



# YOUR INSPECTION REPORT

*KNOW YOUR HOME*

PREPARED BY:  
ADAM HANNAN



FOR THE PROPERTY AT:  
30 Edwalter Ave  
Toronto, ON

PREPARED FOR:  
JENNIFER PERCIVAL

INSPECTION DATE:  
Friday, April 21, 2017

## TIP

THE  
INSPECTION  
PROFESSIONALS

THE INSPECTION PROFESSIONALS, INC.  
3120 Rutherford Rd.  
Concord, ON L4K 0B2

416-725-5568  
HST# 89249 4501 RT0001

[www.inspectionpros.ca](http://www.inspectionpros.ca)  
[adam@inspectionpros.ca](mailto:adam@inspectionpros.ca)



April 22, 2017

Dear Jennifer Percival,

RE: Report No. 2108  
30 Edwalter Ave  
Toronto, ON

Thank you for choosing The Inspection Professionals to perform your Home Inspection.

The Inspection Professionals (TIP) (formerly known as Safety First Home Inspection) is a Full-Time Professional, Certified multi-inspector company founded by Adam Hannan. Since 2006, Adam has been an expert in the inspection field and has performed thousands of inspections. Adam has been teaching home inspection courses at both the College and University level since 2009.

Adam is a member of the Ontario Association of Home Inspectors and International Association of Certified Home Inspectors.

"We inspect every home as if we were buying it for ourselves. We care about our clients and we strive to exceed expectations. We offer a professional unbiased opinion of the current performance of the home regardless of who we are working for."

-Adam

BUYERS -

An Onsite Review is an essential component to a complete home inspection. In order to more thoroughly familiarize yourself with the property and our findings, please book an Onsite Review at your convenience by calling (416) 725-5568. Once we have completed the Onsite Review, we will transfer the inspection report to the buyer.

The fee for this service is only \$249. (A minimum savings of \$175)

Sincerely,

ADAM HANNAN  
on behalf of  
THE INSPECTION PROFESSIONALS, INC.

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## INVOICE

April 22, 2017

Client: Jennifer Percival

Report No. 2108  
For inspection at:  
30 Edwalter Ave  
Toronto, ON

on: Friday, April 21, 2017

Seller's Inspection. Less than 2000 Sq.ft.

\$395.00

HST

\$51.35

Total

\$446.35

PAID IN FULL - THANK YOU!

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# AGREEMENT

30 Edwalter Ave, Toronto, ON April 21, 2017

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## PARTIES TO THE AGREEMENT

### Company

THE INSPECTION  
PROFESSIONALS, INC.  
3120 Rutherford Rd.  
Concord, ON L4K 0B2

### Client

Jennifer Percival

This is an agreement between Jennifer Percival and THE INSPECTION PROFESSIONALS, INC..

## PLEASE READ CAREFULLY BEFORE SIGNING.

The Inspection of this property is subject to the Limitations and Conditions set out in this Agreement. It is based on a visual examination of the readily accessible features of the building. The Inspection is performed in accordance with the Standards of Practice of the Ontario Association of Home Inspectors. A copy of these Standards is available at <http://www.oahi.com/webdocs/StandardsofPractice-OAHI-Rev.pdf>

The Home Inspector's report is an opinion of the present condition of the property. The Inspection and report are not a guarantee, warranty or an insurance policy with regards to the property. A Home Inspector cannot predict future deficiencies, intermittent problems or future water leakage.

PLEASE READ THE FOLLOWING PARAGRAPH: Due to the unpredictable nature of basement water leakage, a home inspector cannot predict future basement leakage. Almost all basements will leak at some point so there is a very good chance that it will happen. Basement leakage can occur for any number of reasons - Rainfall, sewer backup, high water tables, lot grading, clogged weeping tiles, gutter and downspout performance, just to name a few. The home inspector and The Inspection Professionals accepts no responsibility or liability for future basement water problems.

The inspection report is for the exclusive use of the client named above. No use of the information by any other party is intended.

## LIMITATIONS AND CONDITIONS OF THE HOME INSPECTION

These Limitations and Conditions explain the scope of your Home Inspection. Please read them carefully before signing this Agreement.

The purpose of your Home Inspection is to evaluate the general condition of a property. This includes determining whether systems are still performing their intended functions.

There are limitations to the scope of this Inspection. It provides a general overview of the more obvious repairs that may be needed. It is not intended to be an exhaustive list. The ultimate decision of what to repair or replace is yours. One homeowner may decide that certain conditions require repair or replacement, while another will not.

1. The Home Inspection provides you with a basic overview of the condition of the property. Because your Home Inspector has only a limited amount of time to go through the property, the Inspection is not technically exhaustive. If you have concerns about any of the conditions noted, please consult the text that is referenced in the report.

Some conditions noted, such as foundation cracks or other signs of settling in a house, may either be cosmetic or may

indicate a potential structural problem that is beyond the scope of the Home Inspection.

If you are concerned about any conditions noted in the report, we strongly recommend that you consult a qualified licensed contractor or engineering specialist. These professionals can provide a more detailed analysis of any conditions noted in the report at an additional cost.

2. A Home Inspection does not include identifying defects that are hidden behind walls, floors or ceilings. This includes wiring, structure, plumbing and insulation that is hidden or inaccessible.

Some intermittent conditions may not be obvious on a Home Inspection because they only happen under certain circumstances. As an example, your Home Inspector may not discover leaks that occur only during certain weather conditions or when a specific tap or appliance is being used in everyday life.

Home Inspectors will not find conditions that may only be visible when storage or furniture is moved. Inspectors do not remove wall coverings, including wallpaper, or lift flooring, including carpet to look underneath.

A Home Inspection is a sampling exercise with respect to house components that are numerous, such as bricks, windows and electrical receptacles. As a result, some conditions that are visible may go un-reported.

3. The Inspection does not include hazardous materials that may be in or behind the walls, floors or ceilings of the property, whether visible or not. This includes building materials that are now suspected of posing a risk to health such as phenol-formaldehyde and urea-formaldehyde based products, fiberglass insulation and vermiculite insulation. The Inspector does not identify asbestos roofing, siding, wall, ceiling or floor finishes, insulation or fire proofing. We do not look for lead or other toxic metals in such things as pipes, paint or window coverings.

The Inspection does not deal with environmental hazards such as the past use of insecticides, fungicides, herbicide's or pesticides. The Inspector does not look for, or comment on, the past use of chemical termite treatments in or around the property.

4. We are not responsible for and do not comment on the quality of air in a building. The Inspector does not try to determine if there are irritants, pollutants, contaminants, or toxic materials in or around the building. The Inspection does not include spores, fungus, mold or mildew including that which may be concealed behind walls or under floors, for example. You should note that whenever there is water damage, there is a possibility that visible or concealed mold or mildew may be present unseen behind a wall, floor or ceiling.

If anyone in the home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens.

5. Your Home Inspector does not look for, and is not responsible for, fuel oil, septic or gasoline tanks that may be buried on the property.

If fuel oil or other storage tanks remain on the property, you may be responsible for their removal and the safe disposal of any contaminated soil. If you suspect there is a buried tank, we strongly recommend that you retain a qualified Environmental Consultant to determine whether this is a potential problem.

6. We will have no liability for any claim or complaint if conditions have been disturbed, altered, repaired, replaced, or

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otherwise changed before we have had a reasonable period of time to investigate.

The liability of the Home Inspector (and the Home Inspection Company) arising out of this Inspection and Report, for any cause of action whatsoever, whether in contract or in negligence, is limited to a refund of the fees that you have been charged for this inspection.

**I, Jennifer Percival (Signature)**\_\_\_\_\_, **(Date)**\_\_\_\_\_, **have read, understood and accepted the terms of this agreement.**

# SUMMARY

30 Edwalter Ave, Toronto, ON April 21, 2017

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

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This Summary outlines some of the potentially short-term significant issues from a cost standpoint. This section is provided as a COURTESY ONLY and cannot be considered a substitute for reading the entire report. Please read the complete document.

It is not possible for a home inspector to predict the future. It would be advisable to annually budget between 0.5% to 1% of the value of the home for unforeseen repairs and maintenance. This would hold true for any house that you were considering.

Things will wear out, break down, and fail without warning. This is a fact of home ownership.

NOTE: ALL ELECTRICAL ISSUES ARE CONSIDERED PRIORITY ITEMS

NOTE: FOR BALLPARK COSTS THE TERM 'MINOR' REFERS TO COSTS UNDER \$500

NOTE: FOR DIRECTIONAL PURPOSES USED THROUGHOUT THE REPORT, THE "FRONT" OF THE HOUSE IS REFERENCED AS FACING THE FRONT DOOR FROM THE EXTERIOR.

For Ballpark costs of various home components, please click here:

<http://www.inspectionlibrary.com/costs.htm>

## Electrical

### DISTRIBUTION SYSTEM \ Outlets (receptacles)

**Condition:** • Ungrounded Wiring - We noted ungrounded outlets in some areas of the home. This is typical with homes of this era, as conductors did not include a ground wire. For purposes of occupant safety, it is recommended to upgrade ungrounded circuits with GFCI protection. For usage with electronic equipment such as computers, true grounding is recommended. Also, we recommend that you consult with your insurance company for their requirements.

## Heating

### GAS FURNACE \ Mid- and high-efficiency gas furnace

**Condition:** • [Condensate problems](#)

Condensate leak noted. Service by HVAC technician required. Have HVAC technician check heat exchanger for corrosion.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Reduced system life expectancy

**Location:** Basement Furnace

**Task:** Service

**Time:** As Soon As Possible



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## Cooling & Heat Pump

### AIR CONDITIONING \ Life expectancy

**Condition:** • [Old](#)

Typical life expectancy for a/c units are 10-15 years. The current unit is beyond its life expectancy. Test function in the Spring. Plan for replacement

**Implication(s):** Equipment failure | Reduced comfort

**Location:** Exterior

**Task:** Replace

**Time:** When necessary / Unpredictable

**Cost:** \$3,000 - and up

## Interior

### CEILINGS \ General

**Condition:** • [Water damage](#)

Water damage noted at ceiling and wall. Tested with moisture meter and was wet. This area is below abandoned chimney. Repair flashing and caulking at chimney and check that gutter is draining properly into lower gutter. Also ensure top of abandoned chimney is properly sealed

**Implication(s):** Chance of movement

**Location:** Addition Bedroom

**Task:** Repair water source first before repairing ceiling and walls

**Time:** Immediate

**Cost:** Consult with contractor

### BASEMENT \ Wet basement - evidence

**Condition:** • [Dampness on floor or walls](#)

Water Stains and dampness were found at multiple areas of the front, left and right basement. Troubleshooting all the sources is outside the scope of the inspection. Consult with a professional contractor to troubleshoot all water dampness. Pictures show only a sampling.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Material deterioration

**Location:** Various Front, Left and Right Basement

**Task:** Correct

**Time:** Less than 1 year

**Cost:** Depends on work needed. Thousands if dampproofing is required.

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

<http://www.inspectionlibrary.com/wtgw.htm>



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## Descriptions

**Sloped roofing material:** • [Asphalt shingles](#)

## Inspection Methods and Limitations

**Inspection performed:** • Through Window - Limited View

**Inspection performed:** • With binoculars from the ground

## Observations and Recommendations

### SLOPED ROOF FLASHINGS \ Chimney flashings

**Condition:** • [Damage, loose, open seams, patched](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Exterior Roof

**Task:** Repair

**Time:** Regular maintenance

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## Descriptions

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout discharge: • [Above grade](#)

Lot slope: • [Away from building](#) • [Flat](#)

Wall surfaces - masonry: • [Brick](#)

Wall surfaces and trim: • [Metal siding](#)

## Inspection Methods and Limitations

Upper floors inspected from: • Ground level

## Observations and Recommendations

### ROOF DRAINAGE \ Downspouts

Condition: • [Should discharge 6 feet from building](#)

