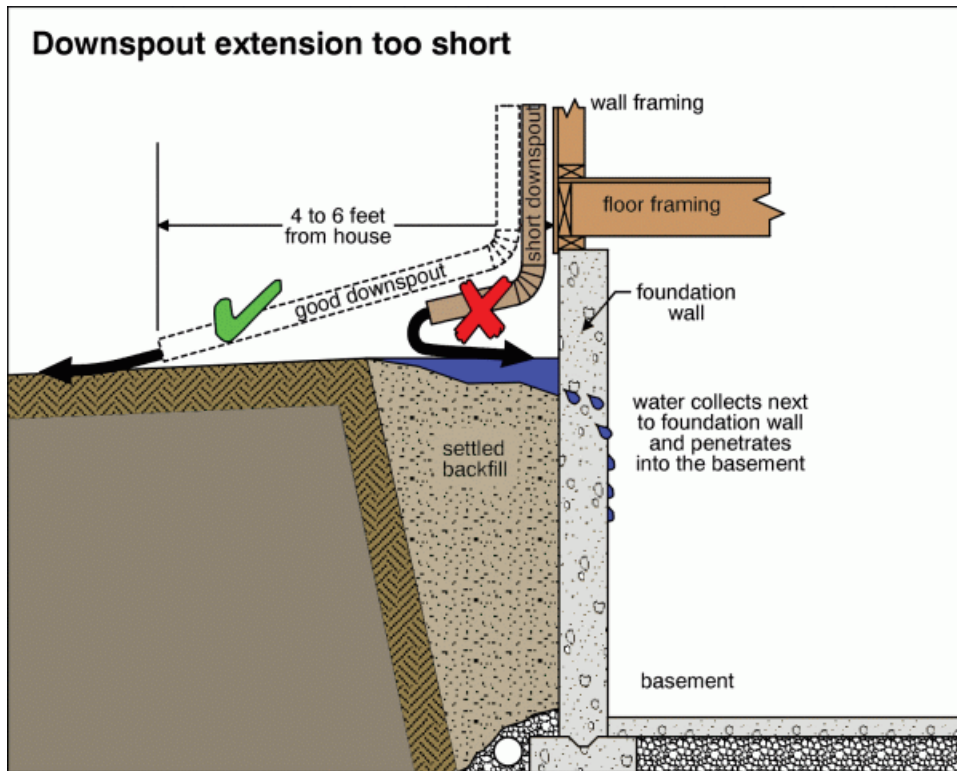
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



Extend all downspouts away from foundation

LOT GRADING \ (2.0 & 6.0)

Condition: • Care should be taken with lawn sprinkler systems (irrigation systems). These can wet and damage exterior walls and cause leakage problems into basements and crawlspaces. Water should not be directed against or adjacent to the building.

EXTERIOR

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Report No. 5700, v.2

www.thehomecheck.ca

IMPORTANT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



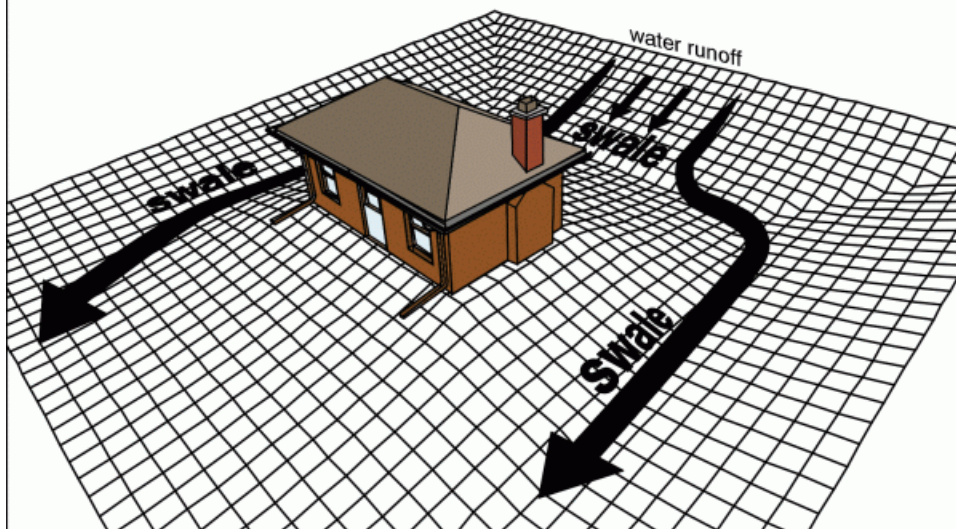
Reconsider irrigation up against foundation

Condition: • As discussed, try and create a 'dry moat' in the form of proper lot grading topped with heavy plastic and gravel. Patio slabs, interlock stones or poured concrete is also a solution but considerably more expensive. The goal is to move water at least 3 feet away from the home before it can enter the soil. This task should be completed as soon as possible. See comments at the Interior section of the report for other information regarding basement leakage.

Note: No evidence of problem was noted at the time of inspection.

Swales

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation



EXTERIOR

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Report No. 5700, v.2

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IMPORTANT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

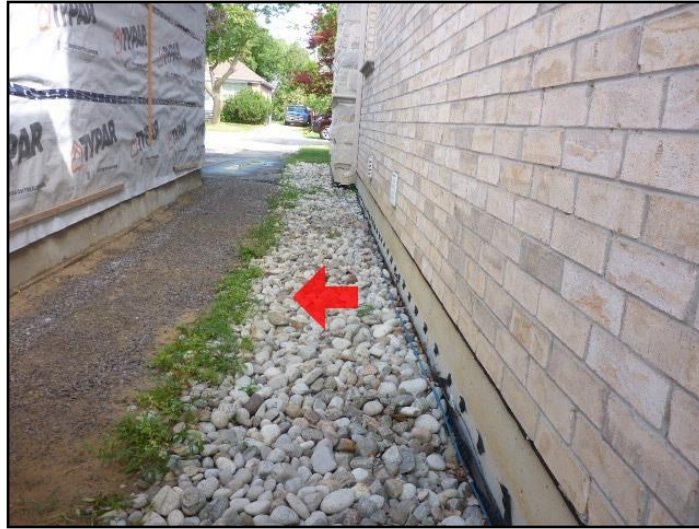
COOLING

INSULATION

PLUMBING

INTERIOR

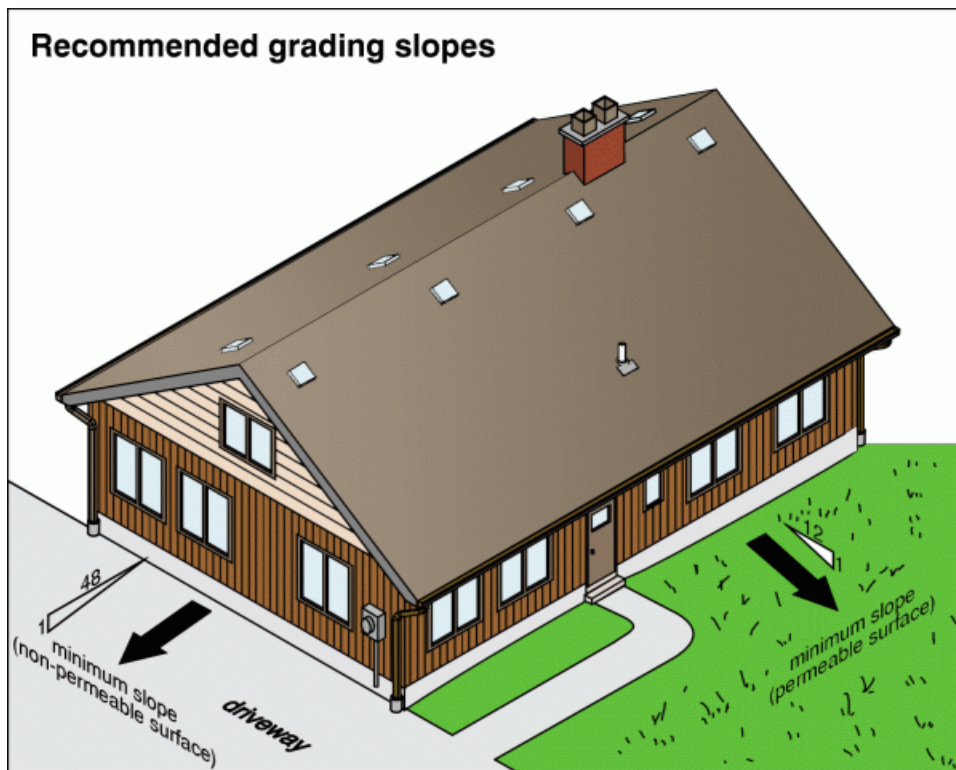
REFERENCE



Move water away from foundation

Condition: • [Low areas](#)

To reduce the likelihood of water penetration to the basement, always maintain a positive slope away from the foundation wall.



WALL SURFACES \ 4.0

Condition: • [Vent not well sealed](#)

EXTERIOR

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Report No. 5700, v.2

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IMPORTANT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



Seal vent

EXTERIOR STRUCTURE \ Railings (5.2)

Condition: • [Missing](#)



Railings recommended

GARAGE \ 8.0

Condition: • Storage in the garage prevented a thorough inspection for gas proofing issues. Be sure to seal any hole/gaps that are discovered once the space is clear to prevent the migration of gases into the living space.