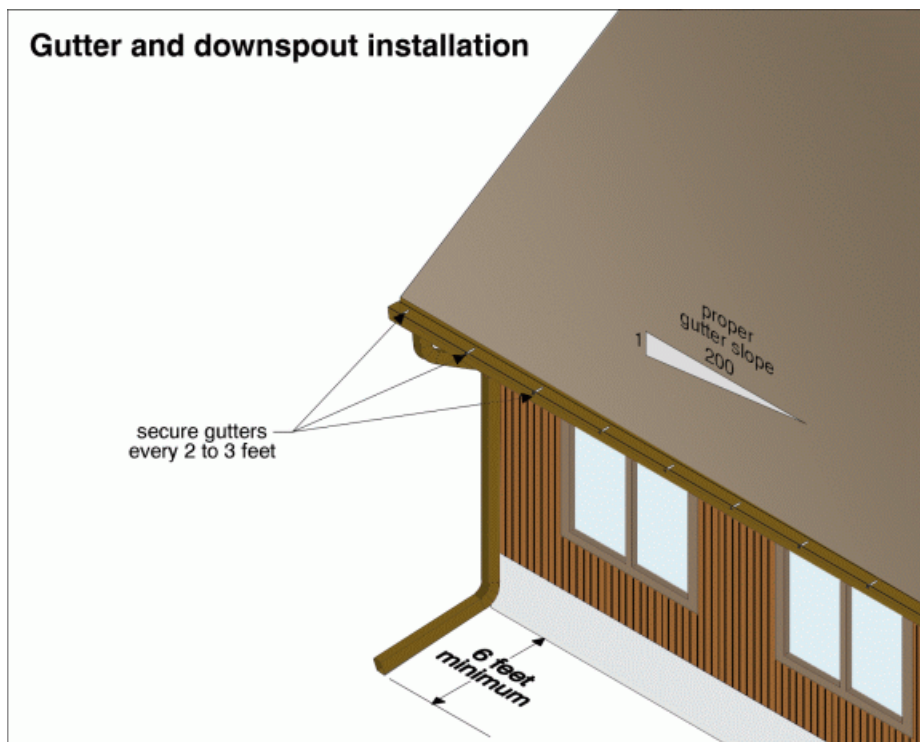
Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout Exterior

Task: Improve

Time: Less than 1 year

Cost: Minor



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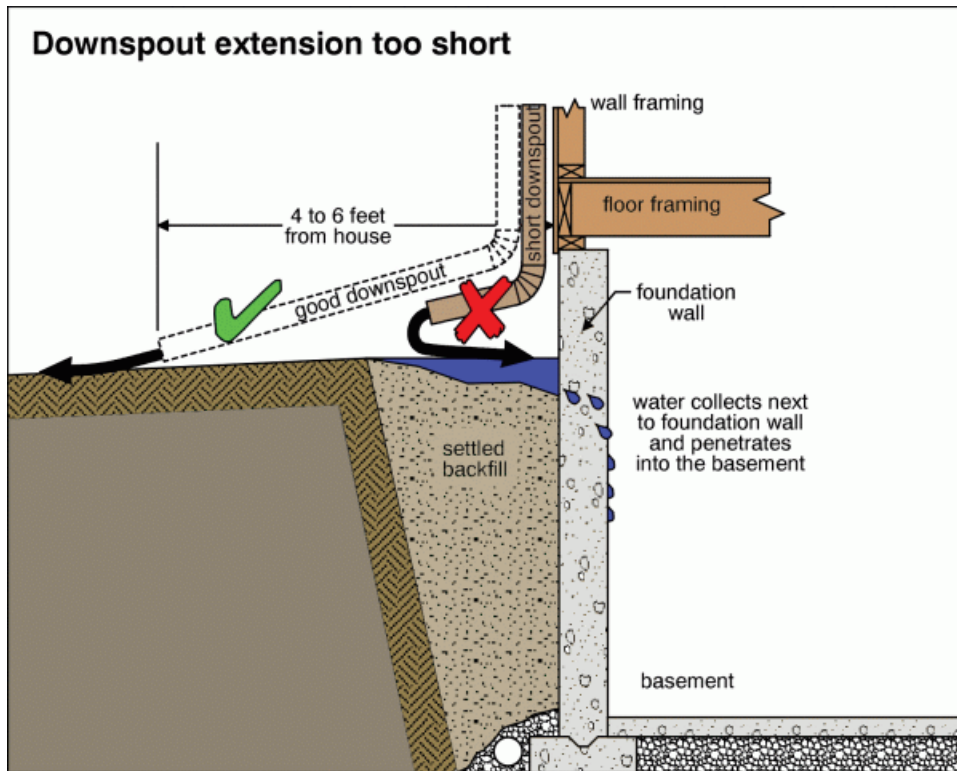
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1. Should discharge 6 feet from building



2. Should discharge 6 feet from building

## **WALLS \ Flashings and caulking**

**Condition:** • [Caulking missing or ineffective](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Exterior Wall

**Task:** Improve

**Time:** Regular maintenance



3. Caulking missing or ineffective

## WALLS \ Brick, stone and concrete

### **Condition:** • [Mortar deterioration](#)

Tuck Pointing (Re-pointing) is a common maintenance item with all older brick homes.

Provide mortar (Repointing, Tuck pointing) at various wall locations.

- Soft mortar (minimum \$500) \$3.00-\$6.00 per sq. ft.
- Hard mortar (minimum \$500) \$5.00-\$10.00 per sq. ft.

**Implication(s):** Chance of water entering building | Weakened structure | Chance of structural movement

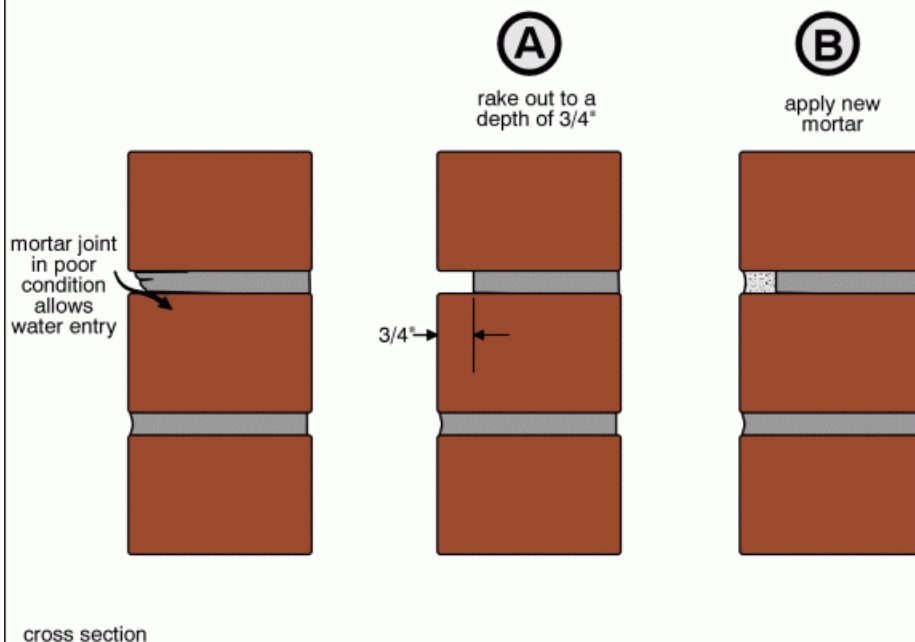
**Location:** Front Exterior Wall

**Task:** Repair

**Time:** Less than 1 year

**Cost:** Regular maintenance item

## Repointing





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4. Mortar deterioration

**Condition:** • [Parging damaged or missing](#)

Moisture noted in basement adjacent to this area.

**Implication(s):** Chance of damage to structure | Shortened life expectancy of material

**Location:** Right Side Exterior Wall

**Task:** Patch Window Sill

**Time:** Less than 1 year

**Cost:** Minor



5. Parging damaged or missing

## EXTERIOR GLASS/WINDOWS \ Exterior trim

**Condition:** • [Caulking loose, missing or deteriorated](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Increased heating and cooling costs

**Location:** Front Exterior Window

**Task:** Repair

**Time:** Regular maintenance

**Cost:** Regular maintenance item

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6. Caulking loose, missing or deteriorated

7. Caulking loose, missing or deteriorated

**Condition:** • [Sills with reverse slope](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Material deterioration

**Location:** Front Exterior

**Task:** Repair or replace

**Time:** Less than 1 year

## EXTERIOR GLASS/WINDOWS \ Window wells

**Condition:** • Window sill is at or below grade.

**Location:** Throughout Exterior

**Task:** Improve

**Time:** As Required

**Cost:** Depends on approach

**Condition:** • [Missing](#)

Sill - less than 15 cm / 6 inches above finished grade level. This is very common in homes of this age.

Modern standards require a 6 to 8 inch threshold below basement windows (6 inches above finished grade level)

Window wells help manage the water in areas where windows are at or below grade. A properly installed window well will help prevent water entry / damage to windows and structure. If leakage is noted, a correctly installed window well is recommended. In the meantime, you may consider adding clear window covers to manage the water in this area.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Material deterioration

**Location:** Throughout Exterior

**Task:** Provide Window well

**Time:** As Needed / If Necessary

**Cost:** \$1,000 - \$2,000

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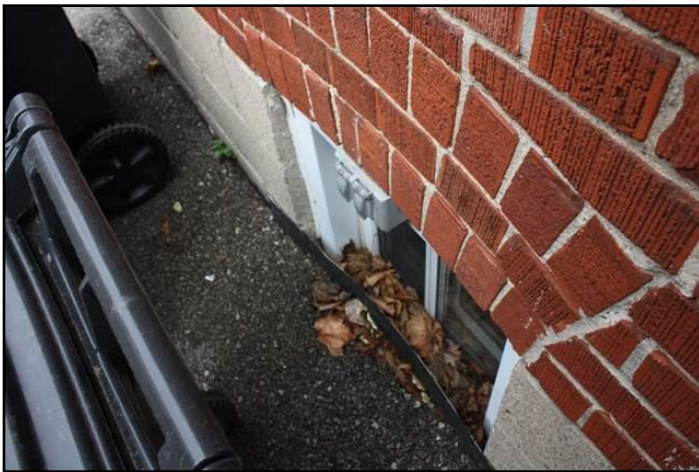
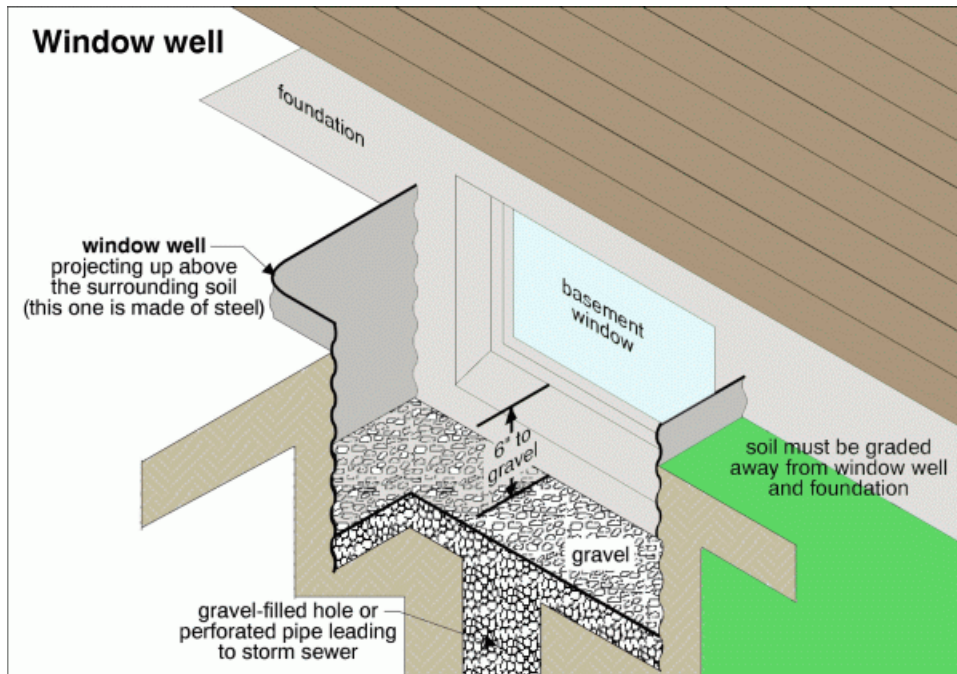
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8. Missing



9. Missing

## DOORS \ Exterior trim

Condition: • [Sill too low](#)

Threshold less than 6-inch step up from outside. click on blue link to read more information.