EXTERIOR

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Report No. 5700, v.2

www.thehomecheck.ca

IMPORTANT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

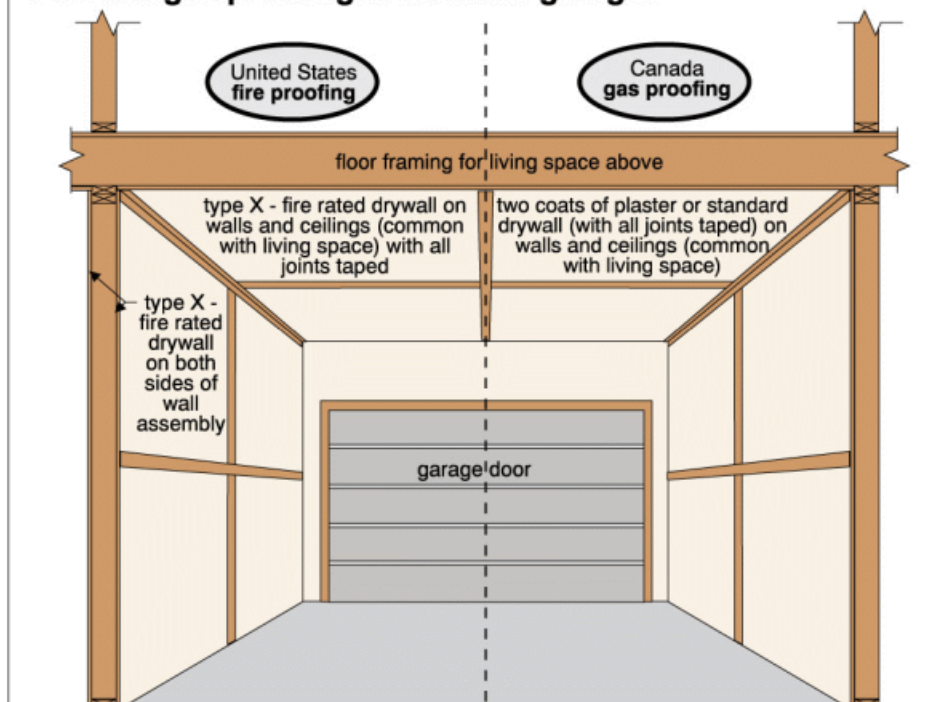
INSULATION

PLUMBING

INTERIOR

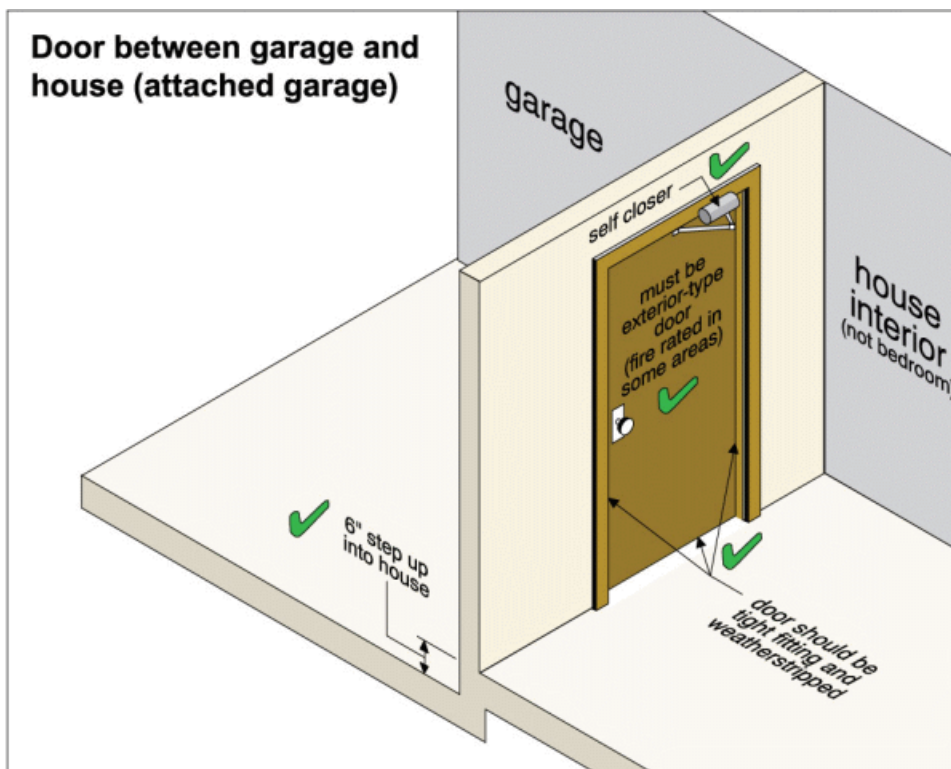
REFERENCE

Fire and gas proofing in attached garages



Condition: • [Man-door closer missing \(8.3\)](#)