Implication(s): Chance of damage to finishes and structure

Location: Exterior

Task: Monitor / Improve

Time: As Needed



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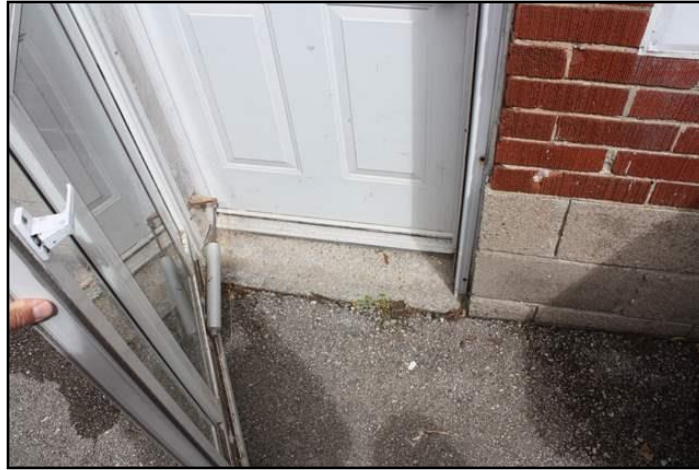
COOLING

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10. Sill too low

## PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Handrails and guards

**Condition:** • [Too low](#)

Below modern standards

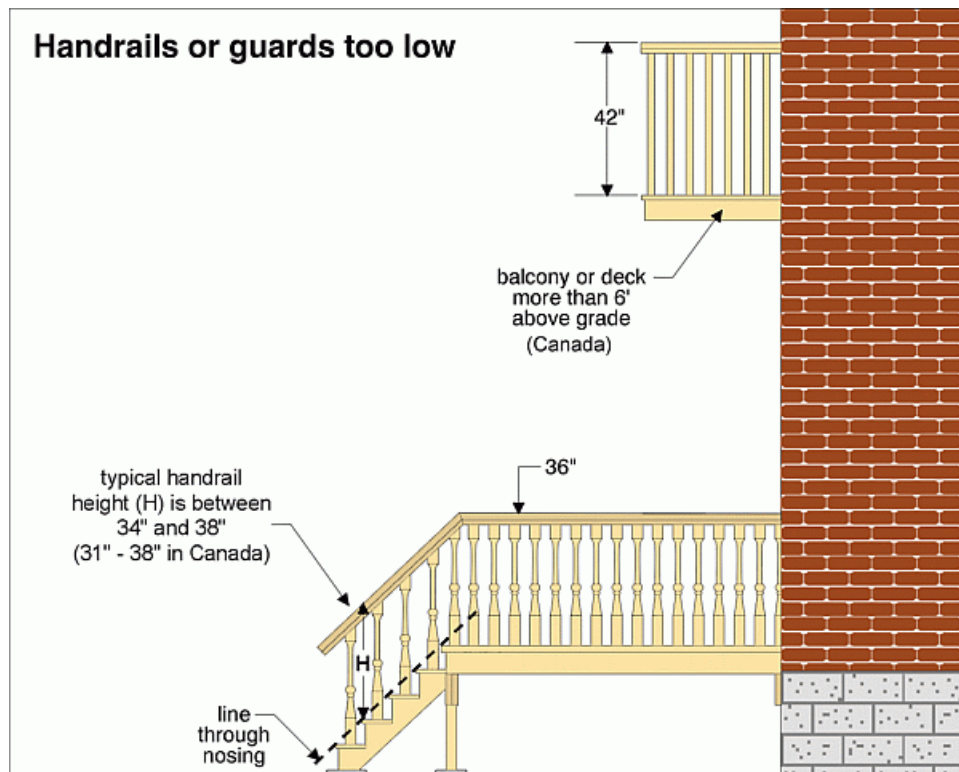
**Implication(s):** Fall hazard

**Location:** Front Exterior

**Task:** Upgrade

**Time:** Discretionary

**Cost:** Minor



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11. Too low

## LANDSCAPING \ Lot grading

**Condition:** • During rainfall, walk the exterior to view if any water is draining towards the home. Improve these areas as needed

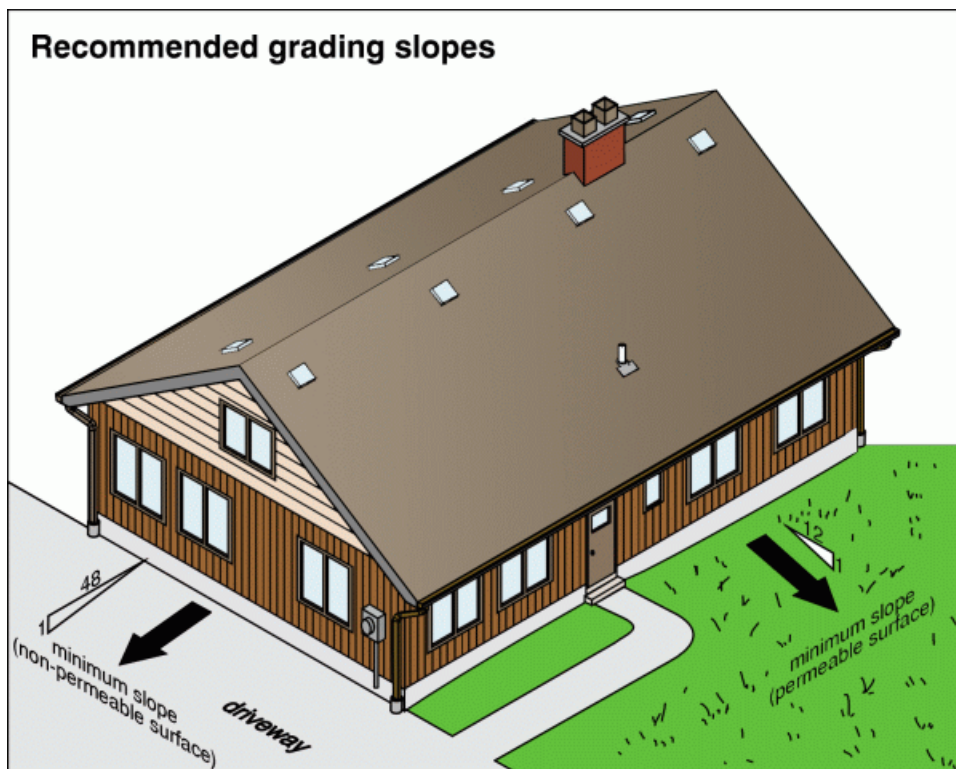
**Condition:** • [Improper slope or drainage](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Rear Exterior

**Task:** Correct

**Time:** Less than 1 year



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12. *Improper slope or drainage*

## Descriptions

**Configuration:** • [Basement](#)

**Foundation material:** • [Masonry block](#)

**Floor construction:** • [Joists](#)

**Exterior wall construction:** • [Masonry](#)

**Roof and ceiling framing:** • Rafters/ceiling joists

## Inspection Methods and Limitations

**Inspection limited/prevented by:** • Wall, floor and ceiling coverings • Storage • Insulation

**Attic/roof space:** • Inspected from access hatch

## Observations and Recommendations

### FOUNDATIONS \ Foundation

**Condition:** • Typical minor cracks

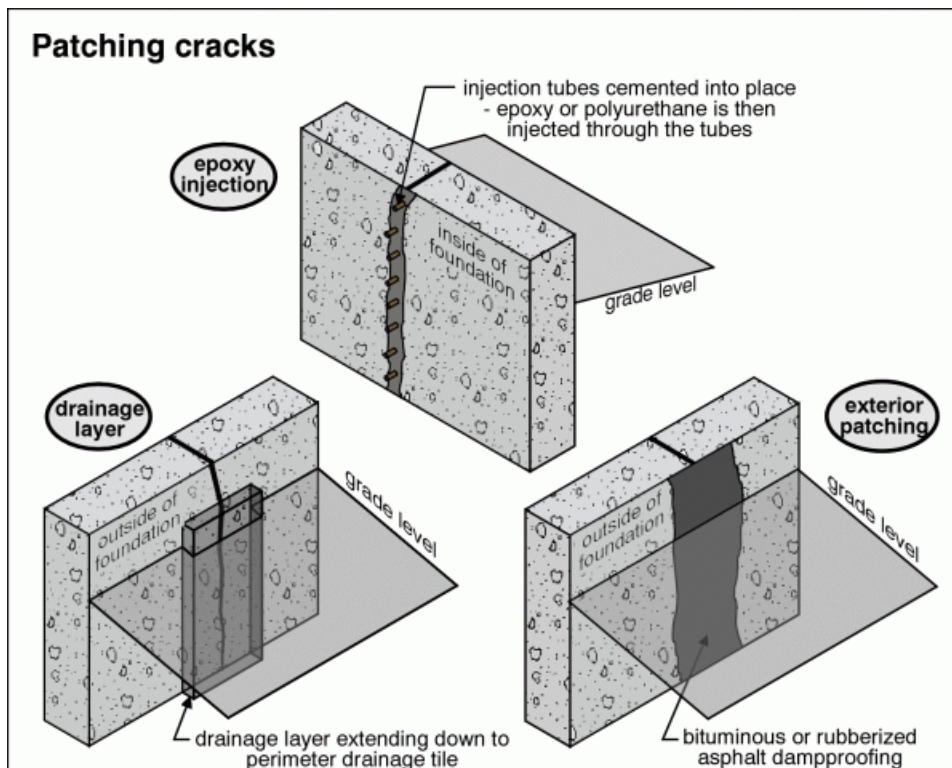
Almost all houses with concrete foundations have minor settlement cracks. Monitor all cracks for movement and nuisance water leakage. Repair cracks only if necessary