Door between garage and house (attached garage)



EXTERIOR

75 York View Dr, Toronto, ON August 18, 2019

Report No. 5700, v.2

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IMPORTANT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



Missing door closer

Description

Foundations (3.0): • [Poured concrete](#)

Configuration (4.0): • [Basement](#)

Floor Construction (5.0): • [Joists - engineered wood](#)

Exterior Wall Construction (6.0): • Wood frame, stone veneer

Exterior Wall Construction (6.0): • [Wood frame, masonry veneer](#)

Roof and Ceiling Framing (7.0): • [Trusses \(7.4\)](#)

Limitations

Structure inspection method: • Attic inspected from access hatch

Limitations: • Finishes, insulation, furnishings and storage conceal structural components, preventing/restricting inspection. • It is not possible to determine the presence or extent of ongoing movement based on a one-time visit.

Recommendations

FOUNDATIONS AND MASONRY WALLS \ 3.0 & 6.1

Condition: • Most foundation walls and masonry walls have small cracks due to shrinkage or settlement that occurred shortly after construction was completed. These will not be individually noted, unless leakage or building movement is noted.



Example of a typical crack

Description

Service Entrance Cable (2.1/2/3): • [Overhead - The wire material was not determined](#)

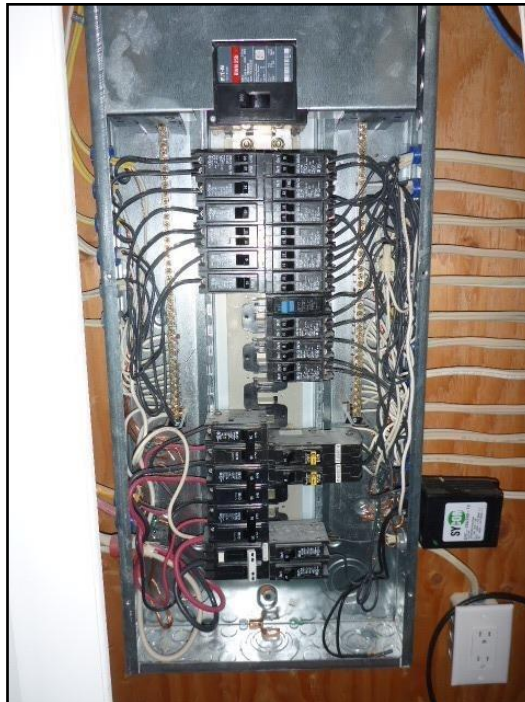
Service Size (2.4/5): • [200 amps \(240 Volts\)](#)

System Grounding (2.7): • [Water pipe - copper](#)

Distribution Panel Rating (3.0): • [200 amps](#)

Distribution Panel Type & Location:

• [Breakers - basement](#)



Electrical protected by breakers

Distribution Wire (4.0): • [Copper - non-metallic sheathed](#)

Outlet Type & Number (5.2): • [Grounded - typical number](#)

Ground Fault Circuit Interrupters (5.3): • [Bathrooms](#) • [Exterior](#) • [Kitchen](#)

Arc Fault Circuit Interrupters (5.3): • Panel

Limitations

Limitations: • Concealed electrical components are not inspected. • Main disconnect cover not removed - unsafe to do so. • The continuity and quality of the system ground are not verified as part of a home inspection. • The home inspection includes only a sampling check of wiring, lights, receptacles, etc. • Generator not inspected/tested

Recommendations

General

- All electrical recommendations are safety issues. Treat them as high priority items, and consider the Time frame as Immediate, unless otherwise noted.

MAIN PANEL - WIRES \ 3.6, 3.9 & 3.11

Condition: • [Abandoned](#)



Abandoned wiring in panel

OUTLETS \ 5.2

Condition: • [Inoperative](#)

The control for the holiday light outlet at front soffit was not located.

SWITCHES \ 5.4

Condition: • Various mystery switches were found during the course of inspection. The homeowner may have insight.

Location: At front door and garage

HEATING

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Report No. 5700, v.2

www.thehomecheck.ca

IMPORTANT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Main Heating System - Fuel/Energy Source: • Natural gas

Main Fuel Shut-off at: • Meter

Main Heating System - Type: • [Furnace \(3.0\)](#)

Efficiency (8.0): • [High efficiency](#)

Approximate Input Capacity (9.0): • [80,000 BTU/hr.](#)

Approximate Age: • [8 years](#)

Typical Life Expectancy: • [Furnace \(high efficiency\) - 15 to 20 years](#)

Heat Recovery Ventilator (14.24): • [Connected to heating system](#)

Limitations

Limitations: • Heat loss calculations are not performed as part of a home inspection. • Safety devices are not tested as part of a home inspection. • The heat exchanger is substantially concealed and could not be inspected.

Limitations: • Air conditioning or heat pump operating (16.3)

Recommendations

SUPPLY/RETURN DUCTWORK, GRILLES AND REGISTERS \ 15.1 & 15.2

Condition: • Uneven air flow noted at some of the registers. Consult with a heating contractor if this becomes a comfort issue.

Condition: • [Supply registers - ceiling locations not ideal in basement \(may result in warm ceiling/cool floor\); if necessary.](#) re-locate registers to walls (near floors) or provide electric baseboard heating

HEATING

75 York View Dr, Toronto, ON August 18, 2019

Report No. 5700, v.2

www.thehomecheck.ca

IMPORTANT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

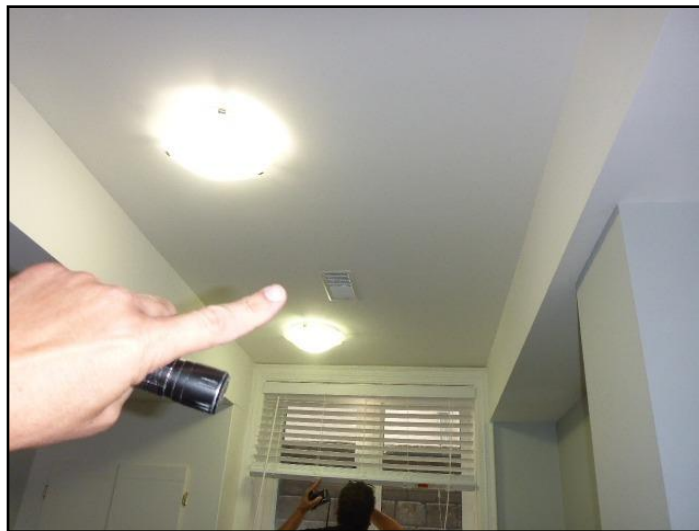
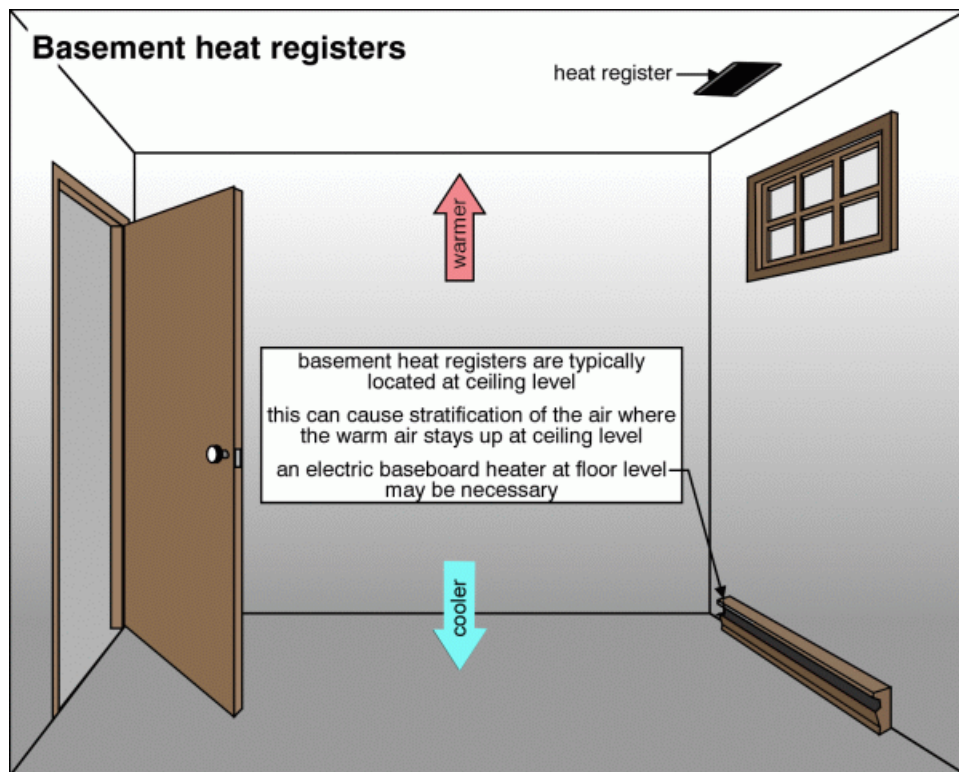
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