**Implication(s):** Chance of water entering building

**Location:** Various Exterior Wall

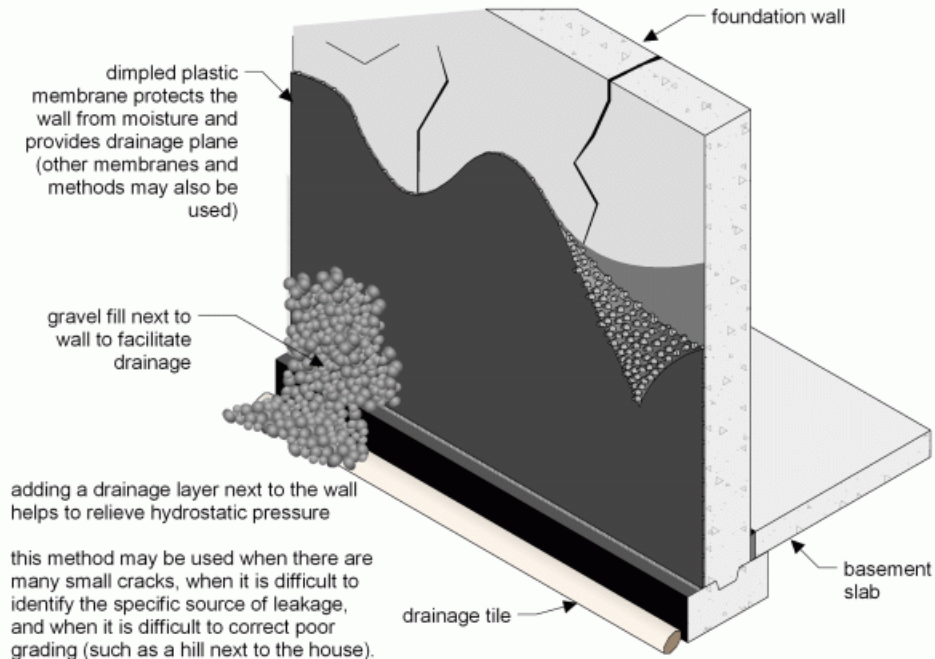
**Task:** Monitor / Repair

**Time:** ongoing / if necessary

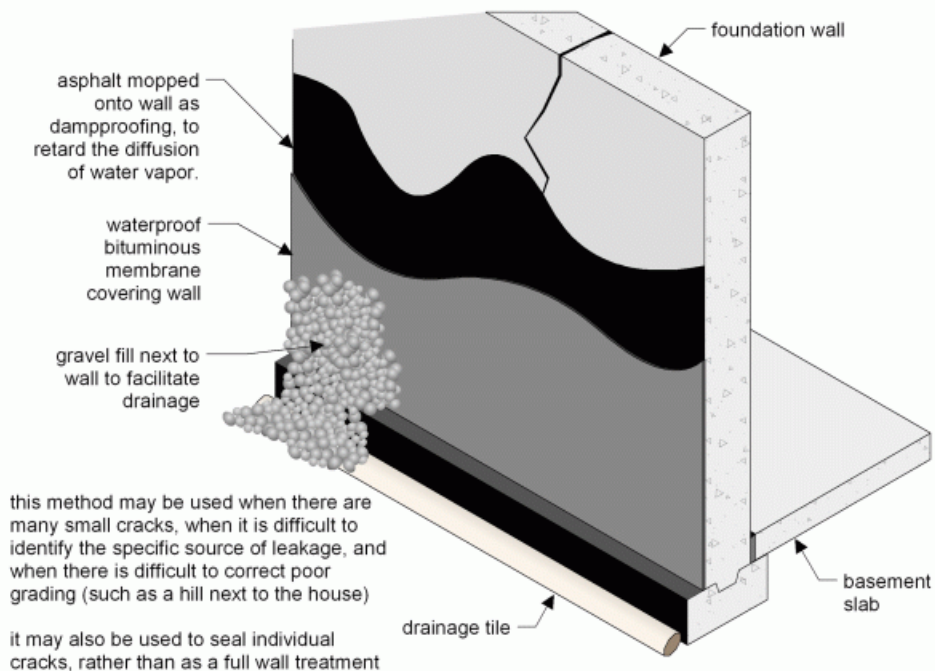




## Crack repair - drainage layer



## Crack repair - exterior patching



# STRUCTURE

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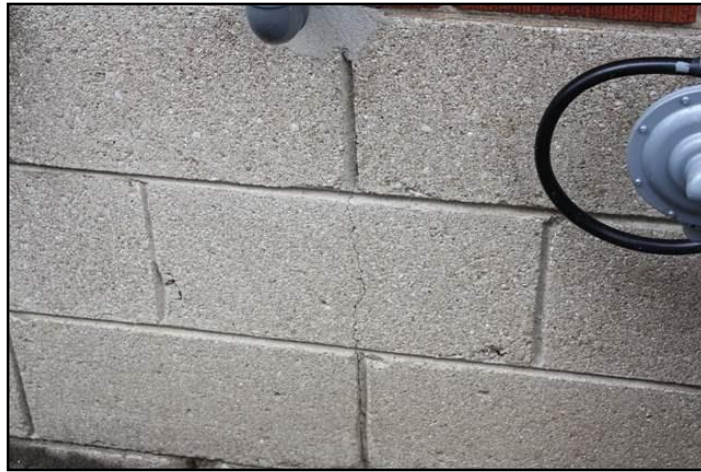
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13. *Example of typical minor cracks*

## Descriptions

**Service entrance cable and location:** • [Overhead - cable type not determined](#)

**Service size:** • [100 Amps \(240 Volts\)](#)

**Main disconnect/service box type and location:** • [Fuses - basement](#)

**Distribution panel rating:** • [100 Amps](#)

**Distribution panel type and location:** • [Breakers - basement](#)

**Distribution wire material and type:** • [Copper - non-metallic sheathed](#) • [Copper - metallic sheathed](#)

**Type and number of outlets (receptacles):** • [Grounded and ungrounded - typical](#)

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • No GFCI

**Smoke detectors:** • Provide new

## Inspection Methods and Limitations

**System ground:** • Quality of ground not determined

## Observations and Recommendations

### SERVICE BOX, GROUNDING AND PANEL \ Service box

**Condition:** • [Unprotected openings](#)

**Implication(s):** Electric shock

**Location:** Basement

**Task:** Correct

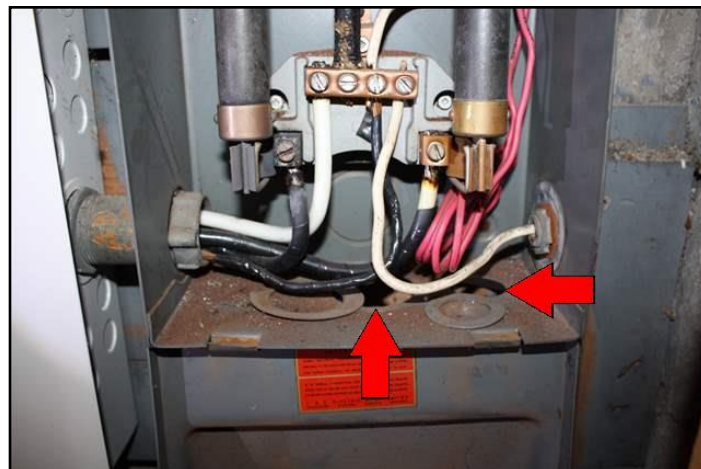
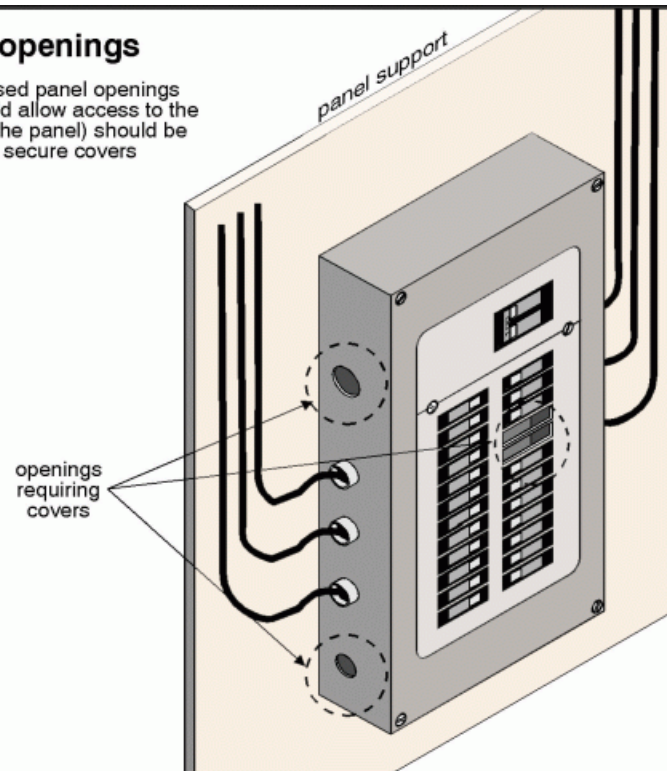
**Time:** Immediate

**Cost:** Minor



## Panel openings

any exposed panel openings (that would allow access to the inside of the panel) should be fitted with secure covers



14. Unprotected openings

### SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers

**Condition:** • [Double taps](#)

**Implication(s):** Fire hazard

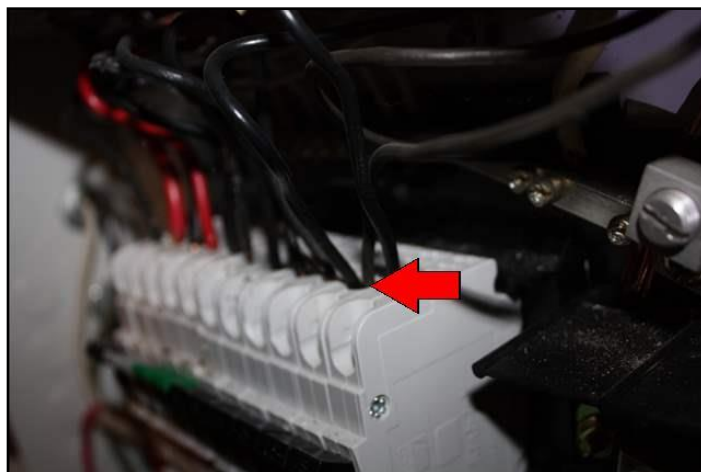
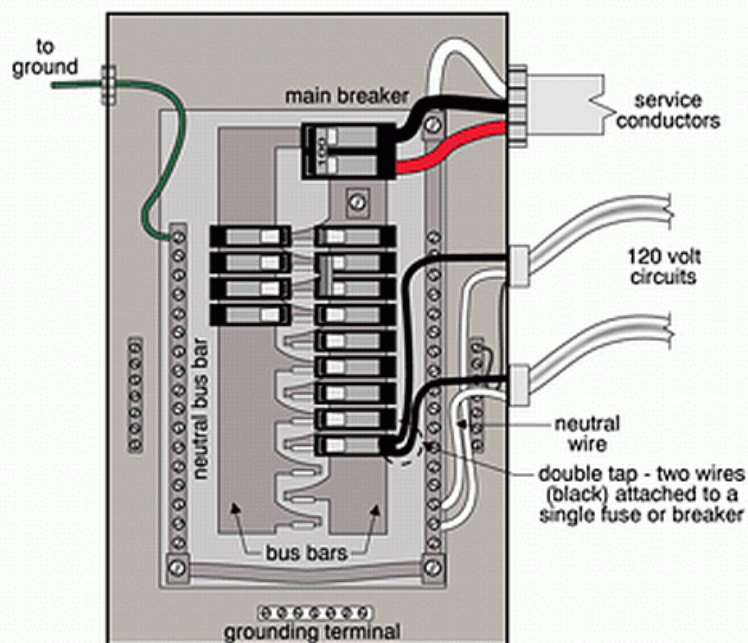
**Location:** Basement Panel

**Task:** Correct

**Time:** Immediate

**Cost:** Minor

## Double tapping (double lugging)



15. Double taps

### DISTRIBUTION SYSTEM \ Wiring - installation

**Condition:** • [Not well secured](#)

**Implication(s):** Electric shock | Fire hazard

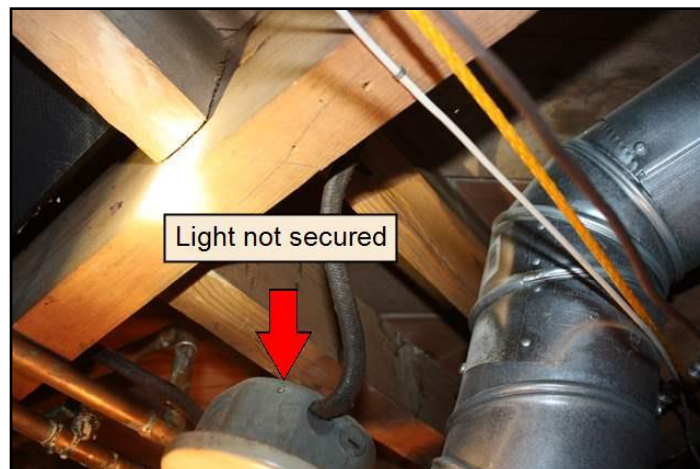
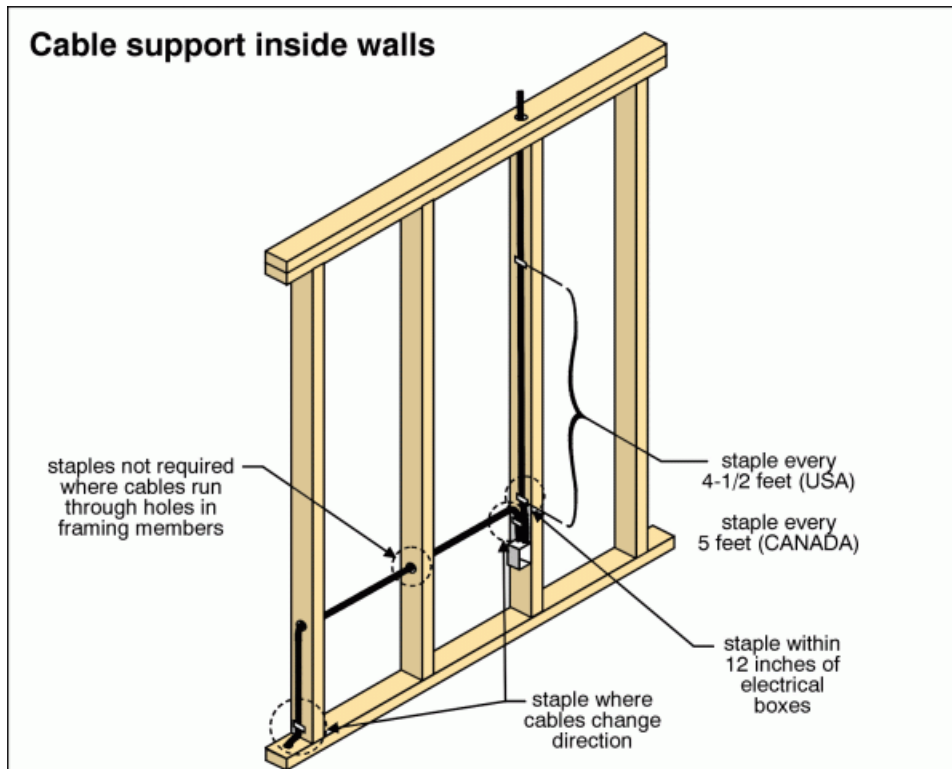
**Location:** Basement Furnace Room

**Task:** Correct

**Time:** As Soon As Possible

**Cost:** Minor

## Cable support inside walls



16. Not well secured

## DISTRIBUTION SYSTEM \ Outlets (receptacles)

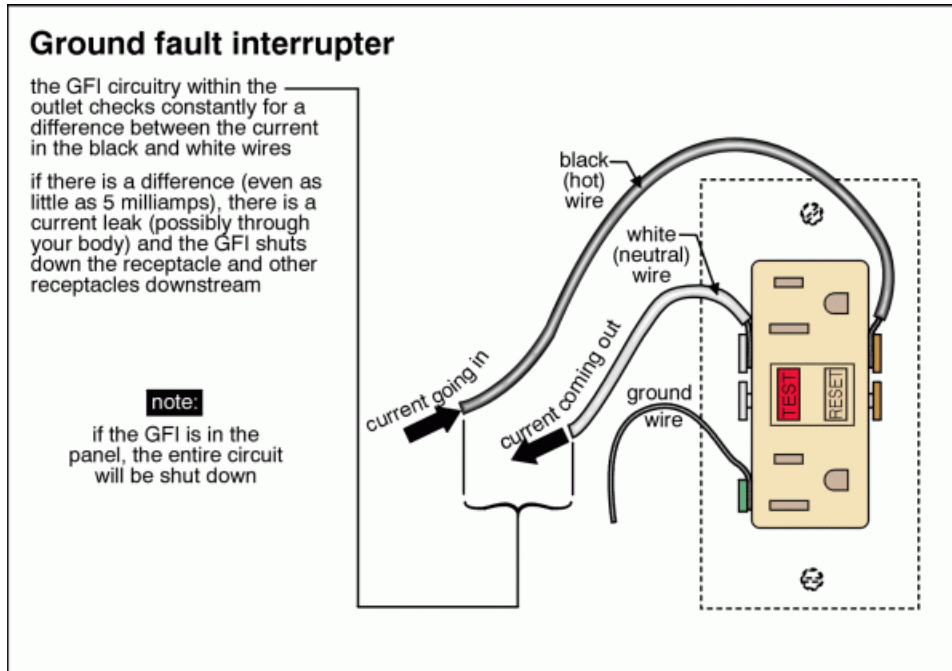
**Condition:** • Ungrounded Wiring - We noted ungrounded outlets in some areas of the home. This is typical with homes of this era, as conductors did not include a ground wire. For purposes of occupant safety, it is recommended to upgrade ungrounded circuits with GFCI protection. For usage with electronic equipment such as computers, true grounding is recommended. Also, we recommend that you consult with your insurance company for their requirements.

## **Condition:** • [GFCI/GFI needed \(Ground Fault Circuit Interrupter\)](#)

Adding Ground Fault Interrupters (GFIs) is a cost effective safety improvement to existing homes. At a cost of roughly \$100 each, installed, they provide enhanced protection against electric shock and are required near wet areas (e.g. outdoors, garages, kitchens - especially near the sink, bathrooms) and where appliances with 3-prong plugs are used.

GFI's may be either special circuit breakers or special wall outlets (receptacles). Either one protects all downstream outlets on that circuit.

**Implication(s):** Electric shock



## DISTRIBUTION SYSTEM \ Smoke detectors

**Condition:** • Smoke and carbon monoxide (CO) detectors should be provided at every floor level of every home. Smoke detectors should be close to sleeping areas, and carbon monoxide detectors should be in any room with a wood-burning stove or fireplace. These devices are not tested as part of a home inspection. Once you take possession of the home, detectors should be tested regularly, and replaced every 10 years. If unsure of the age of a smoke detector, it should be replaced. Smoke detector batteries should be replaced annually.

# HEATING

30 Edwalter Ave, Toronto, ON April 21, 2017

Report No. 2108

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

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## Descriptions

**System type:** • [Furnace](#)

**Fuel/energy source:** • [Gas](#)

**Heat distribution:** • [Ducts and registers](#)

**Approximate capacity:** • [80,000 BTU/hr](#)

**Efficiency:** • [High-efficiency](#)

**Approximate age:** • [13 years](#)

**Typical life expectancy:** • Furnace (high efficiency) 15 to 20 years

**Auxiliary heat:** • [Electric baseboard heater](#)

## Inspection Methods and Limitations

**Safety devices:** • Not tested as part of a building inspection

**Heat loss calculations:** • Not done as part of a building inspection

**Heat exchanger:** • Not visible

## Observations and Recommendations

### General

• A home inspection cannot determine if the heat exchanger is damaged because the heat exchanger is not visible without removal of furnace components. Have HVAC licensed technician inspect the furnace prior to first use and annually.

### GAS FURNACE \ Mid- and high-efficiency gas furnace

**Condition:** • [Condensate problems](#)

Condensate leak noted. Service by HVAC technician required. Have HVAC technician check heat exchanger for corrosion.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Reduced system life expectancy

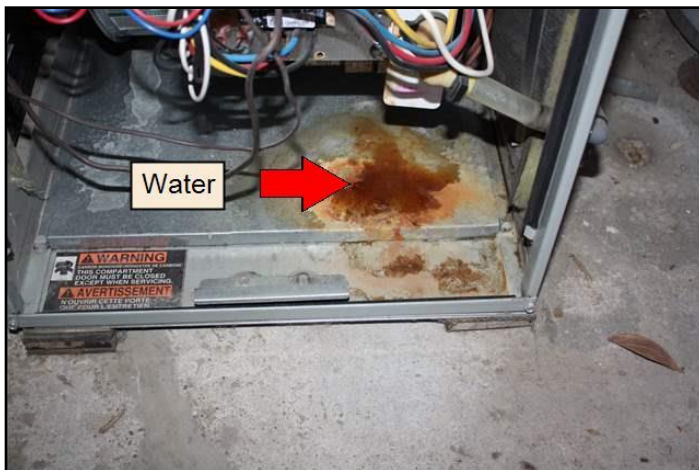
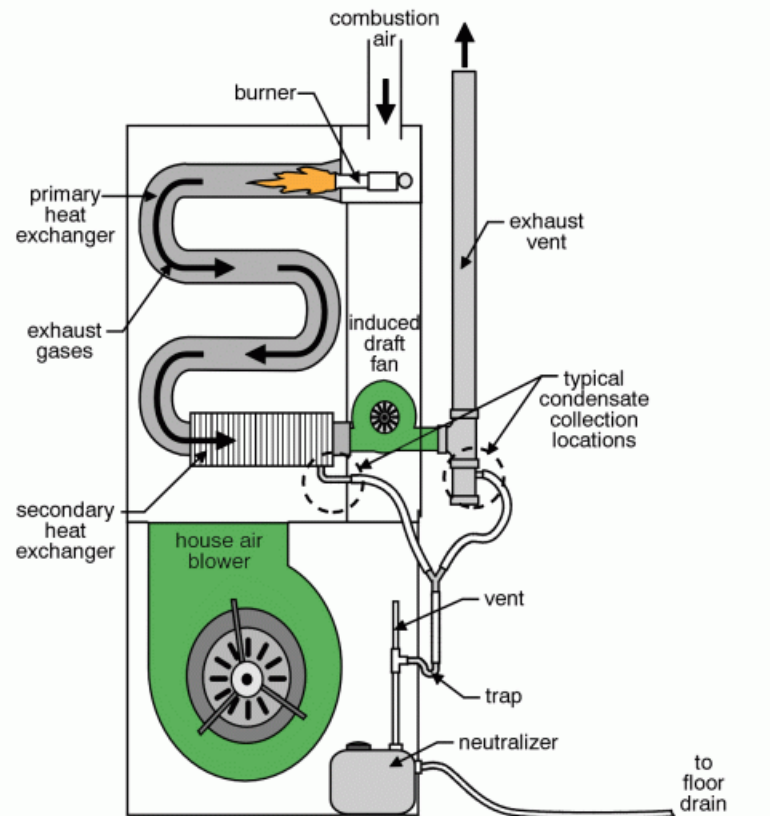
**Location:** Basement Furnace

**Task:** Service

**Time:** As Soon As Possible



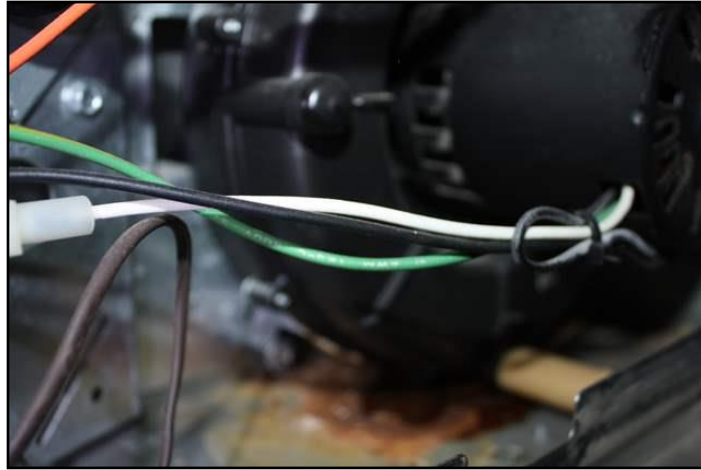
## Condensation in high efficiency furnaces



17. Condensate problems



18. Condensate problems



19. Condensate problems

**SPACE HEATER \ Electric baseboard heater/space heater**

**Condition:** • [Inoperative heaters](#)

**Implication(s):** No heat for building

**Location:** Front Basement

**Task:** Replace

**Time:** When Required

**CHIMNEY AND VENT \ Inspect/sweep chimney**

**Condition:** • Creosote build-up

**Implication(s):** Fire hazard

**Location:** Basement

**Task:** Clean

**Time:** Prior to first use

**CHIMNEY AND VENT \ Masonry chimney**

**Condition:** • [Loose, missing or deteriorated masonry](#)

**Implication(s):** Material deterioration

**Location:** Exterior Chimney

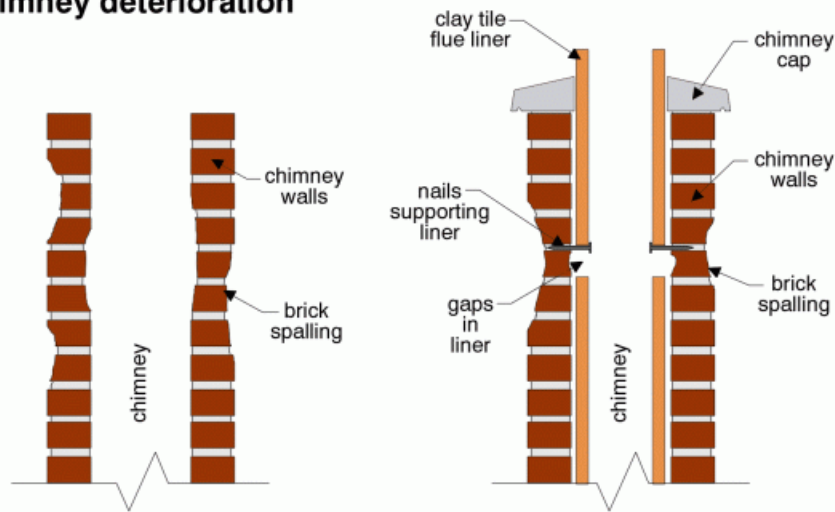
**Task:** Repair

**Time:** Less than 1 year

**Cost:** Check with masonry specialist



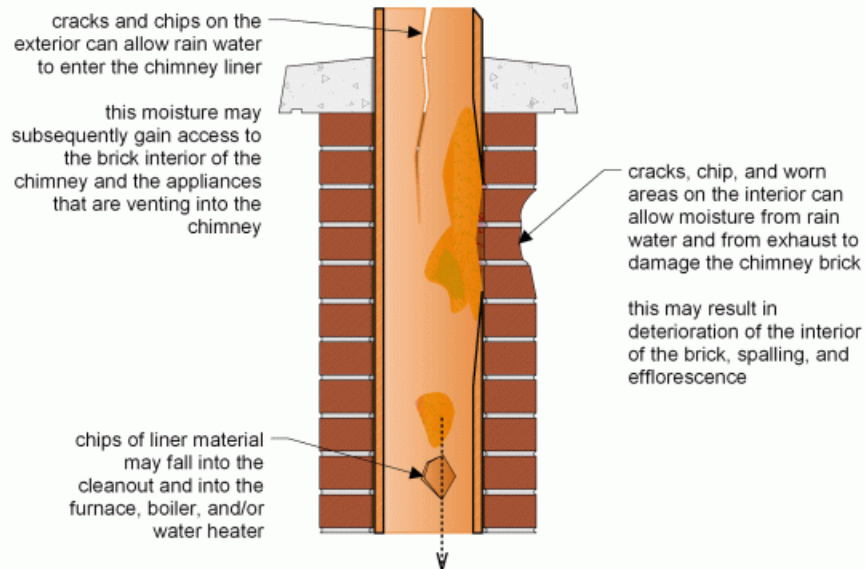
## Chimney deterioration



unlined chimneys are particularly prone to damage caused by condensation of flue gases - the damage tends to be worse near the top of the chimney

even lined chimneys can suffer from condensation related brick damage

## Deteriorated clay chimney liner



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20. Loose, missing or deteriorated masonry



21. Loose, missing or deteriorated masonry

## FIREPLACE \ General

**Condition:** • Fireplace, flue and chimney should be inspected and swept as needed by a WETT certified technician and any recommended repairs completed before the fireplace is used. (WETT - Wood Energy Technology Transfer Inc. is a non-profit training and education association.) See [www.wettinc.ca](http://www.wettinc.ca).

**Location:** Basement

**Task:** Service

**Time:** Prior to first use

## FIREPLACE \ Fireplace face or breast

**Condition:** • [Evidence of overheating](#)

**Implication(s):** Fire hazard

**Location:** Basement Fireplace

**Task:** Further evaluation

**Time:** Prior to first use

**Cost:** Consult with specialist



22. Evidence of overheating

**Condition:** • [Cracked](#)

**Implication(s):** Weakened structure | Chance of structural movement

# HEATING

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**Location:** Basement Fireplace

**Task:** Repair

**Time:** Prior to first use

**Cost:** Consult with Specialist



23. Cracked

# COOLING & HEAT PUMP

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## Descriptions

**Air conditioning type:** • [Air cooled](#)

**Compressor approximate age:** • Old

**Typical life expectancy:** • 10 to 15 years

## Inspection Methods and Limitations

**Inspection limited/prevented by:** • To reduce risk of damaging the compressor, air conditioning systems are not tested until they have been started up for the season.

**Inspection limited/prevented by:** • Low outdoor temperature

**Heat gain/loss calculations:** • Not done as part of a building inspection

**System data plate:** • Not found

## Observations and Recommendations

### AIR CONDITIONING \ Life expectancy

**Condition:** • [Old](#)

Typical life expectancy for a/c units are 10-15 years. The current unit is beyond its life expectancy. Test function in the Spring. Plan for replacement

**Implication(s):** Equipment failure | Reduced comfort

**Location:** Exterior

**Task:** Replace

**Time:** When necessary / Unpredictable

**Cost:** \$3,000 - and up

### AIR CONDITIONING \ Compressor

**Condition:** • [Missing electrical shutoff](#)

**Implication(s):** Difficult to service

**Location:** Rear Exterior Wall

**Task:** Provide

**Time:** Less than 1 year

**Cost:** Minor

# COOLING & HEAT PUMP

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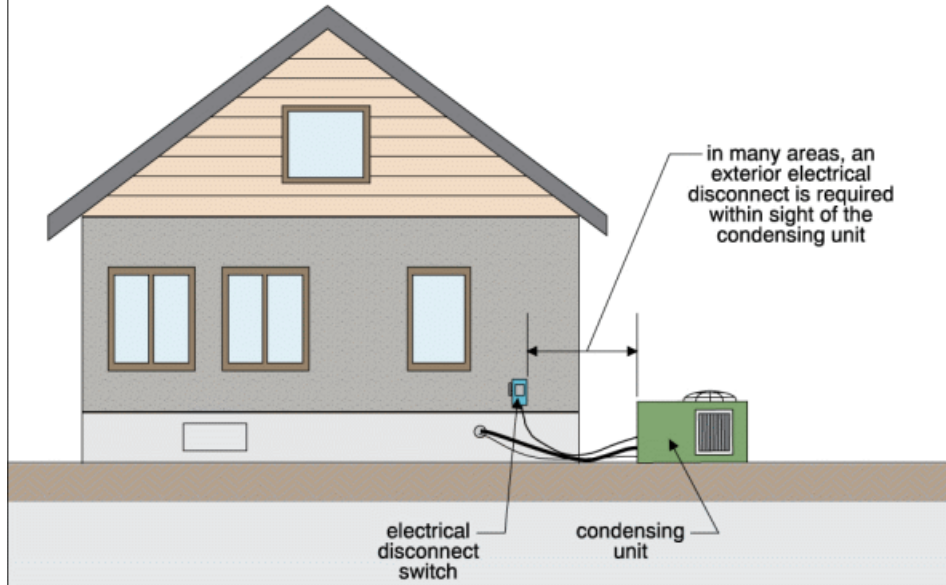
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## Missing electrical shutoff



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## Descriptions

Attic/roof insulation material: • [Glass fiber](#)

Attic/roof insulation amount/value: • [R-32](#)

Attic/roof ventilation: • [Gable vent](#)

Attic/roof air/vapor barrier: • Spot Checked Only

Attic/roof air/vapor barrier: • [Plastic](#)

## Inspection Methods and Limitations

Inspection prevented by no access to: • Walls, which were spot checked only

Attic inspection performed: • From access hatch

Roof ventilation system performance: • Not evaluated

Air/vapor barrier system: • Continuity not verified

## Observations and Recommendations

### ATTIC/ROOF \ Insulation

Condition: • [Amount less than current standards](#)

Below current standards of R-50 (as of 2012)

Implication(s): Increased heating and cooling costs

Location: Throughout Attic

Task: Upgrade

Time: Discretionary

### ATTIC/ROOF \ Hatch

Condition: • [Not insulated and not weatherstripped](#)

Implication(s): Chance of condensation damage to finishes and/or structure | Increased heating and cooling costs | Reduced comfort

Location: Attic

Task: Improve

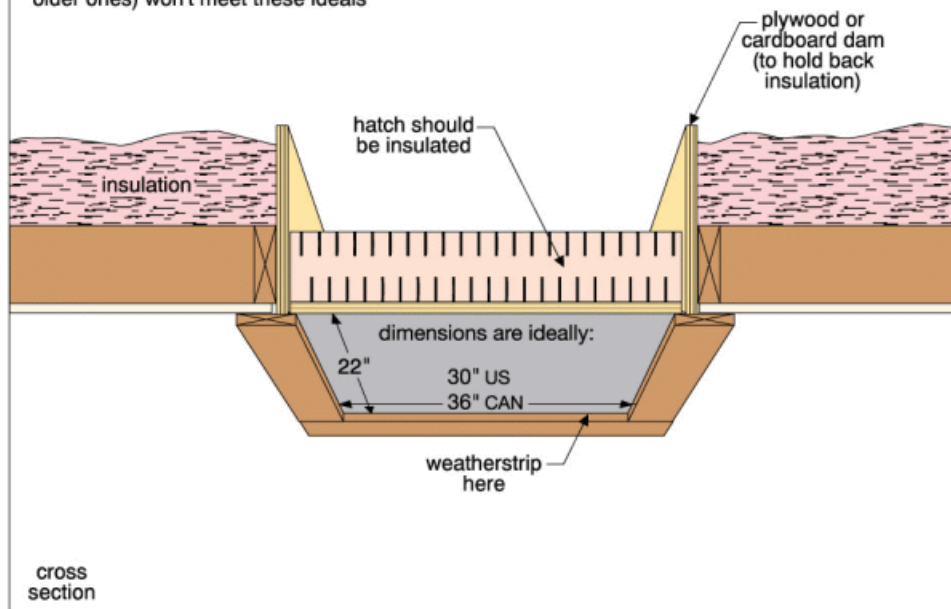
Time: Less than 1 year

Cost: Minor

## Attic access hatch

the illustration shows a good attic access hatch design

hatches in many houses (especially older ones) won't meet these ideals





## Descriptions

**Service piping into building:** • [Copper](#)

**Supply piping in building:** • [Copper](#)

**Main water shut off valve at the:** • Basement

**Water flow and pressure:** • [Typical for neighborhood](#)

**Water heater type:** • [Induced draft](#)

**Water heater fuel/energy source:** • [Gas](#)

**Tank capacity:** • 50 gallons

**Water heater approximate age:** • 7 years

**Typical life expectancy:** • 10 - 15 years

**Waste and vent piping in building:** • [Plastic](#) • [Cast Iron](#)

**Floor drain location:** • Center of basement

## Inspection Methods and Limitations

**Items excluded from a building inspection:** • Tub and basin overflows are not tested as part of a home inspection. Leakage at the overflows is a common problem.

**Items excluded from a building inspection:** • Well • Water quality • Septic system • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Pool • Spa

## Observations and Recommendations

### WASTE PLUMBING \ Drain piping - performance

**Condition:** • The cast iron waste piping is near the end of its normal life expectancy and is prone to rusting through or splitting. Replacement may be required in the near future.

**Task:** Consult with your insurance company

### FIXTURES AND FAUCETS \ Faucet

**Condition:** • [Shower diverter inoperative or defective](#)

**Implication(s):** Equipment failure

**Location:** Addition Bathroom

**Task:** Replace

**Time:** Regular maintenance

**Cost:** Minor



**24. Shower diverter inoperative or defective**

**FIXTURES AND FAUCETS \ Basin, sink and laundry tub**

**Condition:** • [Slow drains](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Kitchen

**Task:** Repair

**Time:** Prior to first use

**Cost:** Minor

**FIXTURES AND FAUCETS \ Bathtub enclosure**

**Condition:** • [Tile loose, broken or missing](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

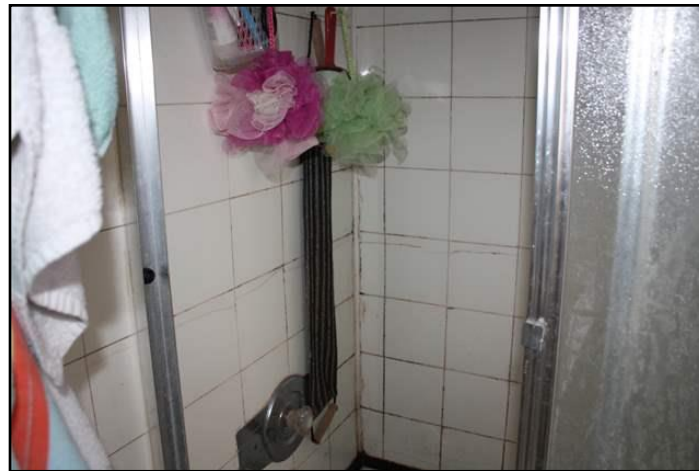
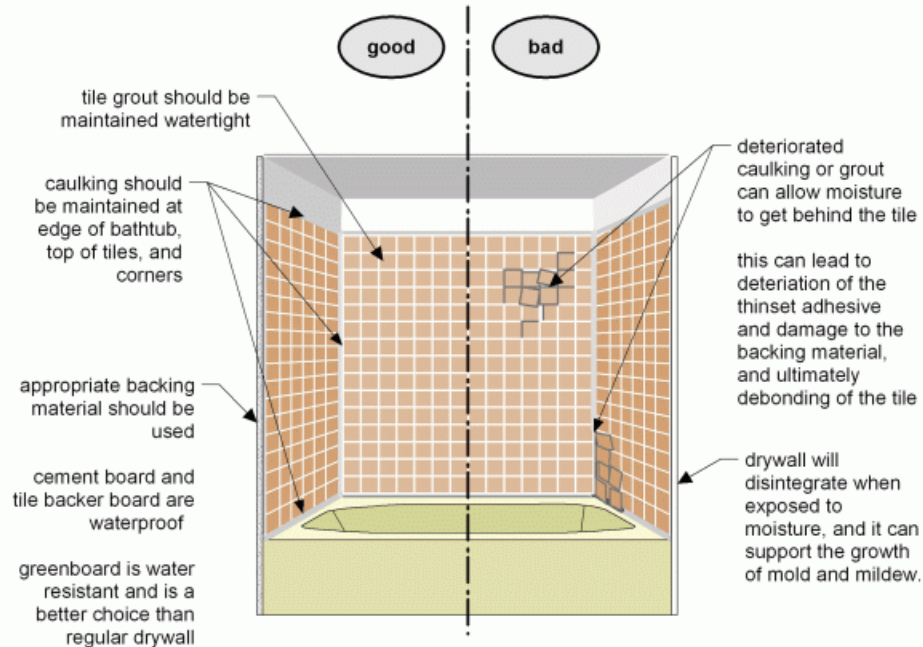
**Location:** Second Floor Bathroom

**Task:** Repair or replace

**Time:** Less than 1 year

**Cost:** Consult with Contractor

## Expansion, debonding of tile due to moisture



25. Tile loose, broken or missing

## Descriptions

**Major floor finishes:** • [Hardwood](#) • [Resilient](#)

**Major wall and ceiling finishes:** • [Plaster/drywall](#) • [Paneling](#) • [Stucco/texture/stipple](#)

**Windows:** • [Fixed](#) • [Sliders](#)

**Glazing:** • [Double](#) • [Primary plus storm](#)

**Evidence of basement leakage:** • Present • Efflorescence • Stains • Dampness

## Inspection Methods and Limitations

**General:** • Up until about 1985, Asbestos was used in a multitude of building materials including but not limited to: Insulation on hydronic piping, attic insulation, flooring and ceiling tiles, stucco ceilings, glue, insulation around heating ducts and registers and so on. Identification of asbestos is outside the scope of a home inspection. If you have concerns about asbestos, consult with a professional environmental company that specializes with asbestos lab testing.

**General:** • The evaluation of Mold is outside the scope of a home inspection. If the appearance of mold is observed during the normal procedure of the home inspection, it will be noted for further evaluation. If mold is not observed, it does not mean it is not present. It may be in an area that was not observed during the inspection.

**Inspection limited/prevented by:** • Storage/furnishings • New finishes/paint • Storage in closets/cupboards

**Not included as part of a building inspection:** • Carbon monoxide detectors, security systems, central vacuum • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any

**Cosmetics:** • No comment offered on cosmetic finishes

**Appliances:** • Appliances are not inspected as part of a building inspection • Appliances are not moved during an inspection

**Percent of foundation not visible:** • 80 %

**Basement leakage:** • Cannot predict how often or how badly basement will leak • Storage in basement limited inspection

## Observations and Recommendations

### General

• Typical flaws noted on walls and ceilings. Finishes in home will need eventual updating, however this is discretionary. Renovations are a major expense.

**Location:** Various

**Task:** Upgrade

**Time:** Discretionary

**Cost:** Major

### CEILINGS \ General

**Condition:** • Damage

Damage and Mildew on walls and ceilings likely caused by condensation due to poor ventilation - No fan in bathroom and not opening window during showers.

**Location:** Second Floor Bathroom

**Task:** Repair

# INTERIOR

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**Time:** Discretionary



26. Damage



27. Damage



28. Damage



29. Damage

**Condition:** • [Water damage](#)

Water damage noted at ceiling and wall. Tested with moisture meter and was wet. This area is below abandoned chimney. Repair flashing and caulking at chimney and check that gutter is draining properly into lower gutter. Also ensure top of abandoned chimney is properly sealed

**Implication(s):** Chance of movement

**Location:** Addition Bedroom

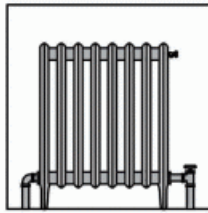
**Task:** Repair water source first before repairing ceiling and walls

**Time:** Immediate

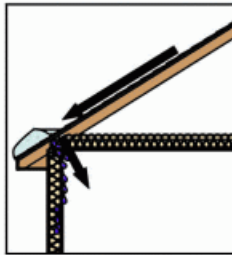
**Cost:** Consult with contractor



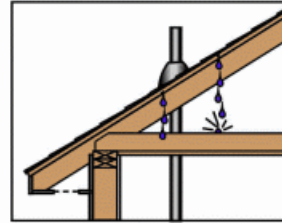
## Sources of interior water damage



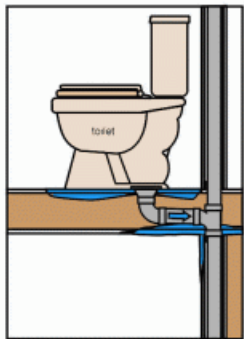
heating leaks



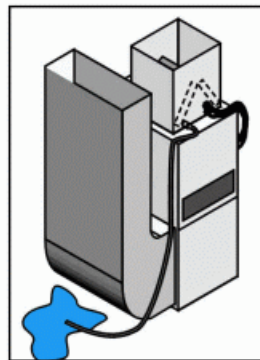
ice damming  
and condensation



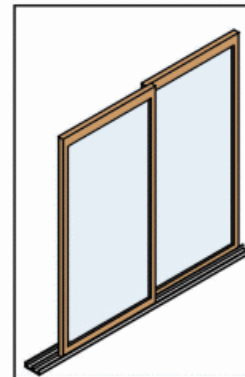
roof or  
flashing leaks



plumbing leaks



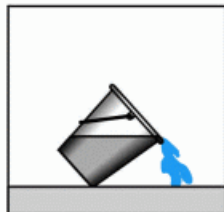
air conditioning leaks



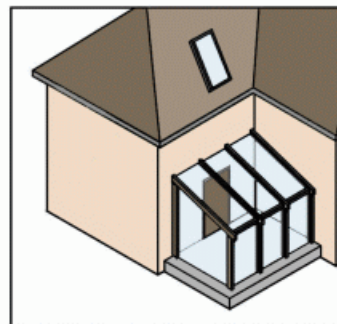
door leaks



melting snow



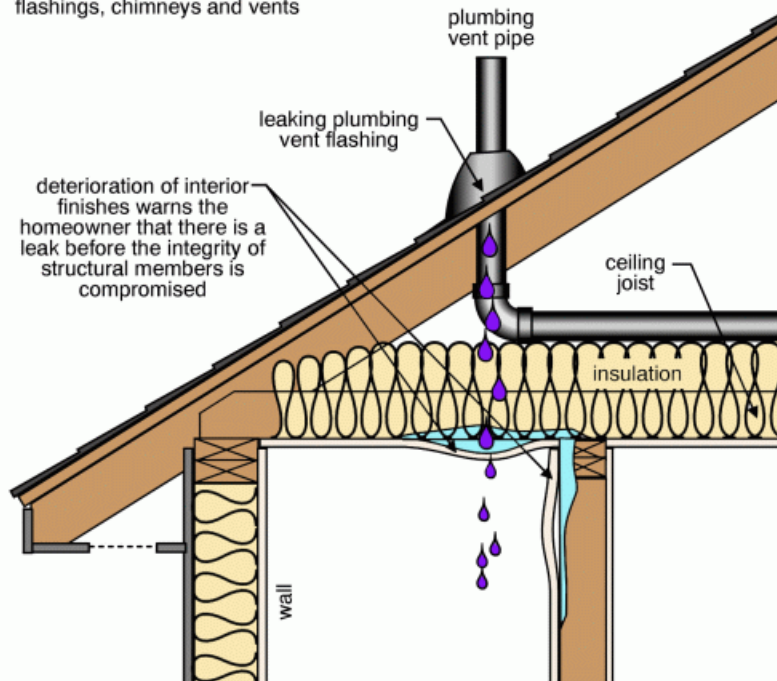
accidental spills



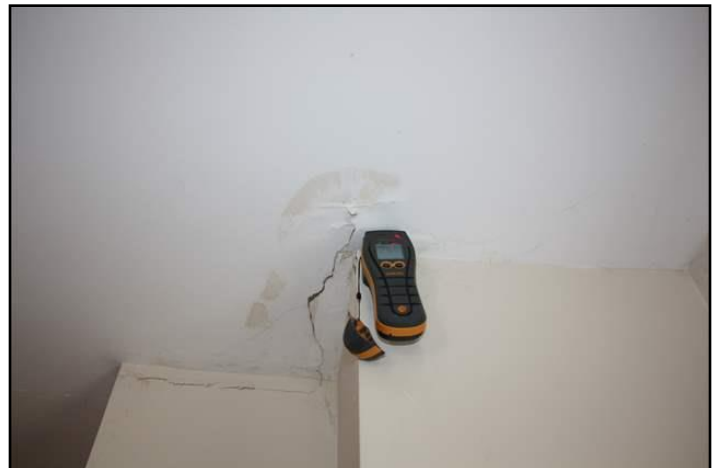
wall, window, solarium and skylight leaks

## Common locations for water damage

water damage to walls is common below windows, bathrooms, roof flashings, chimneys and vents



30. Area above water damage found in bedroom



31. Water damage

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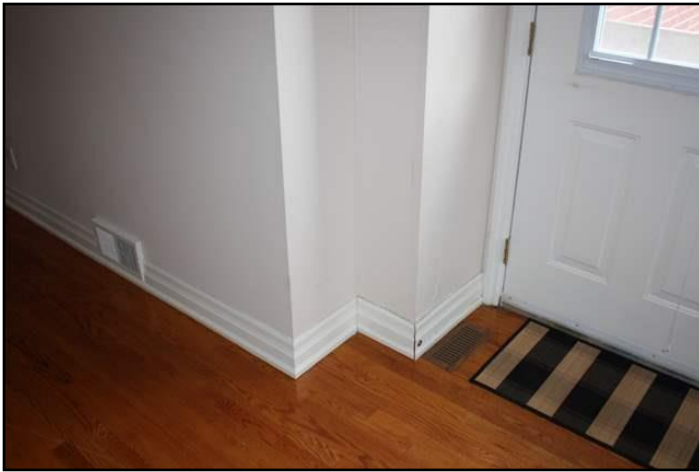
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32. Water damage



33. Water damage

## FLOORS \ General

**Condition:** • Old resilient floor tiles often contain asbestos. Further evaluation is recommended before removing these tiles.

**Location:** Basement

**Task:** Further Evaluation

**Time:** Before removing

**Cost:** Testing \$300-\$500. Removal if needed - Major



34.

## FLOORS \ Subflooring

**Condition:** • Slope Noted. Older homes tend to have saggy, sloping floors. If you choose to make repairs to level the floors, repairs can require invasive and extensive work that can cost tens of thousands of dollars.

**Condition:** • [Damage](#)

**Implication(s):** Physical injury

**Location:** First Floor

**Task:** Repair

**Time:** If necessary



35. Damage

## WINDOWS \ General

**Condition:** • Many of the windows are older but generally serviceable. At some point they should be replaced for cosmetics, ease-of-operation, or improved energy efficiency. Replacement windows are expensive, roughly \$30 to \$50/sq. ft. installed for moderate quality units. Although more energy-efficient, new windows will typically not pay for themselves quickly in energy savings.

**Location:** Various

**Task:** Upgrade

**Time:** When necessary

## CARPENTRY \ Cabinets

**Condition:** • [Stained, worn, damaged](#)

Kitchen is old and worn. Updating likely needed

**Location:** Various Kitchen

**Task:** Repair / Upgrade

**Time:** Discretionary

**Cost:** Depends on approach



36. Stained, worn, damaged



## **BASEMENT \ Leakage**

**Condition:** • \*\*\*FOR FUTURE REFERENCE\*\*\* Basement Leakage 4-step method.

Almost every basement (and crawlspace) leaks under the right conditions. Based on a one-time visit, it's impossible to know how often or severe leaks may be. While we look for evidence of past leakage during our inspection, this is often not a good indicator of current conditions. Exterior conditions such as poorly performing gutters and downspouts, and ground sloping down toward the house often cause basement leakage problems. To summarize, wet basement issues can be addressed in 4 steps: 1. First, ensure gutters and downspouts carry roof run-off away from the home. (relatively low cost) 2. If problems persist, slope the ground (including walks, patios and driveways) to direct water away from the home. (Low cost if done by homeowner. Higher cost if done by contractor or if driveways, patios and expensive landscaping are disturbed.) 3. If the problem is not resolved and the foundation is poured concrete, seal any leaking cracks and form-tie holes from the inside. (A typical cost is \$300 to \$600 per crack or hole.) 4. As a last resort, dampproof the exterior of the foundation, provide a drainage membrane and add/repair perimeter drainage tile. (High cost)

## **BASEMENT \ Wet basement - evidence**

**Condition:** • [Dampness on floor or walls](#)

Water Stains and dampness were found at multiple areas of the front, left and right basement. Troubleshooting all the sources is outside the scope of the inspection. Consult with a professional contractor to troubleshoot all water dampness. Pictures show only a sampling.

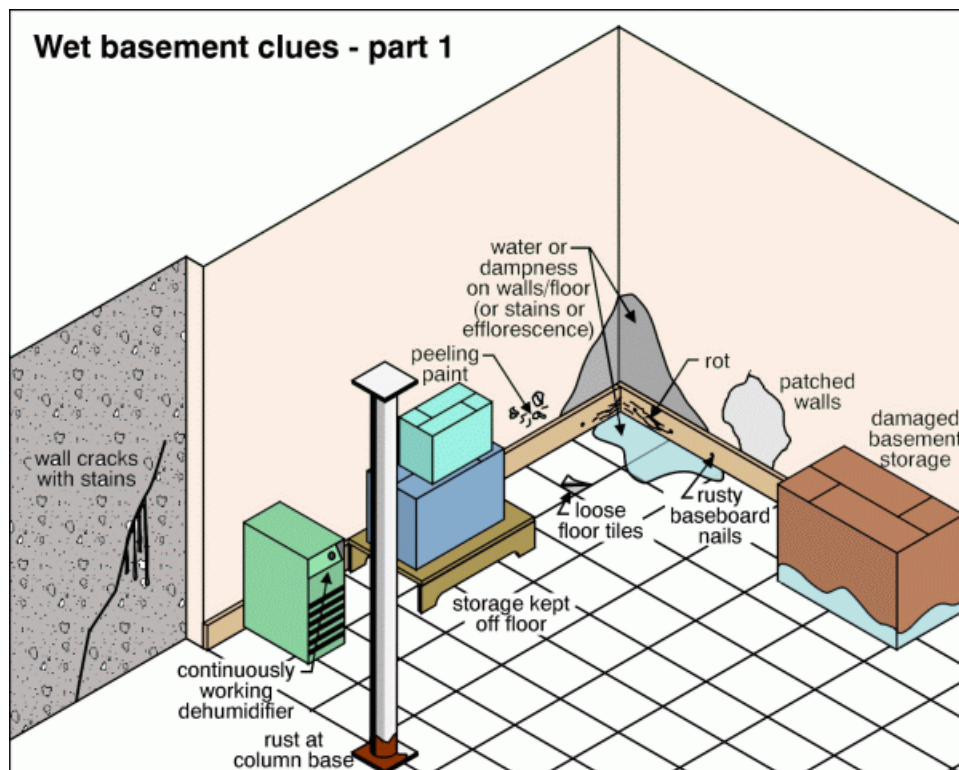
**Implication(s):** Chance of water damage to contents, finishes and/or structure | Material deterioration

**Location:** Various Front, Left and Right Basement

**Task:** Correct

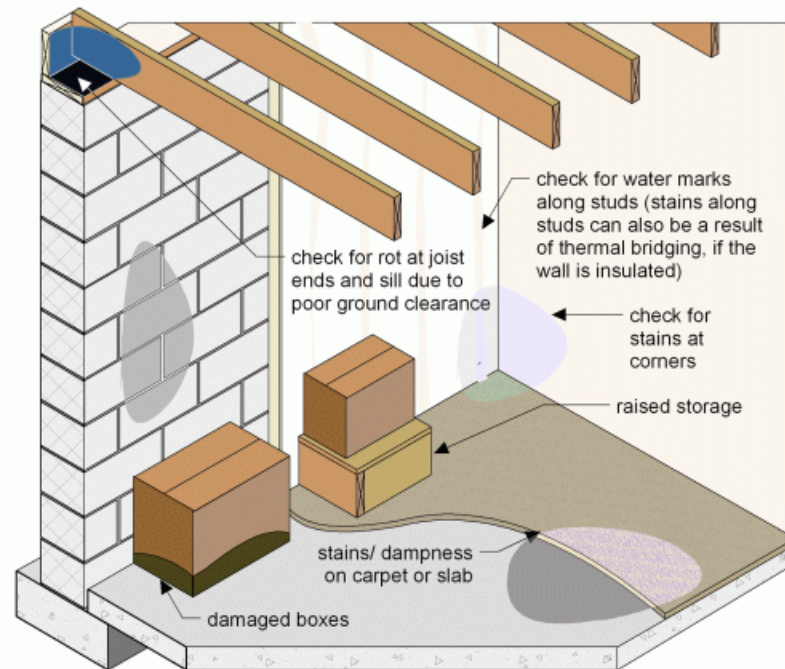
**Time:** Less than 1 year

**Cost:** Depends on work needed. Thousands if dampproofing is required.





## Basement leakage clues - rot, stains or water marks



37. Dampness on floor or walls



38. Dampness on floor or walls

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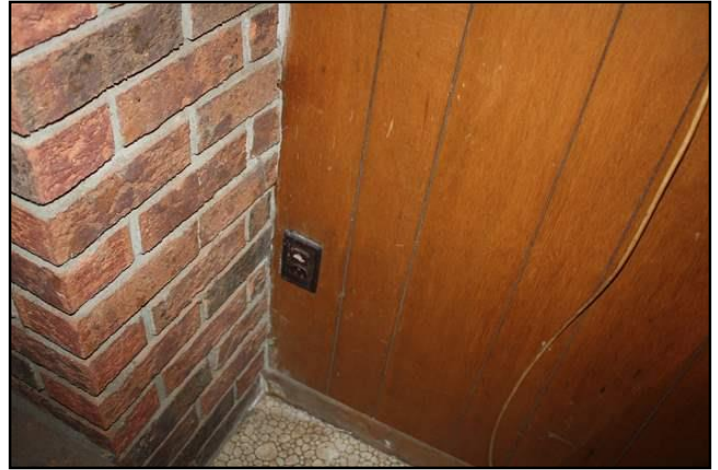
PLUMBING

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39. Dampness on floor or walls



40. Dampness on floor or walls



41. Dampness on floor or walls

**Condition:** • [Efflorescence](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Various Basement

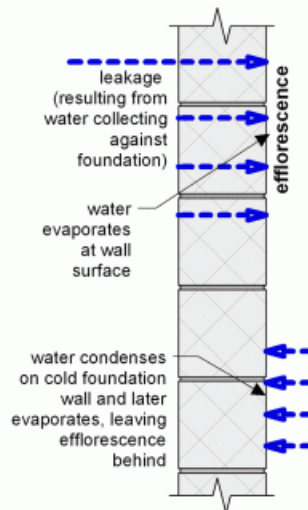
**Task:** Click link to read more information

## Basement leakage clues - efflorescence

efflorescence is a powdery, white substance that appears when water with dissolved minerals evaporates



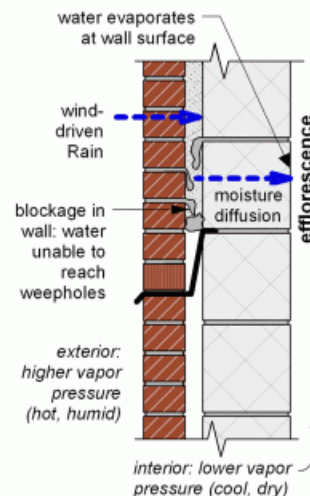
efflorescence may form because of water on the surface of the wall, either from leaks or from condensation, for example:



efflorescence may also form because of moisture diffusion through a wall

concrete and clay are not water-tight

for example:



### Condition: • [Stains](#)

water stains noted at various areas of basement Concrete block foundations are typically more porous than modern materials and it is normal / common to find stains in the basement of a home of this age. Some have likely been present for many years. Prudent to monitor, especially through the Spring or after heavy rainfalls.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Various Basement

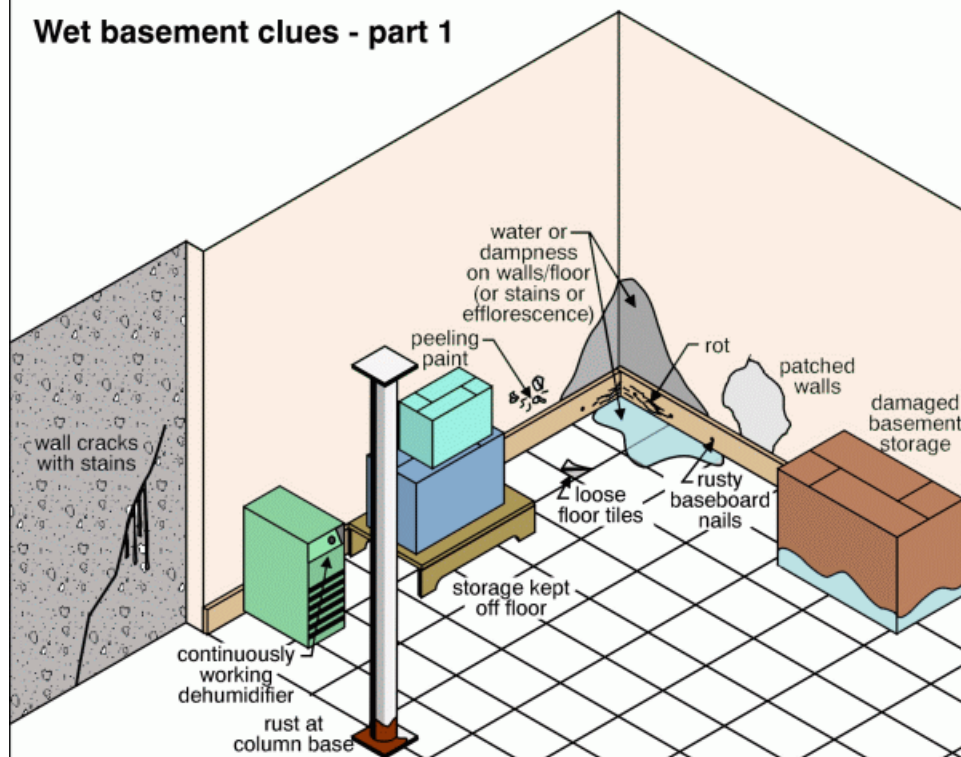
**Task:** Improve

**Time:** As Needed

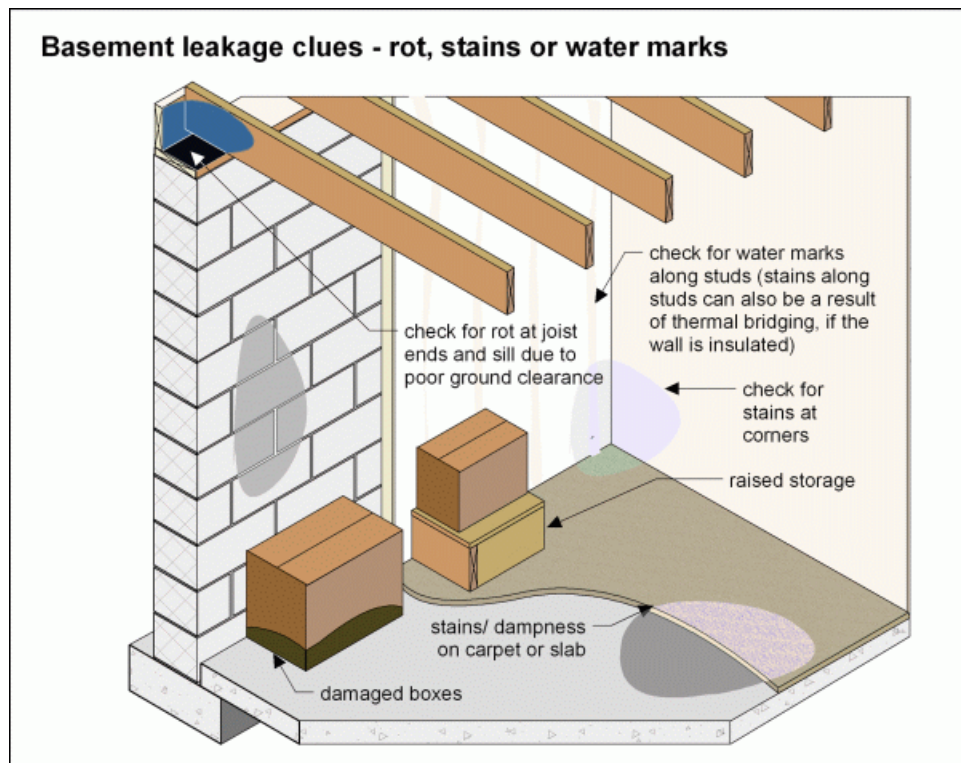
**Cost:** Depend on approach



## Wet basement clues - part 1



## Basement leakage clues - rot, stains or water marks



## **BASEMENT \ Wet basements - vulnerability**

**Condition:** • Typical of many homes with stone, brick, or block foundations, some moisture can be expected from time to time and is not unusual. Exterior grading and water management improvements are generally effective at reducing basement moisture. A dehumidifier can also be used to keep humidity levels down.

**END OF REPORT**



The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

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