Room adjacent to furnace

Condition: • [Supply registers - poor location](#)

HEATING

75 York View Dr, Toronto, ON August 18, 2019

Report No. 5700, v.2

www.thehomecheck.ca

IMPORTANT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

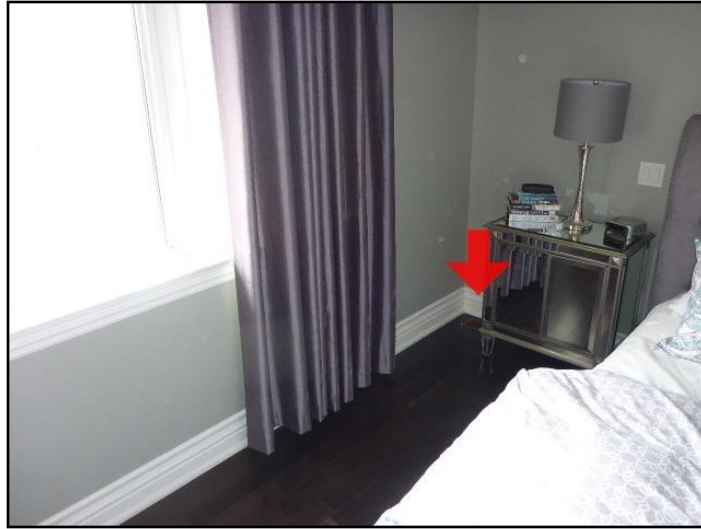
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



Ideally, supply registers are below windows

Condition: • [Supply registers missing](#)

Storage prevented a thorough exam for supply registers. The current homeowner may have insight.

Location: Room below rear patio

REGULAR MAINTENANCE \ Good advice for all homeowners

Condition: • An annual maintenance agreement with a reputable heating contractor is recommended.

COOLING

75 York View Dr, Toronto, ON August 18, 2019

Report No. 5700, v.2

www.thehomecheck.ca

IMPORTANT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Air Conditioning (1.0): • [Central air conditioning - air cooled \(1.1\)](#)

Cooling Capacity (3.0): • [36,000 BTU/hr.](#)

Approximate Compressor Age (5.0): • [7 years](#)

Typical Life Expectancy: • 10 to 15 years

Limitations

Limitations: • Heat gain and heat loss calculations are not performed as part of a home inspection.

Recommendations

REFRIGERANT LINES \ 11.0

Condition: • [Unsealed gap at plenum](#)



Condensation stains noted

INSULATION

75 York View Dr, Toronto, ON August 18, 2019

Report No. 5700, v.2

www.thehomecheck.ca

IMPORTANT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Attic insulation value (1.0/2.0) & material (A): • Fiberglass/Mineral Wool

Attic insulation value (1.0/2.0) & material (A): • R-32

Cathedral/sloped roof insulation value (1.0/2.0) & material (C): • Not determined

Basement wall insulation value (1.0/2.0) & material (I/J): • Not determined

Floor above porch/garage value (1.0/2.0) & material (L): • Not determined. Floors above unheated areas are typically cooler than other floors in the home. This is something to be aware of, although no action is typically needed. A specialist can help if improvements are needed.

Air/vapour barrier (13.0): • [Not determined](#)

Roof ventilation (15.0): • [Roof vents](#) • [Soffit vents](#)

Limitations

Insulation inspection method: • See Structure Limitations • Attic inspected from access hatch

Limitations: • The continuity of air/vapour barriers and the performance of roof and attic ventilation are not verified as part of a home inspection.

Recommendations

General

- View of attic (fyi):



ATTIC \ Insulation (A & 1.0 to 19.0)

Condition: • [Insulation - voids noted](#)

INSULATION

75 York View Dr, Toronto, ON August 18, 2019

Report No. 5700, v.2

www.thehomecheck.ca

IMPORTANT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



Voids noted at insulation

WALLS - BASEMENT \ I & J

Condition: • The storage room at the back of the basement is built underneath the rear outdoor patio. This configuration is the same as a traditional cold room/cantina featured in many homes. Traditional cold rooms should not be finished with any organic material (wood, drywall, etc.) This will support mould growth. This mould growth will form on the back side of building materials first (not detectable until considerable damage has set in).

It is likely at this home the builder/architect recognized the physics involved and has taken special precautions through design to prevent water/mould issues. Without dismantling the structure, construction details could not be confirmed. The current homeowner will likely have insight. Drawings should be reviewed and all permits and final sign off paperwork should be filed. Monitor over time.



Living space below rear patio



Patched ceiling?

FLOOR ABOVE UNHEATED AREA \ L

Condition: • Floors above unheated areas are typically cooler than other floors in the home. This is something to be

INSULATION

75 York View Dr, Toronto, ON August 18, 2019

Report No. 5700, v.2

www.thehomecheck.ca

IMPORTANT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

aware of, although no action is typically needed. A specialist can help if improvements are needed.

Description

Water Piping to the Building: • [Copper](#)

Supply Piping in the Building: • [Copper](#) • [PEX \(cross-linked polyethylene\)](#)

Main Shut-off Valve Location: • Basement

Water Flow (Pressure) (1.4.1): • [Functional](#)

Water Heater Type and Energy Source (1.6): • [Gas](#) • [Induced draft](#)

Water Heater Age (Estimated) (1.6): • 7 years

Typical Life Expectancy: • 10 to 15 years

Water Heater Tank Capacity (1.6): • 284 liters/75 US gallons

Waste Piping Material: • Plastic

Floor Drain Location: • [Furnace area](#)

Pump: • [Sump pump \(2.8\)](#)

Limitations

Limitations: • Concealed plumbing is not inspected. This includes supply and waste piping under floors and under the yard. • Isolating valves, relief valves and main shut-off valves are not tested as part of a home inspection. • Tub and basin overflows are not tested as part of a home inspection. Leakage at the overflows is a common problem.

Recommendations

General

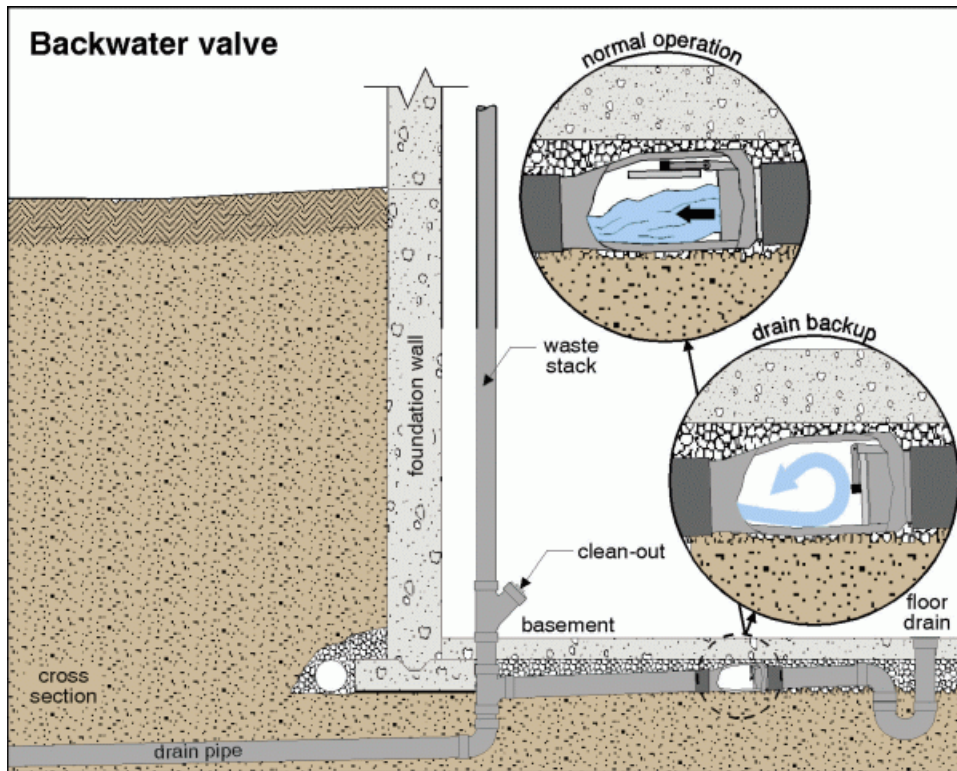
• Be mindful of the fact that all houses will go through an adjustment period with the new homeowners as it relates to plumbing use. As the home is brought up to full activity status, watch for leakage/performance issues that were not picked up at the time of inspection.

SUPPLY PIPING IN HOUSE \ 1.4

Condition: • Like all homes built today, this home features plastic supply piping in some/all areas (pex). While there was no evidence of problem at the time of inspection, Vanguard, IPEX and other manufacturers have had issues with this type of pipe and its connections. Significant class action settlements have been granted. IF concerned, consultation with a general/plumbing contractor is recommended to determine if any improvements should be made. Monitor this system along with all of the other mechanical systems within a home.

WASTE PIPING \ 2.3

Condition: • [A backwater valve alarm should be installed.](#)



INTERIOR

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Report No. 5700, v.2

www.thehomecheck.ca

IMPORTANT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Major Floor Finishes (1.0): • Hardwood/laminate

Major Floor Finishes (1.0): • [Carpet \(1.4/1.5\)](#) • [Ceramic/Quarry Tile \(1.7\)](#)

Major Wall Finishes (2.0): • [Drywall \(2.1\)](#)

Major Ceiling Finishes (3.0): • [Drywall \(3.1\)](#)

Windows (6.0): • [Casement \(6.1.2\)](#) • [Fixed \(6.1.5\)](#)

Glazing (6.2): • [Double \(6.2.2\)](#)

Exterior Doors (7.0): • [Conventional - hinged](#) • [Garage](#)

Fireplaces and Stoves (8.0): • [Fireplace – gas - factory built](#)

Limitations

Limitations: • No comment is made on cosmetic finishes during a home inspection. • Security systems, intercoms, central vacuum systems, chimney flues and elevators are not included as part of a home inspection. Carbon monoxide detectors and smoke detectors are not tested as part of a home inspection. • Limited access to cabinets and closets • Basement leakage frequency or severity cannot be predicted during a home inspection.

Limitations: • Storage/furnishings in some areas limited inspection

% of interior foundation wall not visible: • 99

Recommendations

General

• Typical minor flaws were noted on floors, walls and ceilings. These cosmetic issues reflect normal wear and tear.

DOORS - INTERIOR \ 7.0

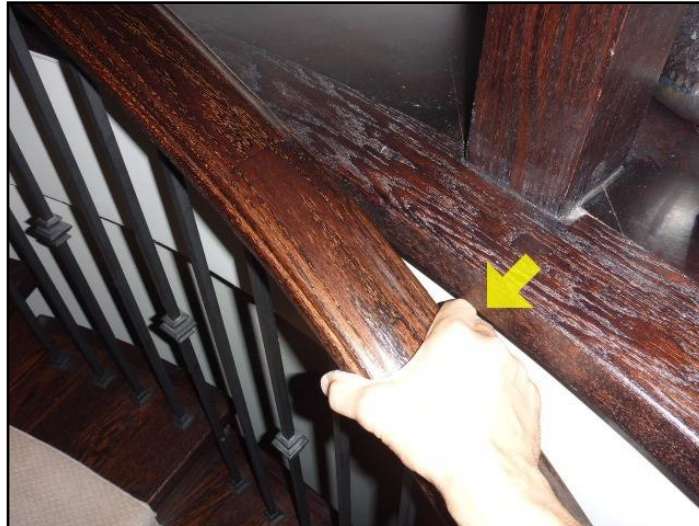
Condition: • [Hardware missing or defective](#)



Missing hardware at master bedroom door

STAIRS \ 5.0

Condition: • Pinch point at railing noted.



Pinch point noted

FIREPLACE OR WOOD STOVE \ 8.0

Condition: • A specialist should be engaged to inspect the gas fireplace prior to using the appliance. There are many manufacturers and many models of these units, with many different installation rules. We also recommend the gas fireplace be covered under a maintenance contract that includes regular service.

BASEMENT LEAKAGE POTENTIAL \ 10.0

Condition: • [Read Section 10.0 in the Interior section of the Reference tab at the end of the report or click to read](#)

Condition: • [We cannot predict the frequency or severity of basement leakage.](#)

WHAT TO DO IF YOUR BASEMENT OR CRAWLSPACE LEAKS \ 10.0

Condition: • Almost every basement (and crawlspace) leaks under the right conditions. Based on a one-time visit, it's impossible to know how often or severe leaks may be. While we look for evidence of past leakage during our inspection, this is often not a good indicator of current conditions. Exterior conditions such as poorly performing gutters and downspouts, and ground sloping down toward the house often cause basement leakage problems. Please read Section 10.0 in the text before taking any action.

To summarize, wet basement issues can be addressed in 4 steps:

1. First, ensure gutters and downspouts carry roof run-off away from the home. (relatively low cost)
2. If problems persist, slope the ground (including walks, patios and driveways) to direct water away from the home. (Low cost if done by homeowner. Higher cost if done by contractor or if driveways, patios and expensive landscaping are disturbed.)
3. If the problem is not resolved and the foundation is poured concrete, seal any leaking cracks and form-tie holes from the inside. (A typical cost is \$300 to \$600 per crack or hole.)

INTERIOR

75 York View Dr, Toronto, ON August 18, 2019

Report No. 5700, v.2

www.thehomecheck.ca

IMPORTANT

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

4. As a last resort, dampproof the exterior of the foundation, provide a drainage membrane and add/repair perimeter drainage tile. (High cost)

SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS \ Good advice for homeowners

Condition: • Purchase and install new smoke and carbon monoxide detectors after taking possession.

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS