



Your Inspection Report

1204 Walker Line Road
Algonquin Highlands, ON P1H 0K1

PREPARED FOR:

MELANIE MAXWELL
ANDREA MAXWELL

INSPECTION DATE:

Wednesday, August 27, 2025

PREPARED BY:

Frank Salaris



Insight360 Home Inspections
2825 IB&O Rail Trail
Tory Hill, ON K0L 2Y0

705 457 5593
647 955 3466
Fax: 888 990 2566

www.insight360.ca
frank.salaris@insight360.ca



Every house tells a story, Let's ensure yours has a happy ending.

August 27, 2025

Dear Melanie Maxwell and Andrea Maxwell,

RE: Report No. 3126, v.2
1204 Walker Line Road
Algonquin Highlands, ON
P1H 0K1

Thanks very much for choosing me to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. I encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing me to perform your home inspection.

Sincerely,

Frank Salaris
on behalf of
Insight360 Home Inspections

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AGREEMENT

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

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PARTIES TO THE AGREEMENT

Company

Insight360 Home Inspections
2825 IB&O Rail Trail
Tory Hill, ON K0L 2Y0

Client

Melanie Maxwell

Client

Andrea Maxwell

Total Fee: \$734.50

This is an agreement between Melanie Maxwell, Andrea Maxwell and Insight360 Home Inspections.

PLEASE READ CAREFULLY BEFORE SIGNING.

The Inspection of this property is subject to the Limitations and Conditions set out in this Agreement. It is based on a visual examination of the readily accessible features of the building. The Inspection Report is also based on a visual examination of the readily accessible features of the building and onsite sewage system (if a Visual Onsite Sewage \System Inspection is done at time of Home Inspection) The Inspection is performed in accordance with the Standards of Practice of the Canadian Association of Home and Property Inspectors. A copy of these Standards is available at: <https://www.cahpi.ca/en/home-inspectors/inspector-standards>

Onsite Sewage System Inspections. (Septic Inspections): If an Onsite sewage system inspection is performed it is based on the OOWA Best Practices Inspection of Onsite sewage systems guide.

<https://www.oowa.org/industry-resources/best-practice-documents/>

The onsite sewage system inspection is based on the condition of the onsite wastewater treatment system observed at the time of the inspection. It does not predict future conditions. We cannot warrant, guarantee, or certify the proper functioning of the system for any period of time. Considering numerous factors (usage, soil type, installation, maintenance, etc.) which affect the proper operation of an onsite sewage treatment system, as well as the inability of us to supervise or monitor the use and maintenance of the system, this inspection report shall not be construed as a warranty that the system will function properly for the current owner or for any potential buyer. We disclaim any warranty, either expressed or implied, arising from the inspection of the onsite sewage system. Professional home inspection liability is equal only to the cost of the inspection.

The Home Inspector's report is an opinion of the present condition of the property. The Inspection and report are not a guarantee, warranty or an insurance policy with regards to the property.

The inspection report is for the exclusive use of the client(s) named above. No use of the information by any other party is intended.

CANADIAN ANTI-SPAM LEGISLATION (CASL)

Your inspector provides online services such as report delivery, and therefore needs to be able to send, on occasion, electronic messages. Whereas of the recent changes to the Canadian Anti-Spam Legislation, we need your consent to be able to provide these messages, By agreeing to this agreement, you are confirming that you agree to these electronic messages be sent to you.

LIMITATIONS AND CONDITIONS OF THE HOME INSPECTION

These Limitations and Conditions explain the scope of your Home Inspection.
Please read them carefully before signing this agreement.

The purpose of your Home Inspection is to evaluate the general condition of a property. This includes determining whether systems are still performing their intended functions.

There are limitations to the scope of this Inspection. It provides a general overview of the more obvious repairs that may be needed. It is not intended to be an exhaustive list. The ultimate decision of what to repair or replace is yours. One homeowner may decide that certain conditions require repair or replacement, while another will not.

1) THE INSPECTION IS NOT TECHNICALLY EXHAUSTIVE.

The Home Inspection provides you with a basic overview of the condition of the property. Because your Home Inspector has only a limited amount of time to go through the property, the Inspection is not technically exhaustive.

Some conditions noted, such as foundation cracks or other signs of settling in a house, may either be cosmetic or may indicate a potential problem that is beyond the scope of the Home Inspection.

If you have concerned about any conditions noted in the Home Inspection Report, we strongly recommend that you consult a qualified Licensed Contractor or Consulting Engineer. These professionals can provide a more detailed analysis of any conditions noted in the Report at an additional cost

2) THE INSPECTION IS AN OPINION OF THE PRESENT CONDITION OF THE VISIBLE COMPONENTS.

The Home Inspector's Report is an opinion of the present condition of the property. It is based on a visual examination of the readily accessible features of the building.

A Home Inspection does not include identifying defects that are hidden behind walls, floors or ceilings. This includes wiring, heating, cooling, structure, plumbing and insulation that are hidden or inaccessible.

Some intermittent problems may not be obvious on a Home Inspection because they only happen under certain circumstances. As an example, your Home Inspector may not discover leaks that occur only during certain weather conditions or when a specific tap or appliance is being used in everyday life.

Home Inspectors will not find conditions that may only be visible when storage or furniture is moved. They do not remove wall coverings (including wallpaper) or lift flooring (including carpet) or move storage to look underneath or behind.

3) THE INSPECTION DOES NOT INCLUDE HAZARDOUS MATERIALS.

The inspection does not include hazardous materials that may be in or behind the walls, floors, or ceilings of the property, whether visible or not. This includes building materials that are now suspected of posing a risk to health such as phenol-formaldehyde and urea-formaldehyde based insulation, fiberglass insulation and vermiculite insulation. The Inspector does not identify asbestos roofing, siding, wall, ceiling or floor finishes, insulation or fireproofing. We do not look for lead or other toxic metals in such things as pipes, paint or window coverings.

The Inspection does not deal with environmental hazards such as the past use of insecticides, fungicides, herbicides or pesticides. The Home Inspector does not look for, or comment on, the past use of chemical termite treatments in or around the property.

4) WE DO NOT COMMENT ON THE QUALITY OF AIR IN A BUILDING.

We are not responsible for and do not comment on the quality of air in a building. The Inspector does not try to determine if there are irritants, pollutants, contaminants, or toxic materials in or around the building.

The Inspection does not include spores, fungus, mold or mildew that may be present. You should note that whenever there is water damage noted in the report, there is a possibility that mold or mildew may be present, unseen behind a wall, floor or ceiling.

If anyone in your home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens at additional cost.

AGREEMENT

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

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5) WE DON'T LOOK FOR BURIED TANKS.

Your Home Inspector does not look for and is not responsible for fuel oil, septic or gasoline tanks that may be buried on the property. If the building had its heating system converted from oil, there will always be the possibility that a tank may remain buried on the property.

If fuel oil or other storage tanks remain on the property, you may be responsible for their removal and the safe disposal of any contaminated soil. If you suspect there is a buried tank, we strongly recommend that you retain a qualified Environmental Consultant to determine whether this is a potential problem.

6) TIME TO INVESTIGATE

We will have no liability for any claim or complaint if conditions have been disturbed, altered, repaired, replaced or otherwise changed before we have had a reasonable period of time to investigate.

The liability of the INSPECTOR (Frank Salaris) arising out of this inspection and report, for any cause of action whatsoever, whether in contract or in negligence, is limited to a refund of the fees that you have been charged for this inspection.

7) REPORT IS FOR OUR CLIENT ONLY

The inspection report is for the exclusive use of the client named herein. No use of the information by any other party is intended.

8) CANCELLATION FEE

If the inspection is cancelled within 24 hours of the appointment time, a cancellation fee of 50% of the inspection fee will apply.

9) NOT A GUARANTEE, WARRANTY OR INSURANCE POLICY.

The inspection is not a guarantee, warranty or an insurance policy with regard to the fitness of the property.

I have read, understood, and accepted the terms of this agreement. .

I, Melanie Maxwell (Signature)_____ , (Date)_____, have read, understood and accepted the terms of this agreement.

I, Andrea Maxwell (Signature)_____ , (Date)_____, have read, understood and accepted the terms of this agreement.

SUMMARY

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Roofing

SLOPED ROOFING \ Asphalt shingles

Condition: • Patched

Roof shingles have been patched in various areas, recommend monitoring for leaks. Suspect leaks are caused from ice damming during the winter months only. Recommend adding heat on the roof above unheated areas such as rear porch and front soffit especially below masonry chimney

Implication(s): Chance of water damage to structure, finishes and contents

Location: Various Exterior Roof

Task: Improve Monitor

Time: Ongoing

Cost: Minor

Condition: • Vulnerable to ice damming

Various ceiling stain in living room, bedroom and kitchen. Stain are not active during inspection, ice damming seems to be occurring in various areas during the winter months. Recommend installing heat cables over unheated areas to allow water to escape. Shingles are designed to shed water not hold water. Plastic pails found in the attic space to catch water during the winter months.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Various Exterior

Task: Improve Protect

Time: Less than 1 year

Cost: Minor

SLOPED ROOF FLASHINGS \ Chimney flashings

Condition: • Missing top, bottom, side flashings

Masonry chimney is missing a top flashing, recommend installing soon water appears to be entering when it rains. Plastic container in the attic is full of water.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior Roof

Task: Provide Improve

Time: Immediate

Cost: Minor

SUMMARY

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Exterior

ROOF DRAINAGE \ Gutters and Downspouts

Condition: • Missing

Missing gutters, recommend installing to control water drainage around foundation and prevent water splashing on exterior wall. Recommend installing slightly lower to prevent snow or ice from damaging them.

Location: Various Front Exterior Roof

Task: Provide

Time: Less than 1 year

Cost: Minor

ROOF DRAINAGE \ Downspouts

Condition: • Discharge too close to building

Downspout ends too close to building, recommend adding an extension to ensure water drains far enough from foundation wall to prevent movement.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Rear Exterior

Task: Improve

Time: Less than 1 year

Cost: Minor

Condition: • Missing

Missing downspouts, consider installing a plastic chain from gutter to the ground to prevent splashing of water on walls or adding downspouts.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Rear Exterior Roof

Task: Improve

Time: Less than 1 year

Cost: Minor

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Joists

Condition: • Rot

Rear deck floor boards and floor joist are rotten, recommend repairs or replacing within a year.

Implication(s): Weakened structure | Chance of movement

Location: Rear Exterior Deck

Task: Repair or replace

Time: Less than 1 year

Cost: Depends on approach

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Stairs and landings

Condition: • Rot

Staircase on the left side of exterior of house is rotten, recommend replacing.

Implication(s): Weakened structure | Material deterioration

Location: Left Side Exterior

Task: Replace

SUMMARY

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Time: Less than 1 year

Cost: Minor

LANDSCAPING \ Lot grading

Condition: • Improper slope or drainage

Poor drainage in front of crawlspace hatch, recommend improving grade or installing a drain to prevent water from entering crawlspace.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Left Side Exterior

Task: Improve

Time: Less than 1 year

Cost: Minor Depends on approach

Electrical

DISTRIBUTION SYSTEM \ Wiring (wires) - installation

Condition: • All wire connections must be protected in a metal box with a cover plate for safety.

Location: Garage

Task: Protect

Time: Immediate

Cost: Minor

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • Damage

Damaged outlet should be replaced as soon as possible for safety.

Implication(s): Electric shock | Fire hazard

Location: First Floor Bedroom

Task: Replace

Time: Immediate

Cost: Minor

Condition: • GFCI/GFI needed (Ground Fault Circuit Interrupter)

GFI receptacles protects you from shock whenever water, moisture, or the weather is near a receptacle, recommend replacing receptacles with GFCI receptacles in the future. Kitchen outlet to the right of sink has a light switch, consider adding a GFI breaker to this circuit instead.

Exterior wall and bathroom.

Implication(s): Electric shock

Location: First Floor Exterior Wall

Task: Replace

Time: Less than 1 year

Cost: Minor

SUMMARY

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Heating

SPACE HEATER \ Electric baseboard heater/space heater

Condition: • Inoperative heaters

Inoperative heaters in the living room and dining room, recommend further investigation, suspect a loose wire.

Implication(s): No heat for building

Location: First Floor Living Room Kitchen

Task: Further evaluation

Time: Less than 1 year

Cost: Minor

Condition: • Electrical receptacle above heater

Receptacles above the baseboards are fire hazards when in use. Recommend re-locating the receptacles/heaters when remodeling and avoid using receptacles when baseboards are in use. Recommend inserting plastic plugs as a reminder. Main floor Living room.

Implication(s): Fire hazard

Location: First Floor Living Room

Task: Improve Monitor

Time: Ongoing

Cost: Minor

SPACE HEATER \ Furnace blower

Condition: • Noisy

Kitchen space heater fan is noisy, recommend cleaning fan.

Implication(s): Reduced system life expectancy | Increased heating costs | Reduced comfort

Location: First Floor Bathroom

Task: Replace Clean

Time: Less than 1 year

Cost: Depends on work needed

CHIMNEY AND VENT \ Masonry chimney

Condition: • Spalling

Masonry Chimney is starting to spall near the top, recommend monitoring and making repairs when necessary.

Implication(s): Material deterioration

Location: Exterior Roof

Task: Repair Monitor

Time: Less than 1 year

Cost: Minor

CHIMNEY AND VENT \ Metal chimney or vent

Condition: • Creosote buildup

Chimney cap is completely clogged with creosote, recommend cleaning prior to use. Ensure to use seasoned fire wood prior to burning to reduce the amount of creosote buildup.

Implication(s): Hazardous combustion products entering home | Increased fire hazard

Location: Exterior Roof

SUMMARY

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Task: Improve Clean

Time: Immediate

Cost: Minor

Plumbing

SUPPLY PLUMBING \ Water pressure tank (Expansion tank)

Condition: • Waterlogged

Water pump runs continuously, suspect pressure tank is water logged, recommend replacing pressure tank.

Implication(s): Reduced system life expectancy | Equipment not operating properly | Reduced water pressure and volume

Location: Crawl Space

Task: Replace

Time: Immediate

Cost: Minor

WATER HEATER \ Life expectancy

Condition: • Near end of life expectancy

Hot water tank is near the end of its life, recommend monitoring bottom for moisture and replacing when necessary.

Water heater is a rental.

Implication(s): No hot water

Location: Crawl Space

Task: Monitor

Time: Ongoing

Cost: Minor

WASTE PLUMBING \ Venting system

Condition: • Vent termination problems

Both waste vent pipe are too long and should terminate only 12" from exterior wall. When kitchen sink is used during the winter months we risk moist air freezing at the very tip and eventually clogging the pipe. When the pipe is clogged gurgling sounds will be heard at the sink and possibly sewer gasses. Recommend drilling 4 holes in the pipe 12" above roof line. (1/8" holes)

Implication(s): Reduced operability | Sewer gases entering the building

Location: Exterior Roof

Task: Improve

Time: Less than 1 year

Cost: Minor

FIXTURES AND FAUCETS \ Faucet

Condition: • Drip, leak

Shower faucet has a small leak, recommend replacing cartridge or replacing faucet when remodeling.

Implication(s): Chance of water damage to structure, finishes and contents

Location: First Floor Bathroom

Task: Repair

SUMMARY

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Time: Less than 1 year

Cost: Minor

FIXTURES AND FAUCETS \ Basin, sink and laundry tub

Condition: • Rust

Bathroom sink is rusted below and has a small leak. Recommend replacing in the near future when remodeling. Laundry room bathroom.

Implication(s): Chance of water damage to structure, finishes and contents

Location: First Floor Bathroom

Task: Replace

Time: Less than 1 year When remodelling

Cost: Minor

Interior

WINDOWS \ Glass (glazing)

Condition: • Cracked

Cracked window, recommend replacing. Main floor living room sliding exterior door.

Implication(s): Physical injury

Location: First Floor Living Room

Task: Replace

Time: When remodelling

Cost: Depends on approach

EXHAUST FANS \ Duct

Condition: • Not insulated in unconditioned space

Un-insulated exhaust duct in the attic above bathroom, recommend replacing with a proper insulated duct pipe or wrapping with insulation and a vapor barrier to prevent moist air escaping and causing condensation on sheathing or insulation. And it must exhaust directly to the outside to prevent mildew and rot in the attic space. Water damage noted around the exhaust fan.

Implication(s): Chance of condensation damage to finishes and/or structure

Location: Attic

Task: Improve

Time: Less than 1 year

Cost: Minor Up to

APPLIANCES \ Range

Condition: • Inoperative

Cook top range is inoperative, recommend further investigation and repairs. Suspect a loose wire. Currently exhausting into the garage. Duct pipe in the attic should be insulated to prevent condensation in the attic space.

Implication(s): System inoperative

Location: First Floor Kitchen

Task: Repair or replace Further evaluation

Time: Less than 1 year

SUMMARY

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Cost: Minor Depends on approach

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

ROOFING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Sloped roofing material:

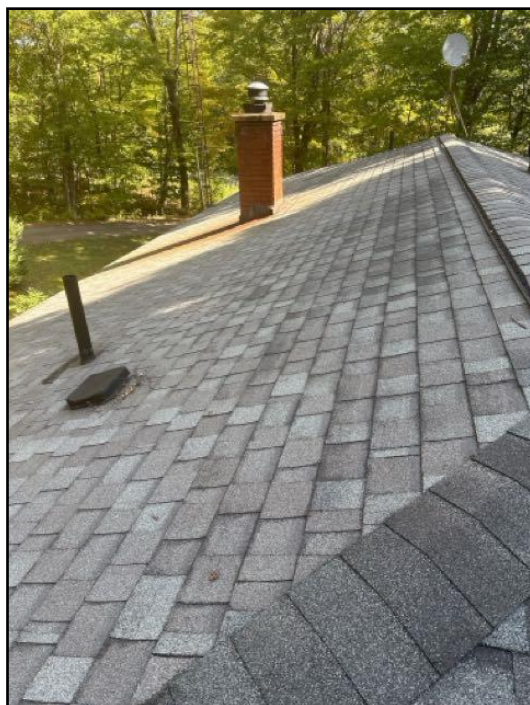
- Asphalt shingles



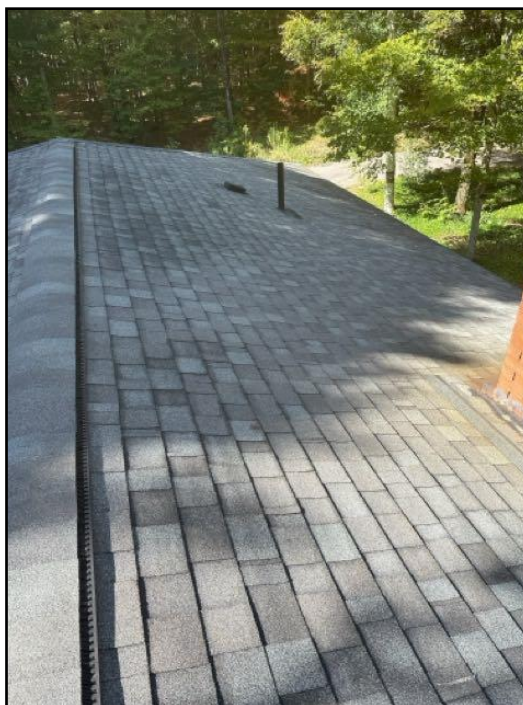
1. Asphalt shingles



2. Asphalt shingles



3. Asphalt shingles



4. Asphalt shingles

ROOFING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

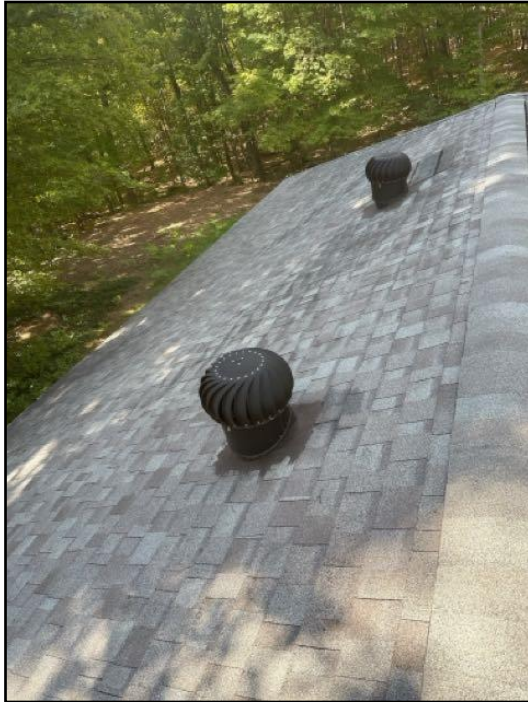
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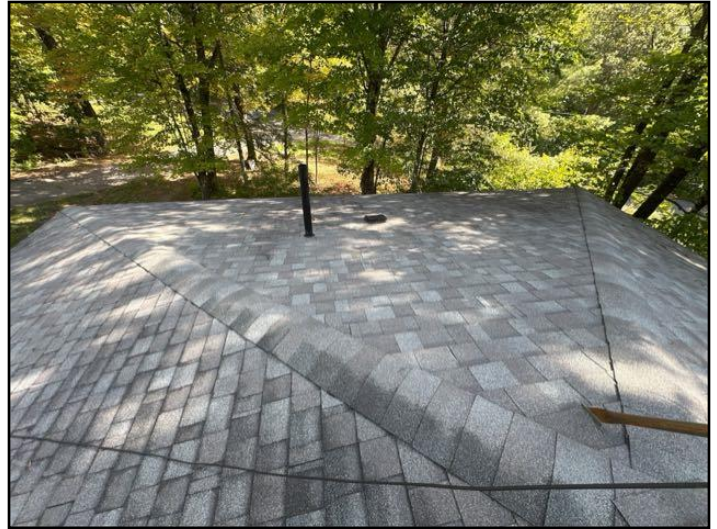
PLUMBING

INTERIOR

REFERENCE



5. Asphalt shingles



6. Asphalt shingles

Sloped roof flashing material: • Metal

Probability of leakage: • Low

Approximate age: • 15 years

Typical life expectancy: • 25-30 years

Limitations

Inspection performed: • By walking on roof

Age determined by: • Visual inspection from roof surface • Reported by seller

Recommendations

SLOPED ROOFING \ Asphalt shingles

1. Condition: • Patched

Roof shingles have been patched in various areas, recommend monitoring for leaks. Suspect leaks are caused from ice damming during the winter months only. Recommend adding heat on the roof above unheated areas such as rear porch and front soffit especially below masonry chimney

Implication(s): Chance of water damage to structure, finishes and contents

Location: Various Exterior Roof

Task: Improve Monitor

Time: Ongoing

ROOFING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

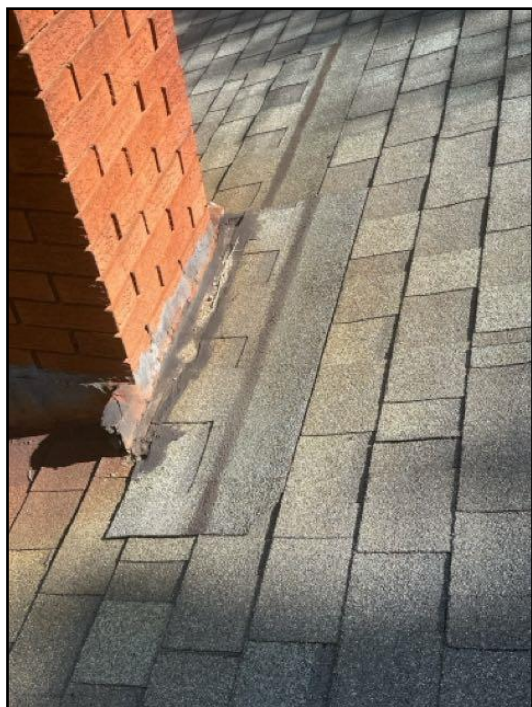
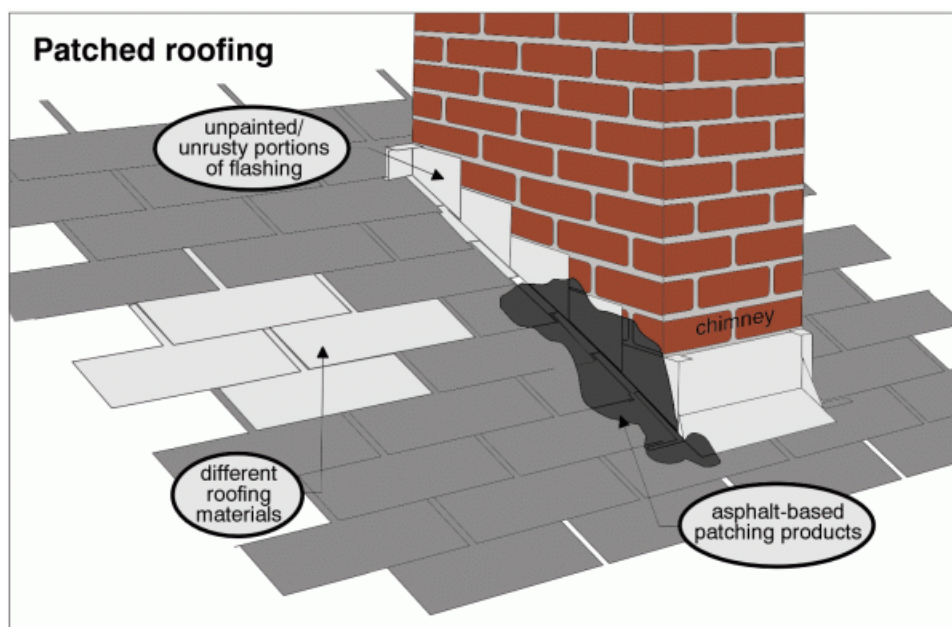
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PLUMBING

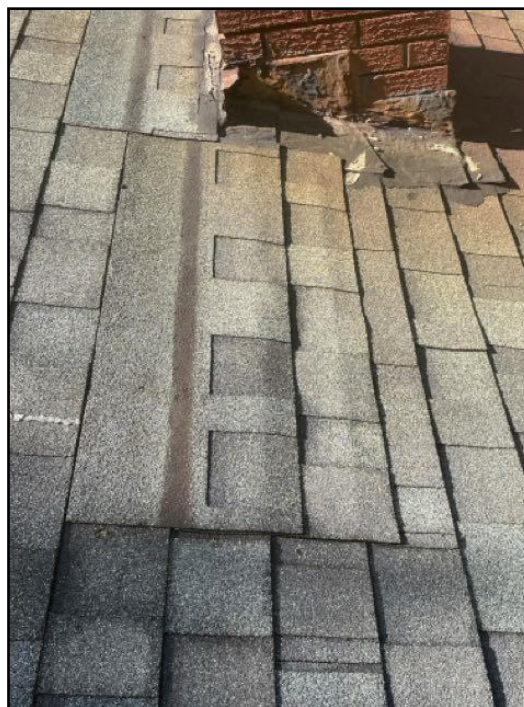
INTERIOR

REFERENCE

Cost: Minor



7. Patched



8. Patched

ROOFING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

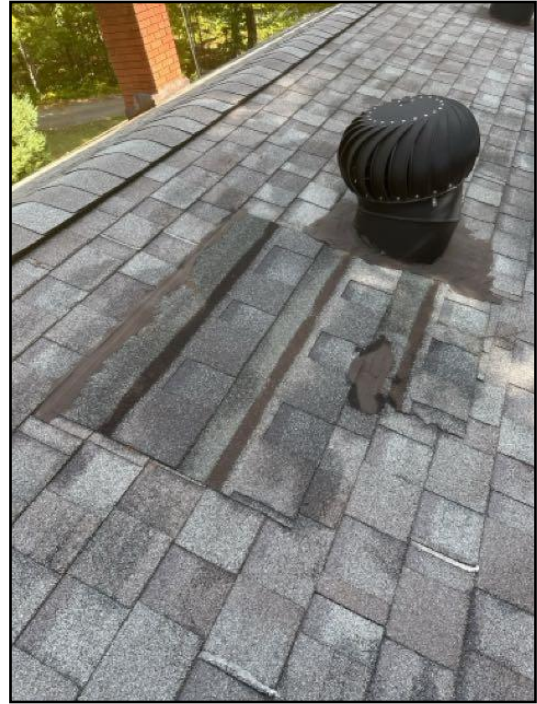
PLUMBING

INTERIOR

REFERENCE



9. Patched



10. Patched

2. Condition: • Vulnerable to ice damming

Various ceiling stain in living room, bedroom and kitchen. Stain are not active during inspection, ice damming seems to be occurring in various areas during the winter months. Recommend installing heat cables over unheated areas to allow water to escape. Shingles are designed to shed water not hold water. Plastic pails found in the attic space to catch water during the winter months.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Various Exterior

Task: Improve Protect

Time: Less than 1 year

Cost: Minor

ROOFING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

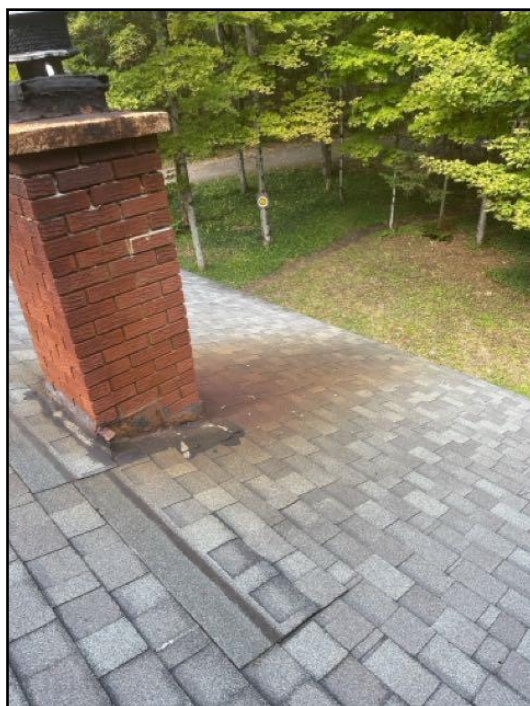
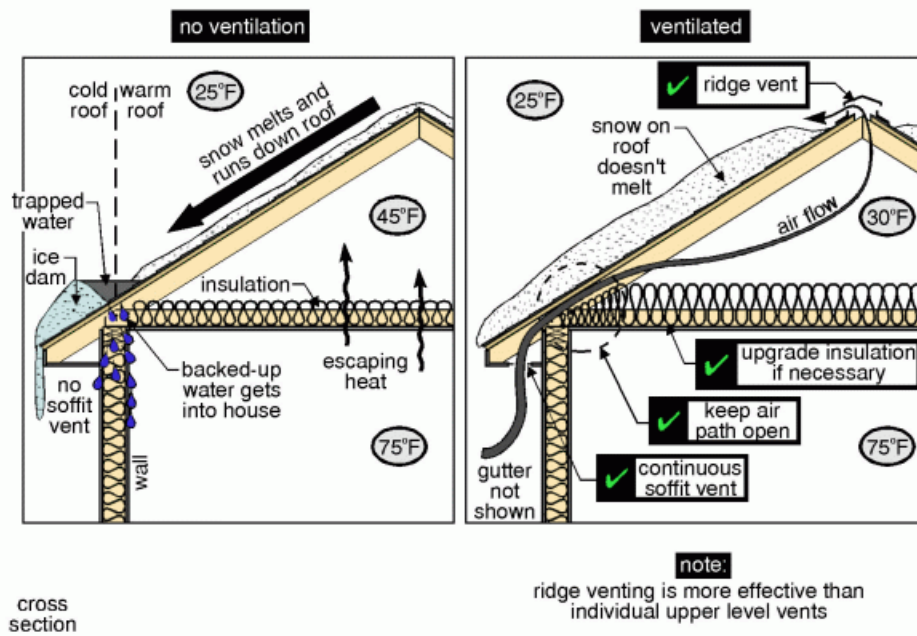
INSULATION

PLUMBING

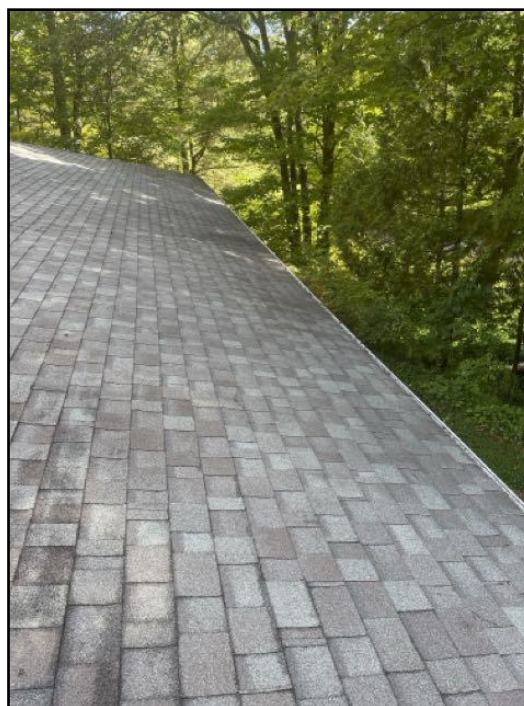
INTERIOR

REFERENCE

Preventing ice dams with ventilation



11. Vulnerable to ice damming



12. Vulnerable to ice damming

ROOFING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



13. Vulnerable to ice damming



14. Vulnerable to ice damming



15. Vulnerable to ice damming



16. Vulnerable to ice damming

ROOFING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



17. Vulnerable to ice damming



18. Vulnerable to ice damming



19. Vulnerable to ice damming



20. Vulnerable to ice damming

ROOFING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



21. Vulnerable to ice damming



22. Vulnerable to ice damming



23. Vulnerable to ice damming



24. Vulnerable to ice damming

ROOFING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



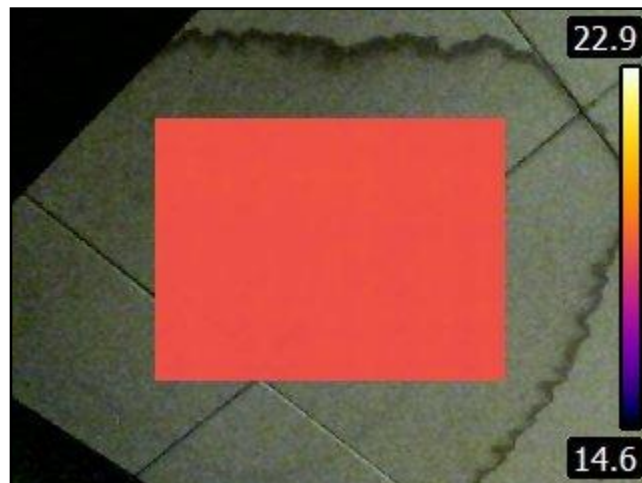
25. Vulnerable to ice damming



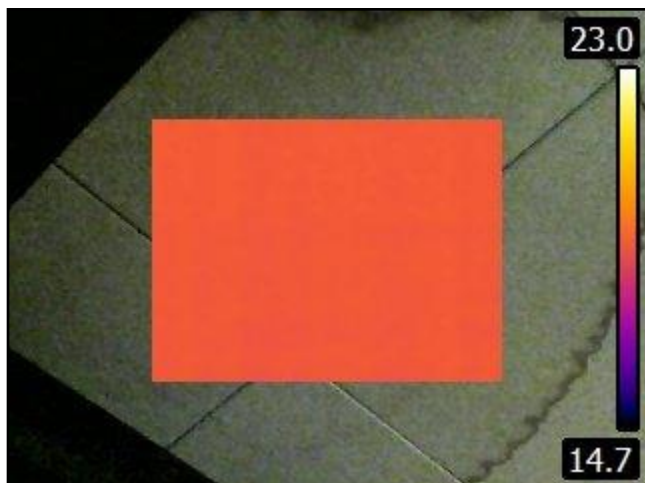
26. Vulnerable to ice damming



27. Vulnerable to ice damming



28. Vulnerable to ice damming



29. Vulnerable to ice damming



30. Vulnerable to ice damming

ROOFING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



31. Vulnerable to ice damming

SLOPED ROOF FLASHINGS \ Chimney flashings

3. Condition: • Missing top, bottom, side flashings

Masonry chimney is missing a top flashing, recommend installing soon water appears to be entering when it rains. Plastic container in the attic is full of water.

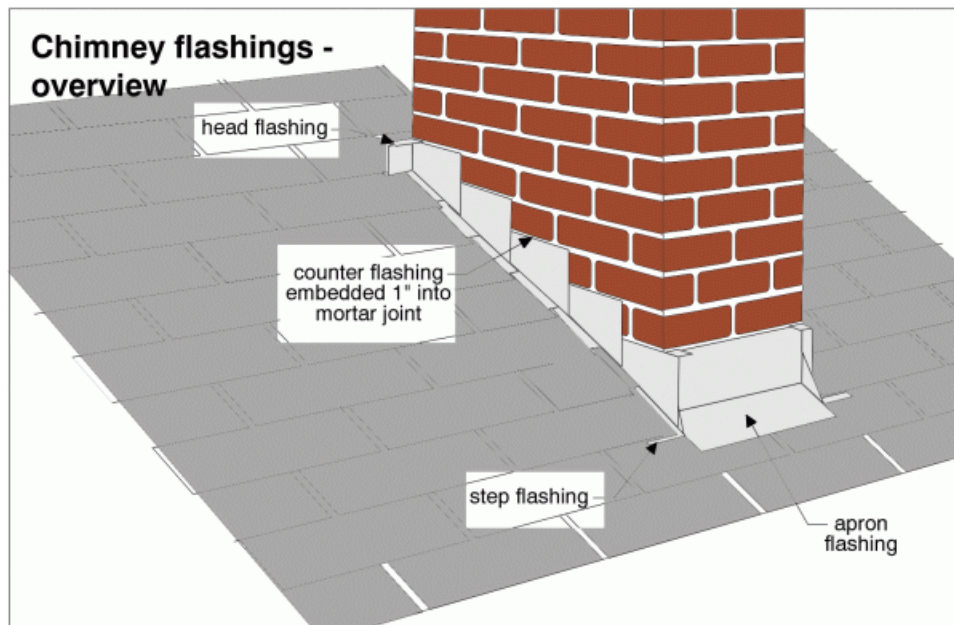
Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior Roof

Task: Provide Improve

Time: Immediate

Cost: Minor



ROOFING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

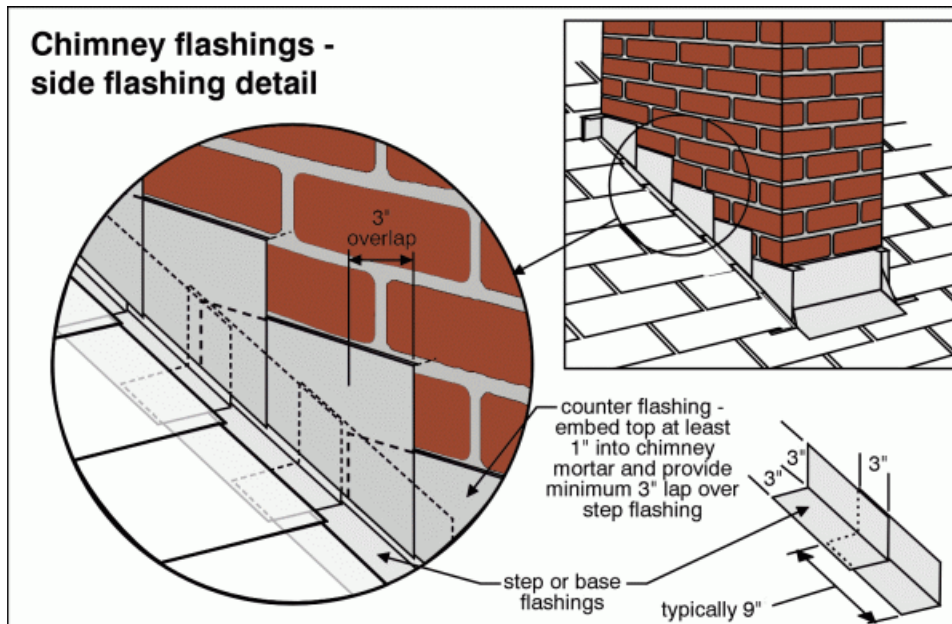
INSULATION

PLUMBING

INTERIOR

REFERENCE

Chimney flashings - side flashing detail



32. Vulnerable to ice damming



33. Vulnerable to ice damming

EXTERIOR

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

General: • blank note



34.



35.



36.



37.

Gutter & downspout material: • Aluminum

Gutter & downspout type: • Eave mounted

Gutter & downspout discharge: • Above grade

Downspout discharge: • Above grade

Lot slope: • Hillside

Soffit (underside of eaves) and fascia (front edge of eaves): • Metal

Wall surfaces and trim: • Brick

EXTERIOR

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Driveway: • Asphalt

Deck: • Raised • Wood • Railings

Garage:

- Attached
- Detached

Detached garage conditions

1. Roof shingles have past their life expectancy, recommend replacing soon. Water appears to be entering on the left side above water stains in the garage.
2. Mechanical damage to vinyl siding at the front wall.
3. Ungrounded outlets, recommend further investigation suspect a loose wire.



38. Detached



39. Detached

EXTERIOR

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



40. Detached



41. Detached



42. Detached



43. Detached

EXTERIOR

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



44. Detached



45. Detached

Limitations

Exterior inspected from: • Ground level

Environmental issues are outside the scope of a home inspection: • Environmental issues are outside the scope of a home inspection.

Recommendations

ROOF DRAINAGE \ Gutters and Downspouts

4. Condition: • Missing

Missing gutters, recommend installing to control water drainage around foundation and prevent water splashing on exterior wall. Recommend installing slightly lower to prevent snow or ice from damaging them.

Location: Various Front Exterior Roof

Task: Provide

Time: Less than 1 year

Cost: Minor

EXTERIOR

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



46. Missing

ROOF DRAINAGE \ Downspouts

5. Condition: • Discharge too close to building

Downspout ends too close to building, recommend adding an extension to ensure water drains far enough from foundation wall to prevent movement.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Rear Exterior

Task: Improve

Time: Less than 1 year

Cost: Minor

EXTERIOR

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

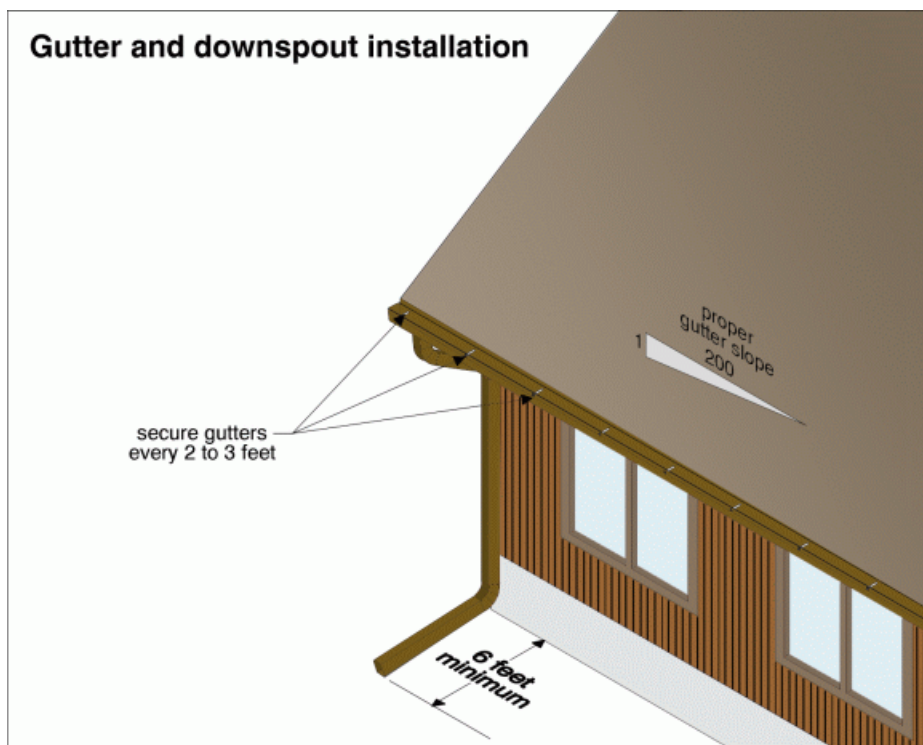
INSULATION

PLUMBING

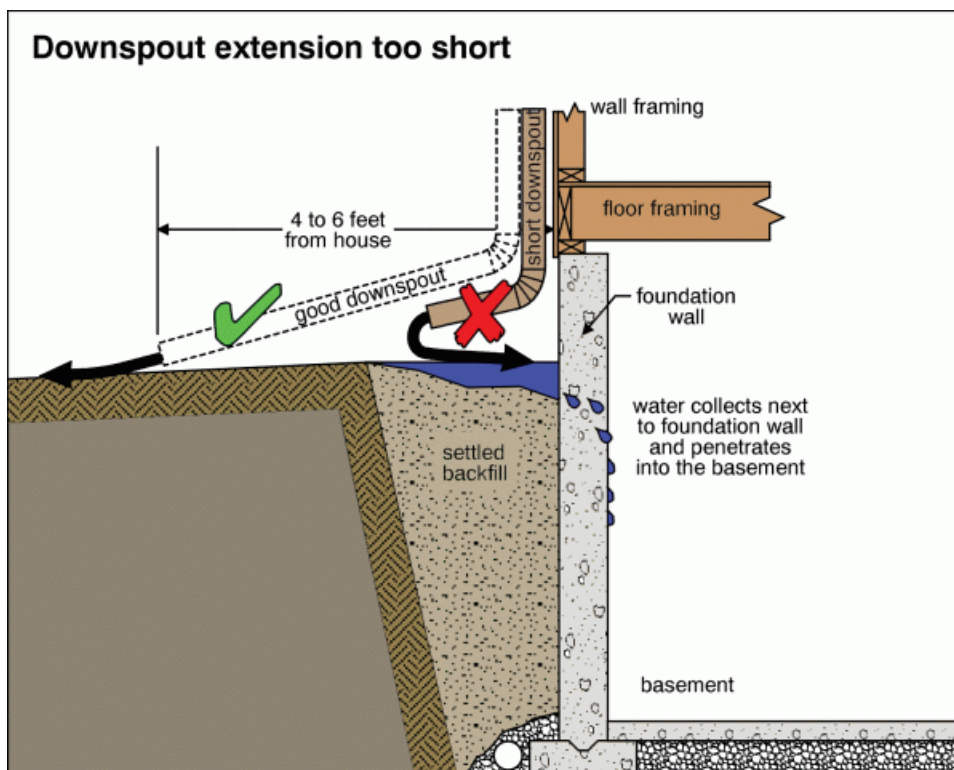
INTERIOR

REFERENCE

Gutter and downspout installation



Downspout extension too short



EXTERIOR

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

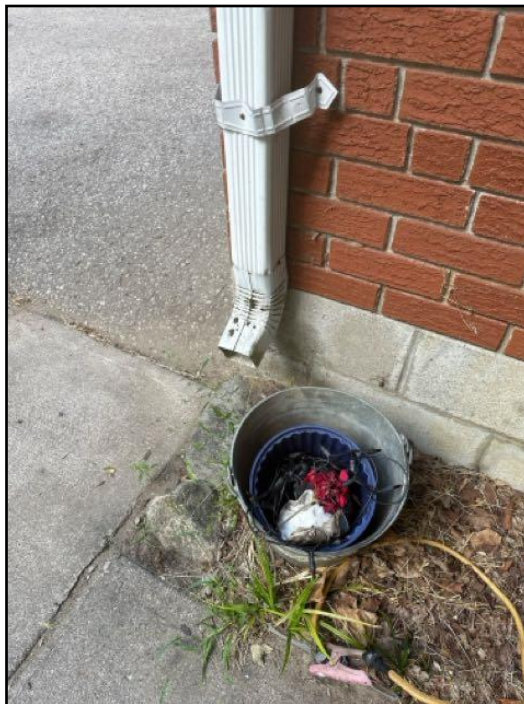
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



47. Discharge too close to building

6. Condition: • Missing

Missing downspouts, consider installing a plastic chain from gutter to the ground to prevent splashing of water on walls or adding downspouts.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Rear Exterior Roof

Task: Improve

Time: Less than 1 year

Cost: Minor

EXTERIOR

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

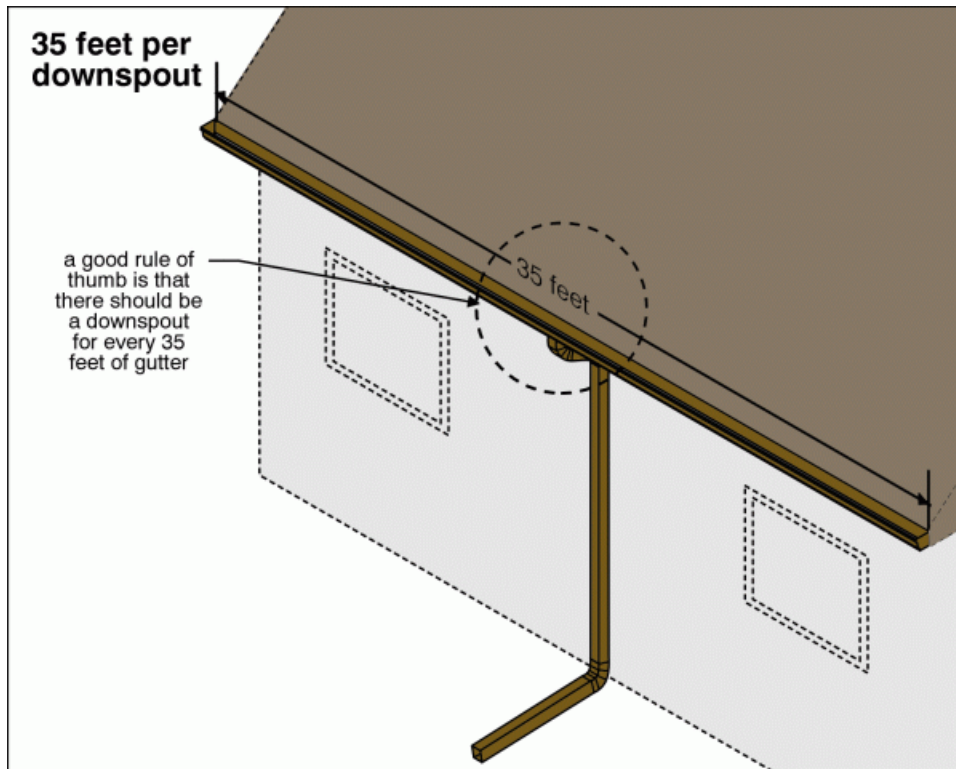
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



48. Missing



49. Missing

EXTERIOR

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



50. Missing

WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)

7. Condition: • Damage

Damaged fascia trim, recommend replacing soon to prevent weather and rodents from entering.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Right Side Exterior Garage

Task: Repair or replace

Time: When remodelling

Cost: Minor

EXTERIOR

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



51. Damage

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Joists

8. Condition: • Rot

Rear deck floor boards and floor joist are rotten, recommend repairs or replacing within a year.

Implication(s): Weakened structure | Chance of movement

Location: Rear Exterior Deck

Task: Repair or replace

Time: Less than 1 year

Cost: Depends on approach

EXTERIOR

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

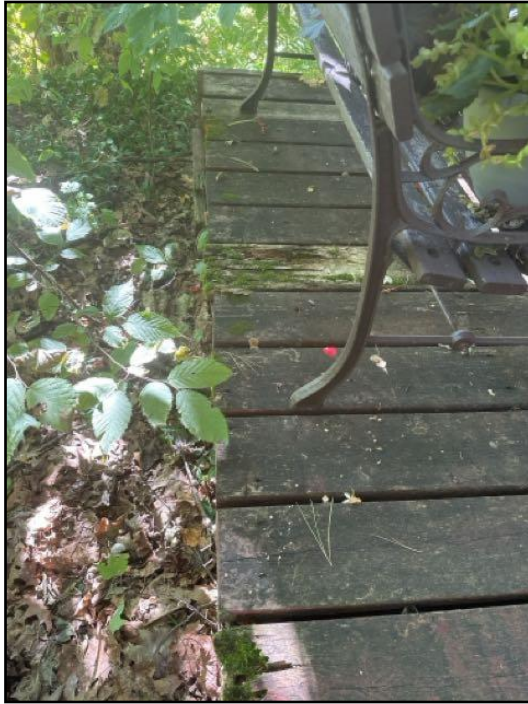
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



52. Rot



53. Rot



54. Rot

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Stairs and landings

9. Condition: • Rot

Staircase on the left side of exterior of house is rotten, recommend replacing.

EXTERIOR

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Implication(s): Weakened structure | Material deterioration

Location: Left Side Exterior

Task: Replace

Time: Less than 1 year

Cost: Minor



55. Rot

LANDSCAPING \ Lot grading

10. Condition: • Improper slope or drainage

Poor drainage in front of crawlspace hatch, recommend improving grade or installing a drain to prevent water from entering crawlspace.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Left Side Exterior

Task: Improve

Time: Less than 1 year

Cost: Minor Depends on approach

EXTERIOR

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

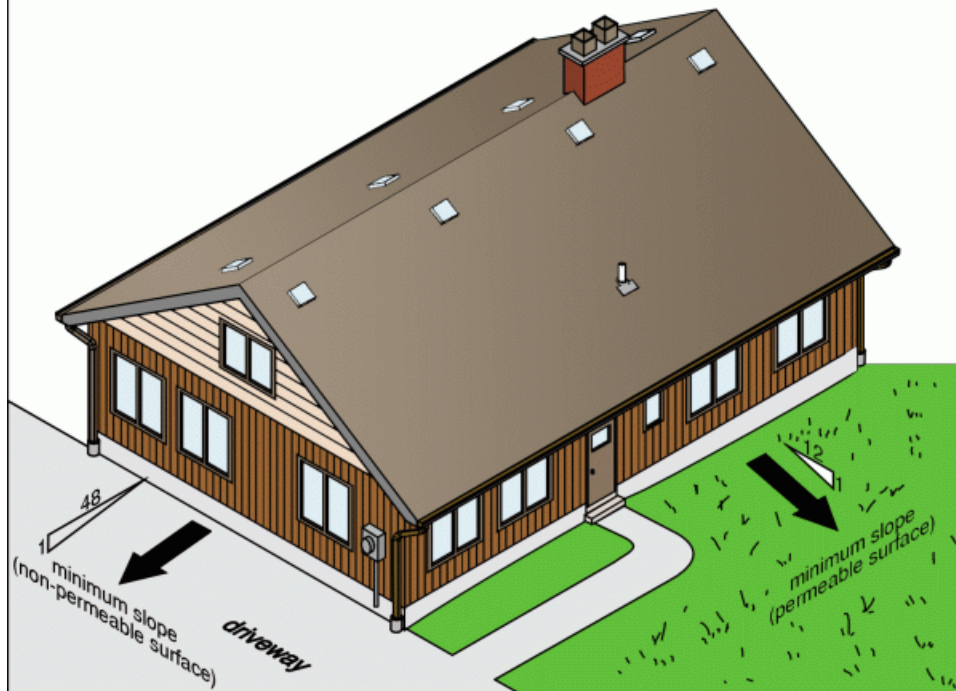
INSULATION

PLUMBING

INTERIOR

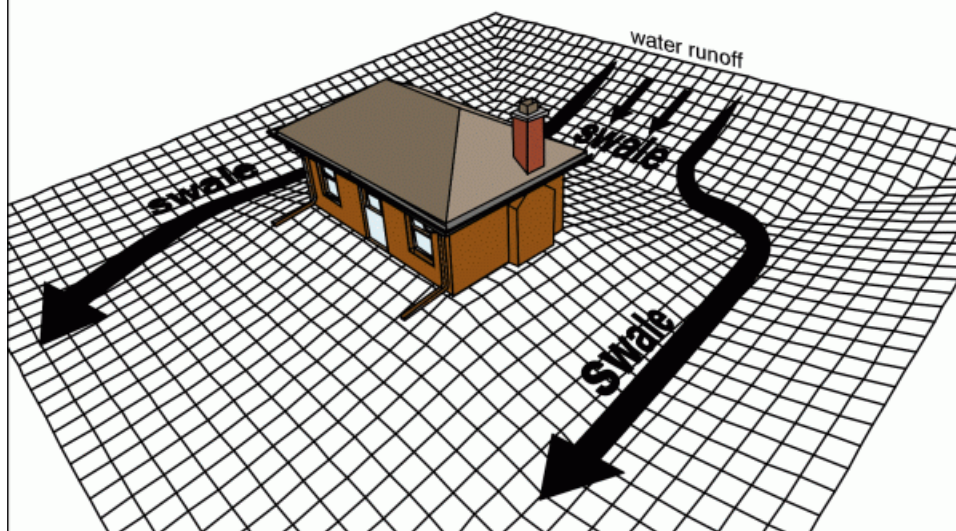
REFERENCE

Recommended grading slopes



Swales

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation



EXTERIOR

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



56. *Improper slope or drainage*

Description

Configuration:

• Crawlspace

Crawlspace in very good condition, recommend improving water drainage at the crawlspace exterior access hatch to prevent water from entering crawlspace.



57. Crawlspace



58. Crawlspace



59. Crawlspace



60. Crawlspace

STRUCTURE

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



61. Crawlspace



62. Crawlspace



63. Crawlspace



64. Crawlspace

STRUCTURE

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



65. Crawlspace

Foundation material: • Masonry block

Floor construction: • Joists

Exterior wall construction: • Wood frame

Roof and ceiling framing: • Trusses

Limitations

Inspection limited/prevented by: • Ceiling, wall and floor coverings • Carpet/furnishings • Insulation

Attic/roof space: • Entered but access was limited

Crawlspace: • Entered but access was limited

Percent of foundation not visible: • 75 %

Recommendations

RECOMMENDATIONS \ Overview

11. Condition: • No structure recommendations are offered as a result of this inspection.

Description

Service entrance cable and location:

- Underground - cable material not visible



66. Underground - cable material not visible

Service size: • 200 Amps (240 Volts)

Main disconnect/service box rating:

- 200 Amps

ELECTRICAL

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



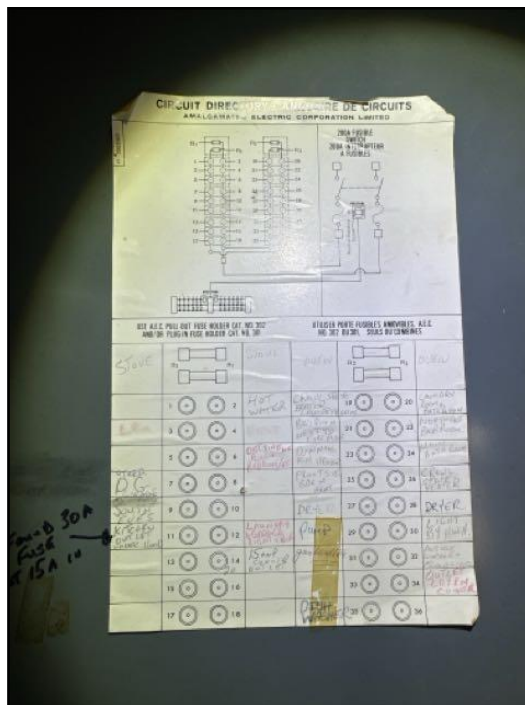
67. 200 Amps



68. 200 Amps



69. 200 Amps



70. 200 Amps

ELECTRICAL

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



71. 200 Amps

Main disconnect/service box type and location: • Fuses - garage

System grounding material and type: • Copper - water pipe and ground rod

Distribution panel type and location: • Fuses - garage

Distribution panel rating: • 200 Amps

Electrical panel manufacturers: • Amalgamated Electric

Auxiliary panel (subpanel) type and location: • Fuses - garage

Auxiliary panel (subpanel) rating: • 15A

Number of circuits installed: • 27

Distribution wire (conductor) material and type: • Copper - non-metallic sheathed

Type and number of outlets (receptacles): • Grounded - typical

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • None

Smoke alarms (detectors): • Present

Limitations

System ground: • Continuity not verified • Quality of ground not determined

Circuit labels: • The accuracy of the circuit index (labels) was not verified.

Recommendations

DISTRIBUTION SYSTEM \ Wiring (wires) - installation

12. Condition: • All wire connections must be protected in a metal box with a cover plate for safety.

Location: Garage

Task: Protect

Time: Immediate

Cost: Minor



72.



73.

DISTRIBUTION SYSTEM \ Outlets (receptacles)

13. Condition: • Damage

Damaged outlet should be replaced as soon as possible for safety.

Implication(s): Electric shock | Fire hazard

Location: First Floor Bedroom

Task: Replace

Time: Immediate

Cost: Minor



74. Damage

14. Condition: • GFCI/GFI needed (Ground Fault Circuit Interrupter)

GFI receptacles protect you from shock whenever water, moisture, or the weather is near a receptacle, recommend replacing receptacles with GFCI receptacles in the future. Kitchen outlet to the right of sink has a light switch, consider adding a GFI breaker to this circuit instead.

Exterior wall and bathroom.

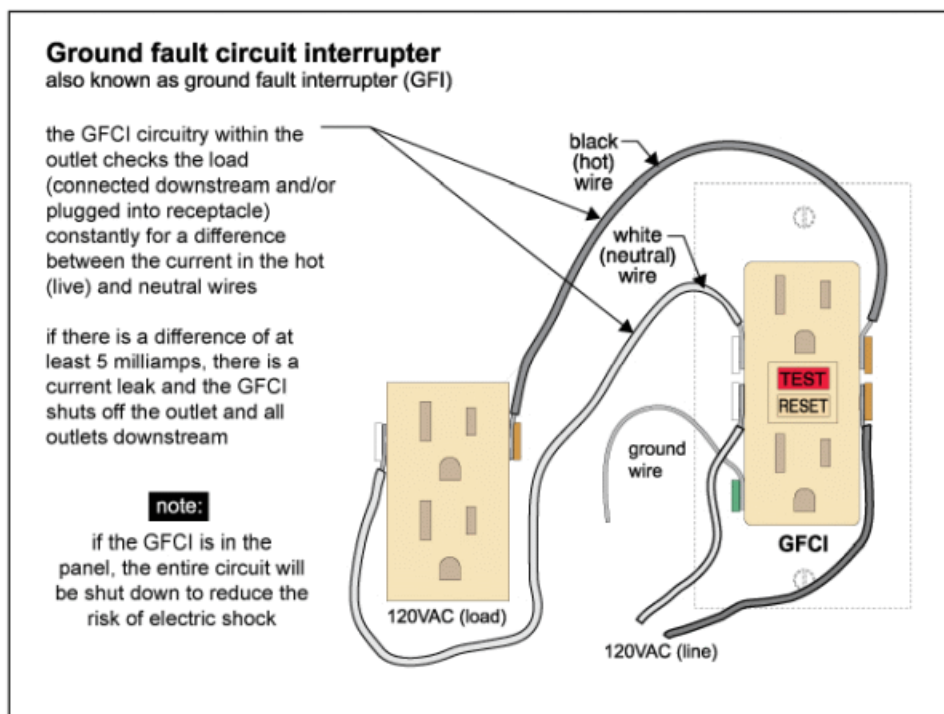
Implication(s): Electric shock

Location: First Floor Exterior Wall

Task: Replace

Time: Less than 1 year

Cost: Minor



75. GFCI/GFI needed (Ground Fault Circuit...



76. GFCI/GFI needed (Ground Fault Circuit...

ELECTRICAL

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



77. GFCI/GFI needed (Ground Fault Circuit...



78. GFCI/GFI needed (Ground Fault Circuit...

DISTRIBUTION SYSTEM \ Cover plates

15. Condition: • Missing

Missing cover plate, recommend providing, Living room.

Implication(s): Electric shock



79. Missing

Description

General:

- Radon

Radon levels measured 0 Bq/m³ during the time of inspection, safe levels in Canada are below 200 Bq/m³.

For a more accurate reading, testing should be done over a 3 month period or more.



80. Radon

Heating system type:

- Electric baseboard heaters

All baseboard heaters tested fine except one in the living room.

Consider upgrading to a split system heat pump, there is a government incentive to replace electric baseboard heaters. See if you qualify.

HEATING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

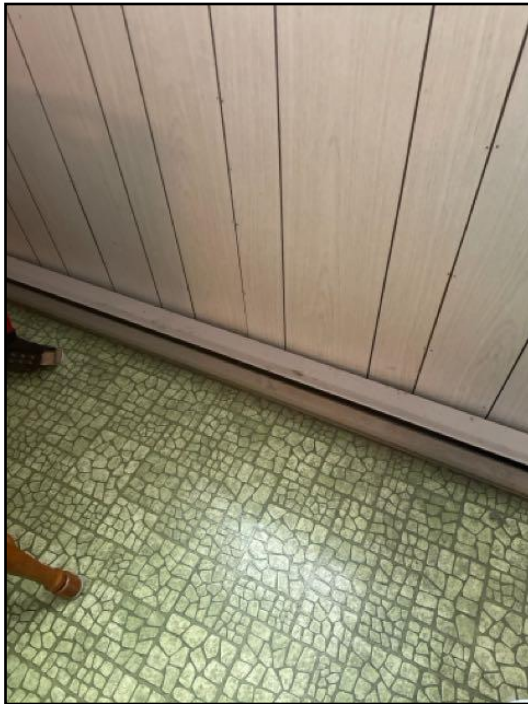
COOLING

INSULATION

PLUMBING

INTERIOR

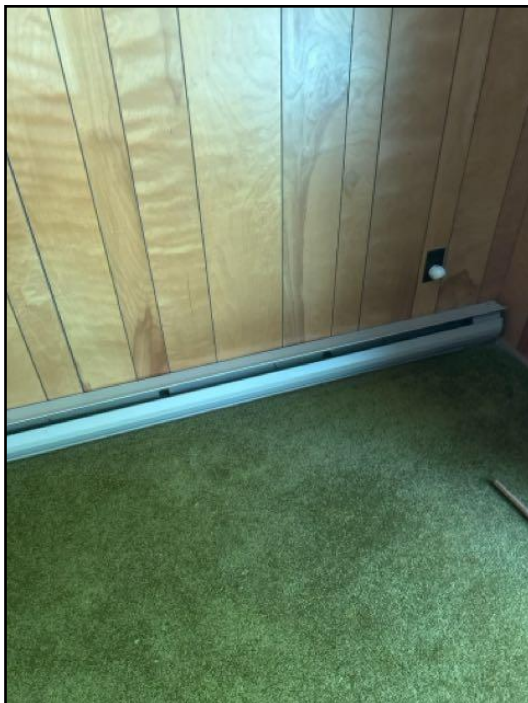
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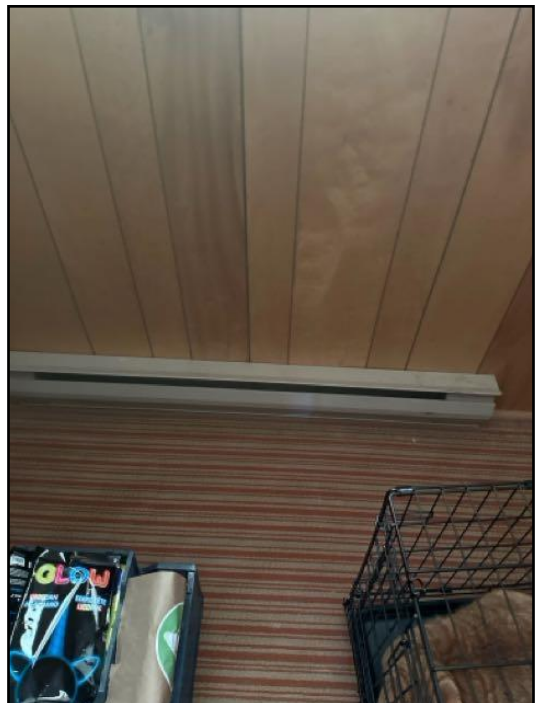
81. Electric baseboard heaters



82. Electric baseboard heaters



83. Electric baseboard heaters



84. Electric baseboard heaters

HEATING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

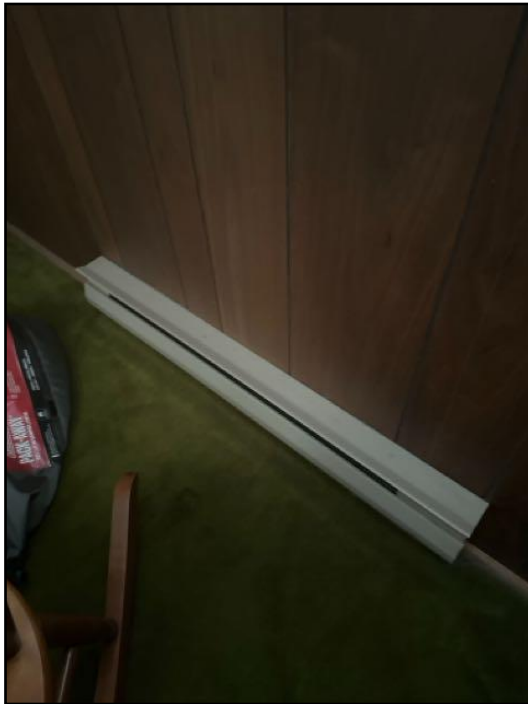
COOLING

INSULATION

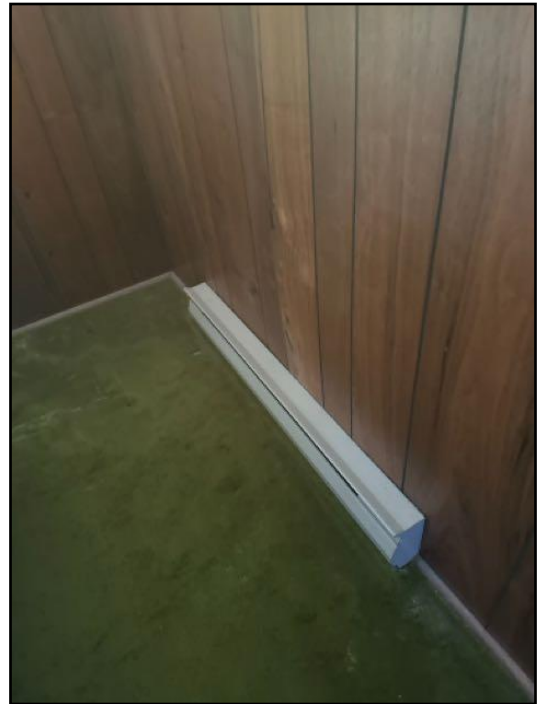
PLUMBING

INTERIOR

REFERENCE



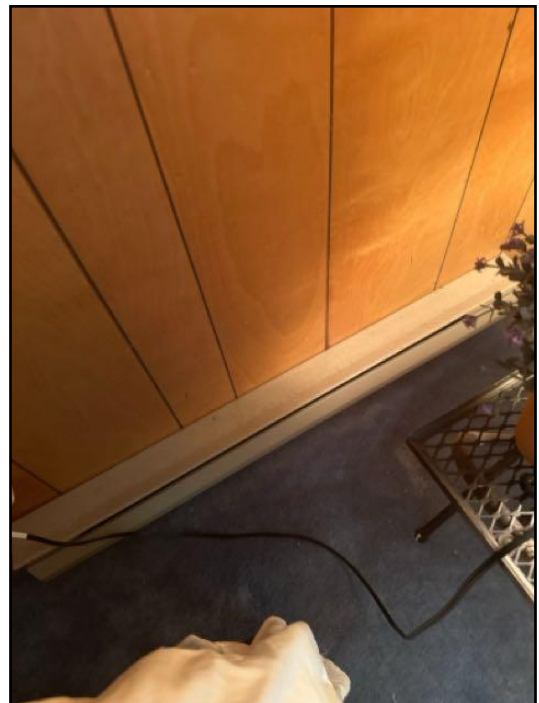
85. Electric baseboard heaters



86. Electric baseboard heaters



87. Electric baseboard heaters



88. Electric baseboard heaters

HEATING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

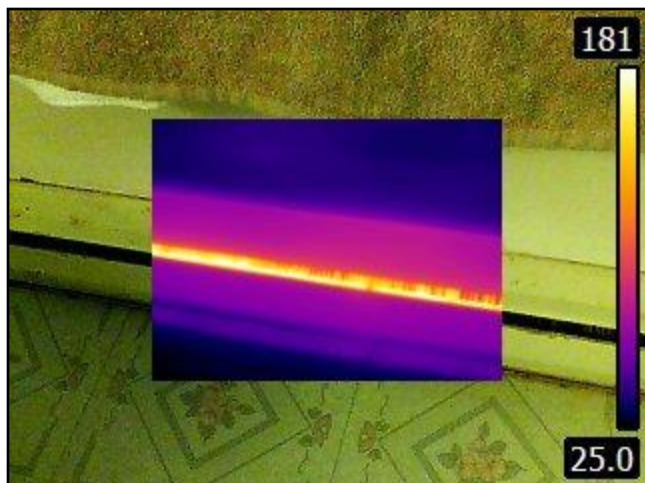
COOLING

INSULATION

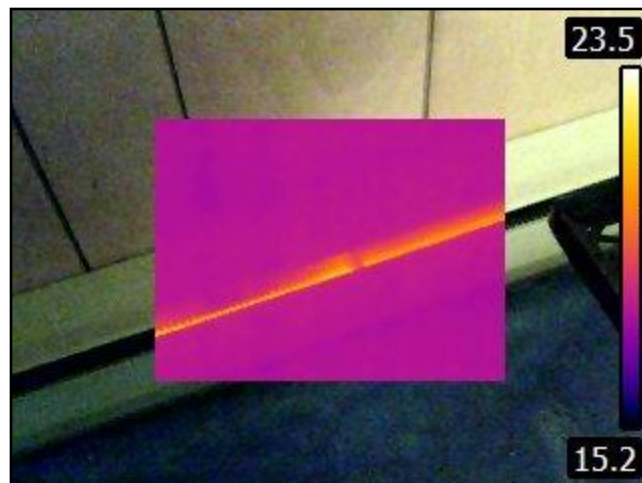
PLUMBING

INTERIOR

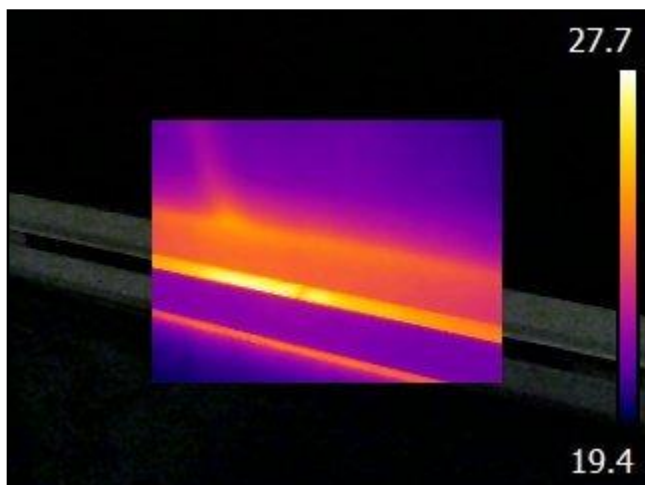
REFERENCE



89. Electric baseboard heaters



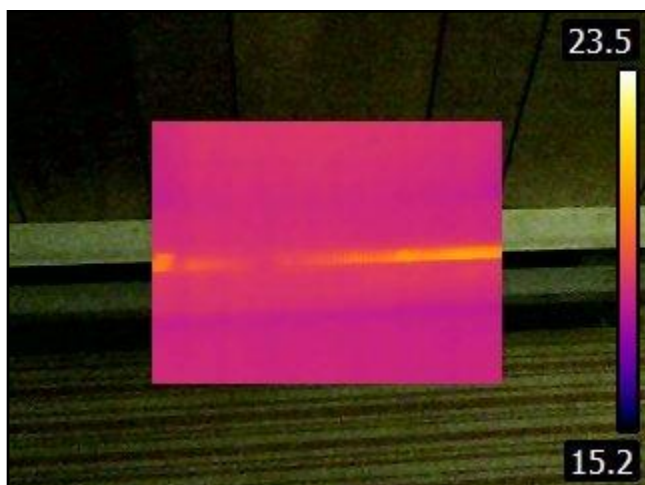
90. Electric baseboard heaters



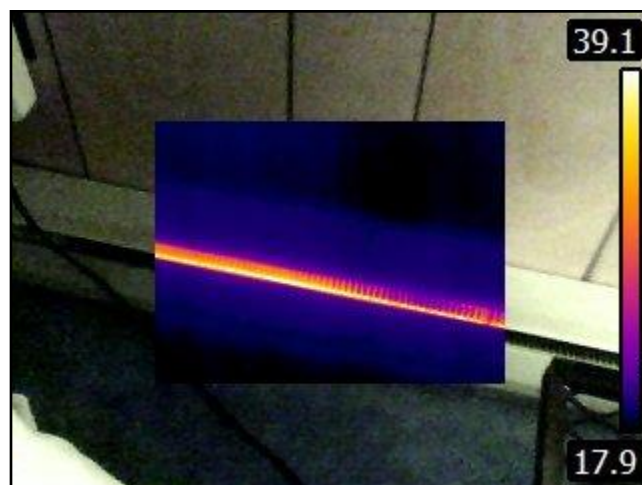
91. Electric baseboard heaters



92. Electric baseboard heaters



93. Electric baseboard heaters



94. Electric baseboard heaters

HEATING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

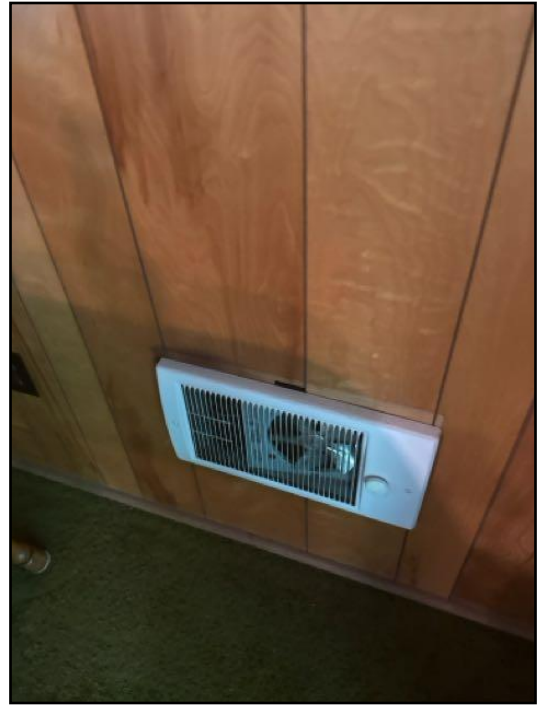
REFERENCE

- Space heaters

All space heaters tested fine except two, one in the dining area and the second in the floor of the living room.



95. Space heaters



96. Space heaters



97. Space heaters



98. Space heaters

HEATING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

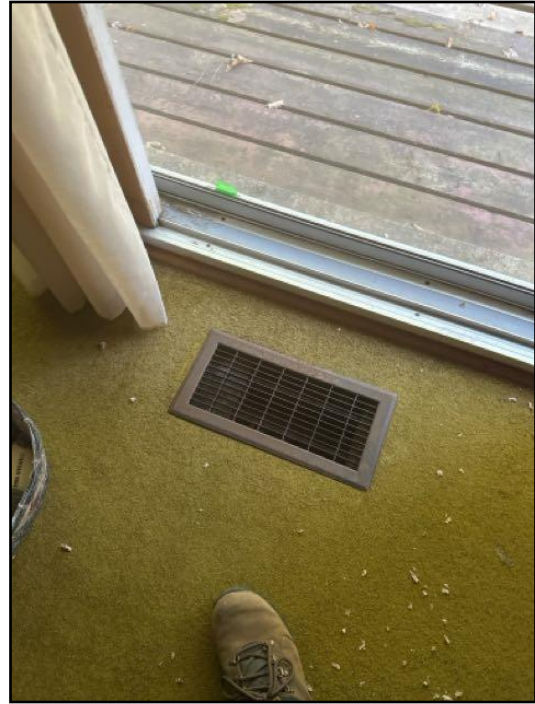
PLUMBING

INTERIOR

REFERENCE



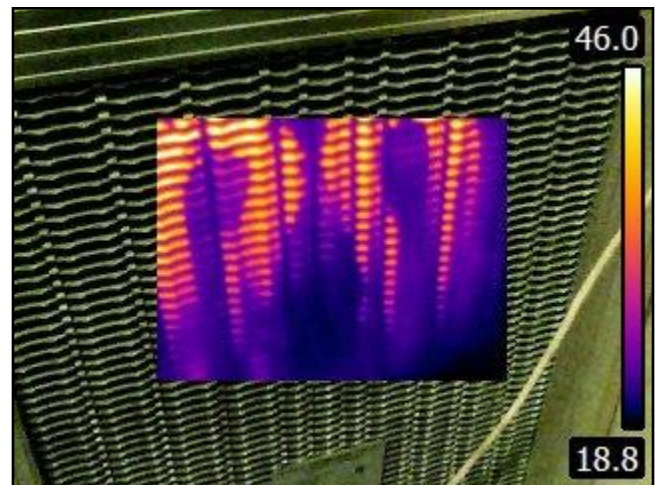
99. Space heaters



100. Space heaters



101. Space heaters



102. Space heaters

HEATING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

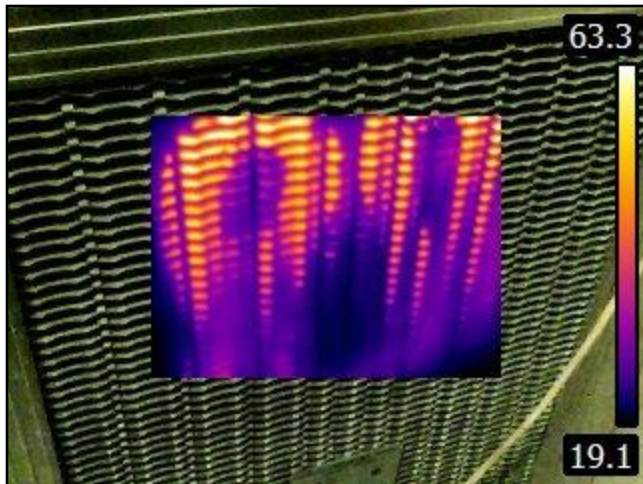
COOLING

INSULATION

PLUMBING

INTERIOR

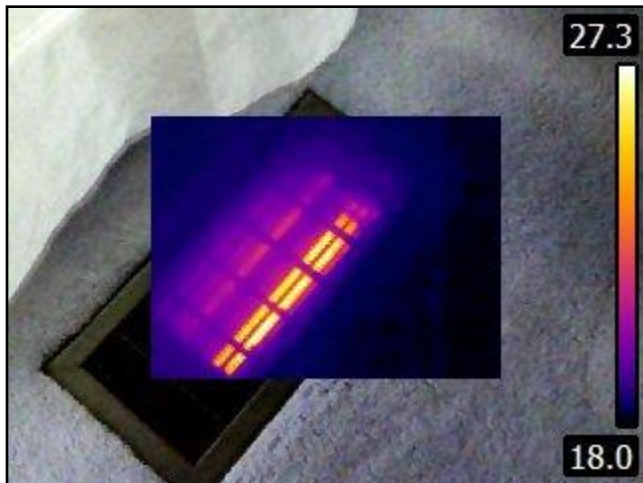
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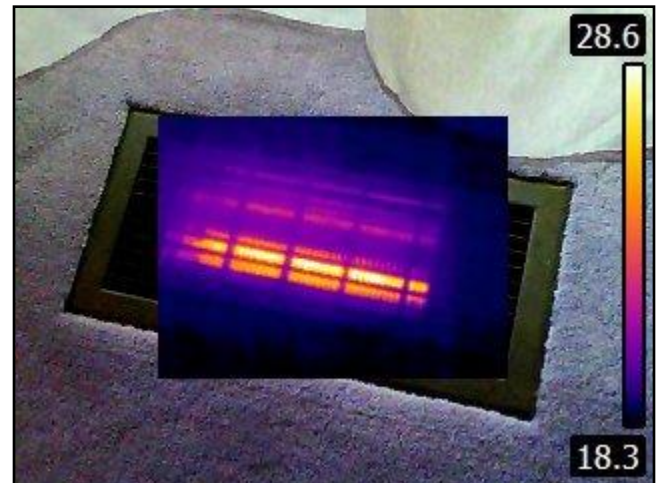
103. Space heaters



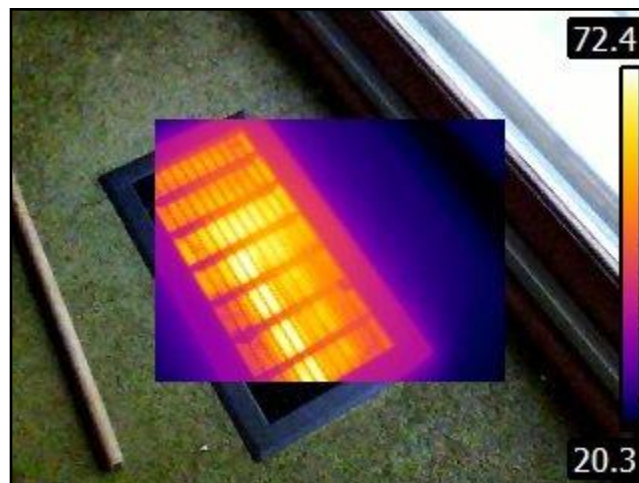
104. Space heaters



105. Space heaters



106. Space heaters



107. Space heaters

HEATING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

- Wood stove

FYI- Prior to lighting wood stove during the heating season, prepare wood in chamber open damper valve to full, crack open a window and prior to lighting, heat chamber opening with a hair dryer to ensure draft is going up the chimney and then proceed to light to ensure no smoke enters the home. When the fire is roaring hot after several minutes the damper can be closed fully or to the desired setting, closing fully will have logs in the wood stove last longer. And chimney should be cleaned before and after each heating season.

Also, provide an ash pail with a lid for the safe removal of ashes.

Woodstove appears to meet combustible clearances.



108. Wood stove

Fuel/energy source: • Electricity • Wood

Heat distribution: • Baseboards

Efficiency: • Conventional

Fireplace/stove:

- Wood stove insert
- With a metal continuous liner.

Chimney/vent:

- Masonry

HEATING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

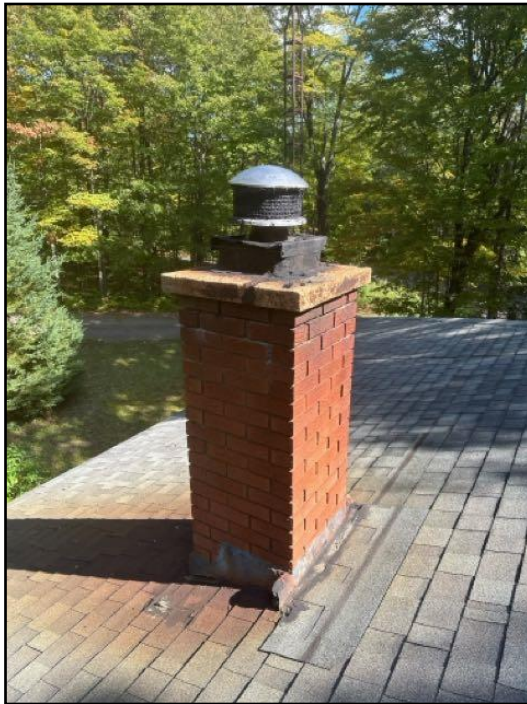
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



109. Masonry



110. Masonry

Chimney liner: • Metal

Mechanical ventilation system for building: • Kitchen exhaust fan • Bathroom exhaust fan

Location of the thermostat for the heating system: • Each room with independent thermostats

Limitations

Safety devices: • Not tested as part of a building inspection

Heat loss calculations: • Not done as part of a building inspection

Fireplace/wood stove: • Quality of chimney draw cannot be determined

Recommendations

SPACE HEATER \ Electric baseboard heater/space heater

16. Condition: • Inoperative heaters

Inoperative heaters in the living room and dining room, recommend further investigation, suspect a loose wire.

Implication(s): No heat for building

Location: First Floor Living Room Kitchen

Task: Further evaluation

Time: Less than 1 year

Cost: Minor

HEATING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

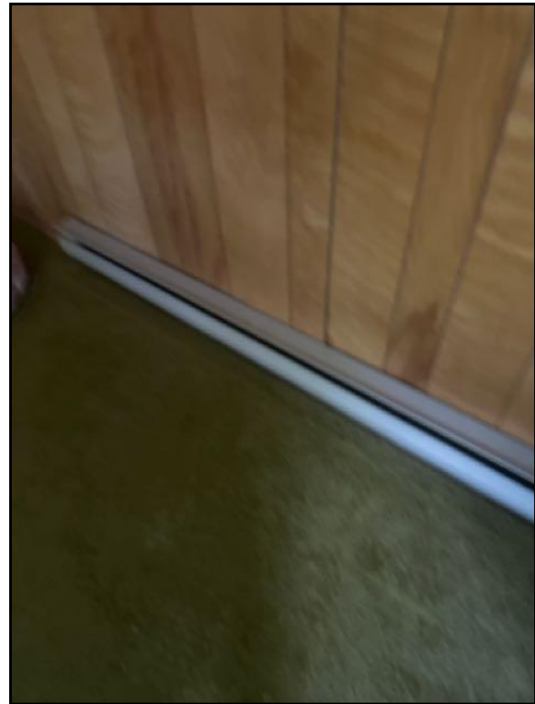
PLUMBING

INTERIOR

REFERENCE



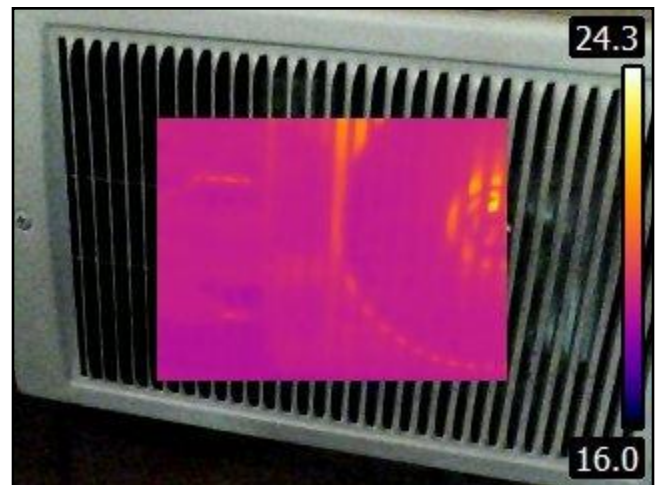
111. Inadequate heat



112. Inoperative heaters



113. Inoperative heaters



114. Inoperative heaters

HEATING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



115. Inoperative heaters

17. Condition: • Electrical receptacle above heater

Receptacles above the baseboards are fire hazards when in use. Recommend re-locating the receptacles/heaters when remodeling and avoid using receptacles when baseboards are in use. Recommend inserting plastic plugs as a reminder. Main floor Living room.

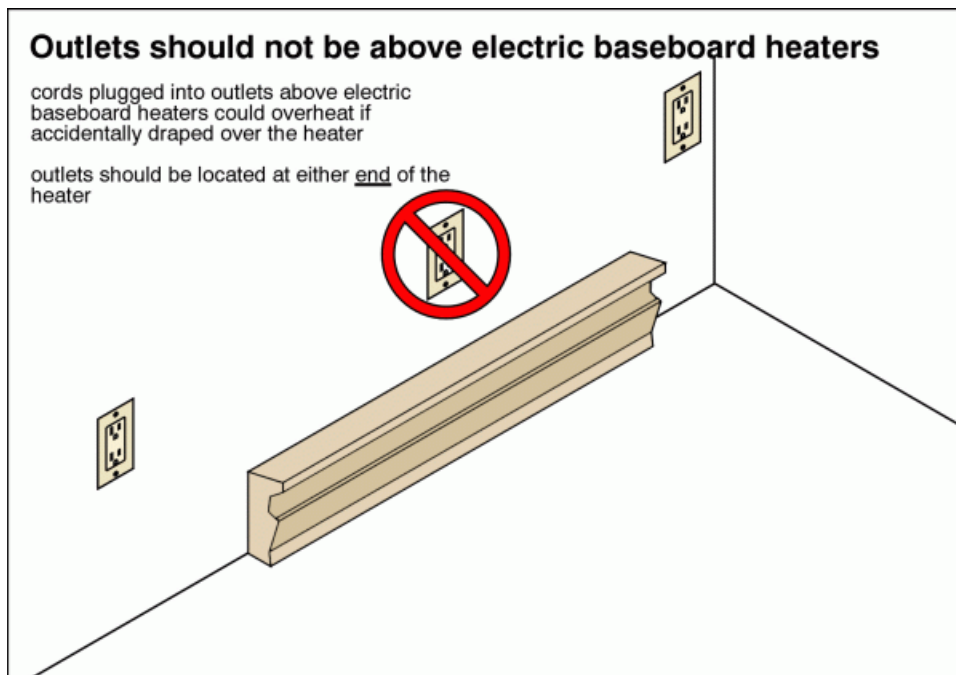
Implication(s): Fire hazard

Location: First Floor Living Room

Task: Improve Monitor

Time: Ongoing

Cost: Minor



HEATING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



116. *Electrical receptacle above heater*

SPACE HEATER \ Furnace blower

18. Condition: • Noisy

Kitchen space heater fan is noisy, recommend cleaning fan.

Implication(s): Reduced system life expectancy | Increased heating costs | Reduced comfort

Location: First Floor Bathroom

Task: Replace Clean

Time: Less than 1 year

Cost: Depends on work needed

HEATING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



117. Noisy

CHIMNEY AND VENT \ Masonry chimney

19. Condition: • Spalling

Masonry Chimney is starting to spall near the top, recommend monitoring and making repairs when necessary.

Implication(s): Material deterioration

Location: Exterior Roof

Task: Repair Monitor

Time: Less than 1 year

Cost: Minor

HEATING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

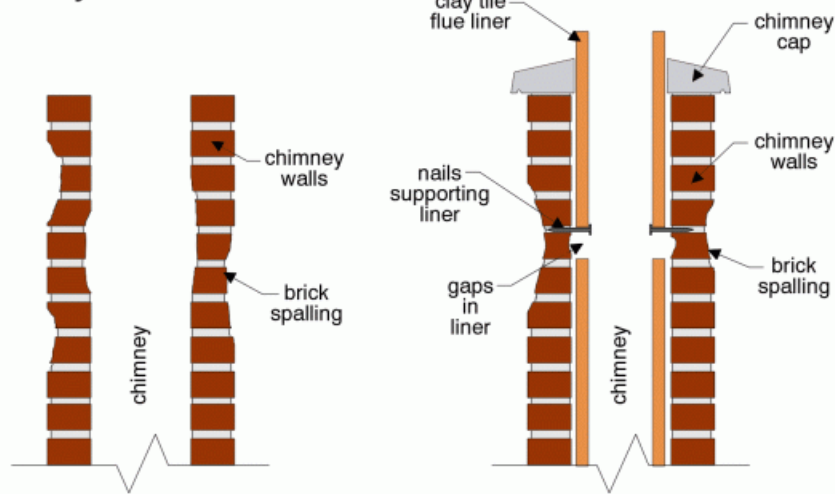
INSULATION

PLUMBING

INTERIOR

REFERENCE

Chimney deterioration



unlined chimneys are particularly prone to damage caused by condensation of flue gases - the damage tends to be worse near the top of the chimney

even lined chimneys can suffer from condensation related brick damage



118. Spalling

CHIMNEY AND VENT \ Metal chimney or vent

20. Condition: • Creosote buildup

Chimney cap is completely clogged with creosote, recommend cleaning prior to use. Ensure to use seasoned fire wood prior to burning to reduce the amount of creosote buildup.

HEATING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Implication(s): Hazardous combustion products entering home | Increased fire hazard

Location: Exterior Roof

Task: Improve Clean

Time: Immediate

Cost: Minor



119. *Creosote buildup*

COOLING & HEAT PUMP

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
REFERENCE									

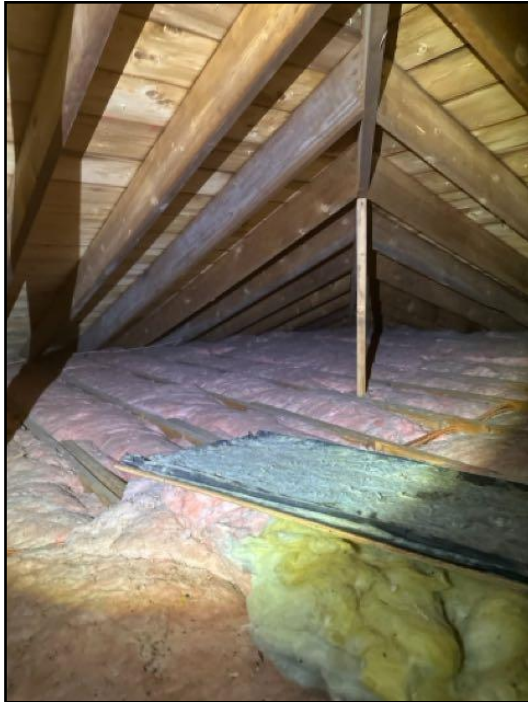
Description

Air conditioning type: • None present

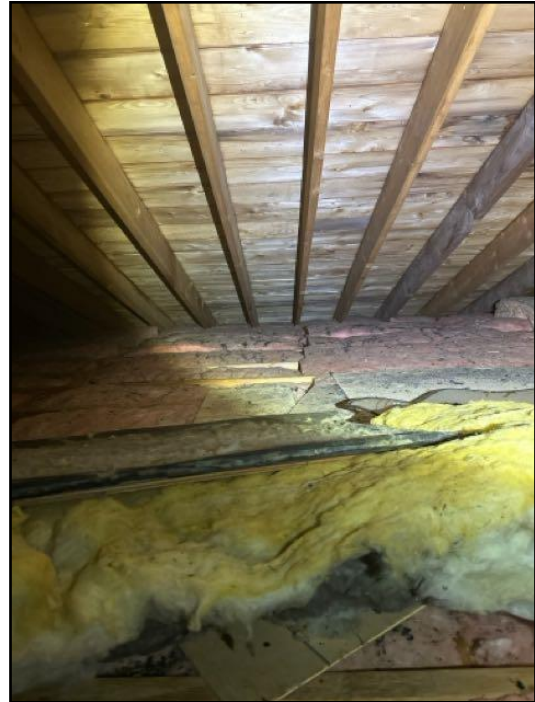
Description

Attic/roof insulation material:

- Glass fiber



120. Glass fiber



121. Glass fiber



122. Glass fiber



123. Glass fiber

INSULATION AND VENTILATION

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

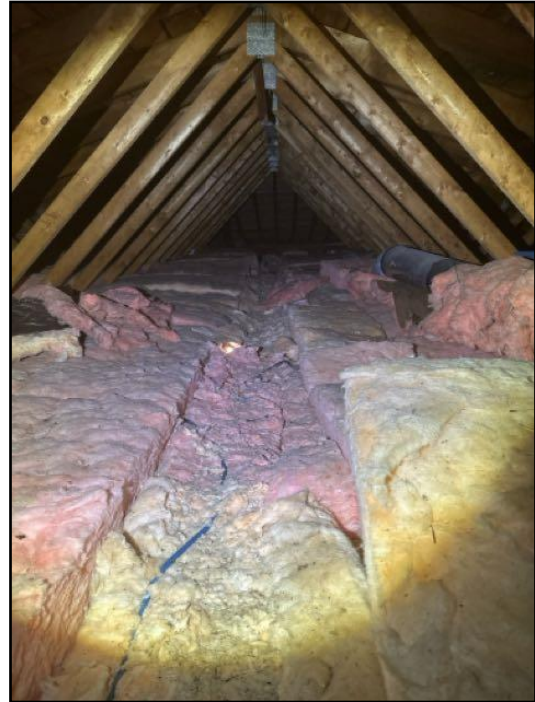
PLUMBING

INTERIOR

REFERENCE



124. Glass fiber



125. Glass fiber

Attic/roof insulation amount/value: • R-40

Attic/roof air/vapor barrier: • Kraft paper

Attic/roof ventilation: • Roof vent • Soffit vent • Ridge vent • Turbine vent

Wall insulation material: • Glass fiber

Wall insulation amount/value: • R-20

Wall air/vapor barrier: • Kraft paper

Foundation wall insulation material: • Plastic/foam board

Foundation wall insulation amount/value: • R-4

Foundation wall air/vapor barrier: • Plastic/Foamboard

Crawlspace ventilation: • Wall Vents

Mechanical ventilation system for building: • Kitchen exhaust fan • Bathroom exhaust fan

Limitations

Inspection limited/prevented by lack of access to: • Wall space • Floor space • Walls, which were spot checked only

Attic inspection performed: • From access hatch

Roof ventilation system performance: • Not evaluated

Air/vapor barrier system: • Continuity not verified

Mechanical ventilation effectiveness: • Not verified

Recommendations

ATTIC/ROOF \ Insulation

21. Condition: • Possible Zonolite (vermiculite)

Vermiculite present, Not all vermiculite has asbestos, only a company called Zonolite had asbestos contamination.

Vermiculite is safe as long as its left alone and not disturbed. Recommend testing for asbestos. And or sealing the attic space, some vermiculite noted around duct pipes and a few voids of insulation.

Implication(s): Environmental contamination

Location: Attic



126. Vermiculite

Description

Water supply source (based on observed evidence):

- Private

Recommend testing water quality 2 to 3 times yearly to ensure conditions have not changed. testing is free through the township office. They will provide bottles for sampling, ensure to run cold water for 10 minutes before taking samples. (some faucet will contain bacteria at the tip of faucet usually found in kitchens and give you false readings.

Drilled well located inside dug well casing in the left side yard.



127. Private



128. Private

Service piping into building: • Plastic

Supply piping in building: • Copper

Main water shut off valve at the:

- Crawlspace



129. Crawlspace



130. Crawlspace

Water flow and pressure: • Typical for neighborhood

Water heater type:

- Conventional



131. Conventional



132. Conventional

Water heater location: • Crawl space

Water heater fuel/energy source: • Electric

Water heater manufacturer: • Giant

Water heater tank capacity: • 40 gallons

Water heater approximate age: • 18 years

Water heater typical life expectancy: • 15 to 20 years seasonal use.

Water heater failure probability: • High

Waste disposal system:

• Septic system

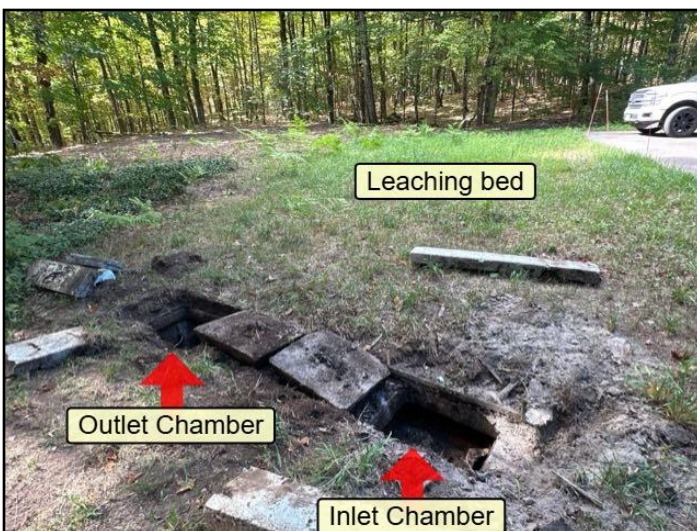
Onsite sewage system is good condition and functioning fine. Flow test conducted for 15 minutes and leaching bed tested fine. Recommend pumping in summer of 2026 and then pumped every 3-5 years afterwards, avoid pumping in the fall or winter whenever possible, chance of freezing and cracking tank. (Sewage generates heat and does not allow tank to freeze) Recommend dumping yogurt once a month or every few visits to promote good bacteria and avoid using harsh chemicals that could kill the bacteria.

Cooking grease should never be dumped down the drain, risk of clogging the leaching bed. Collect cooking grease in a glass jar and dispose of at the dump.

Avoid driving heavy vehicles over septic tank and leaching bed and keep leaching bed clear of trees and shrubs (roots can clog pipes).

3600L concrete septic tank is sized for 3 bedrooms up to 20 fixture units and up 2200 sqft of living space, 6 people every day all year.

Outlet baffle has been repaired, monitor during each pump out and replace when necessary.



133. Septic system

PLUMBING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



134. Septic system



135. Septic system



136. Septic system

PLUMBING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

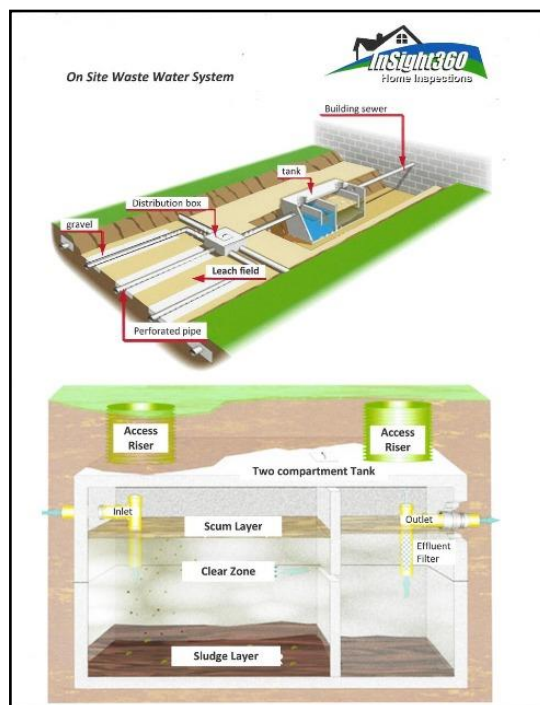
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



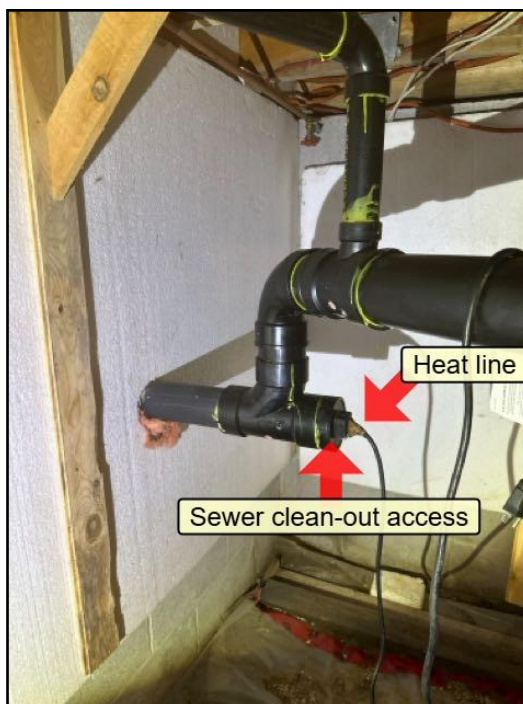
137. *Septic system*

Waste and vent piping in building: • ABS plastic

Sewer cleanout location:

- Crawlspace

Heat line installed inside the main waste pipe to the septic tank, monitor and power on when necessary.

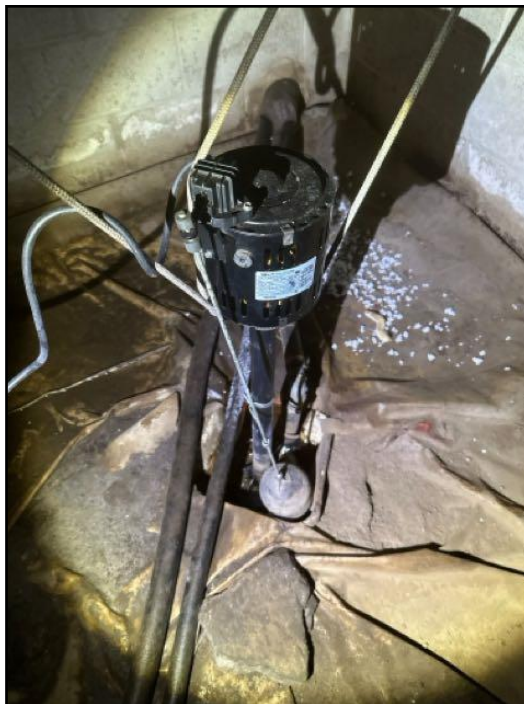


138. *Crawlspace*

Pumps:

- Sump pump

Sump pump tested fine. Recommend installing a battery backup sump pump in the event of a power failure. And monitor exterior discharge pipe for freezing during the winter months especially in the spring.



139. Sump pump

Floor drain location: • Sump pump installed

Water treatment system: • None found

Exterior hose bibb (outdoor faucet):

- Frost free

PLUMBING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

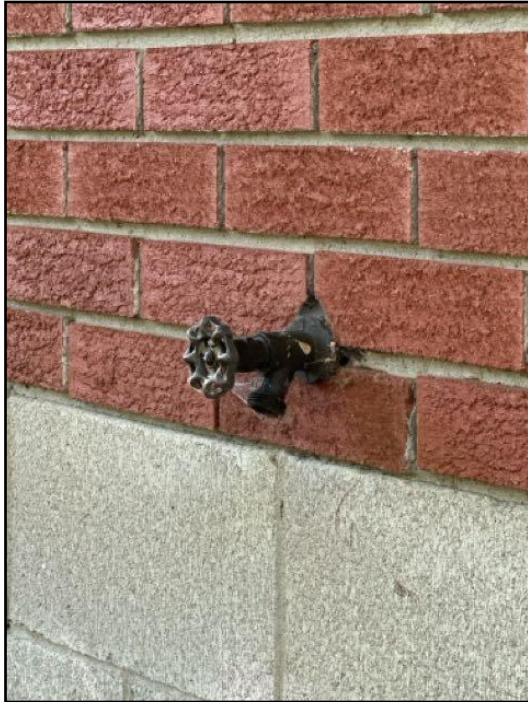
COOLING

INSULATION

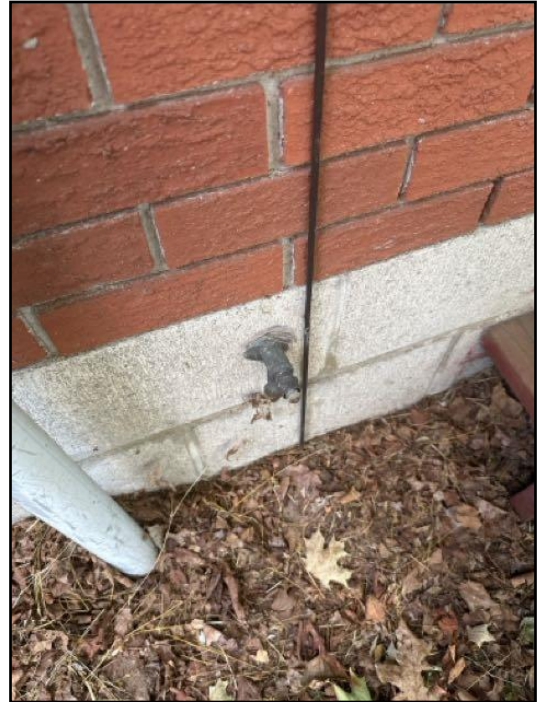
PLUMBING

INTERIOR

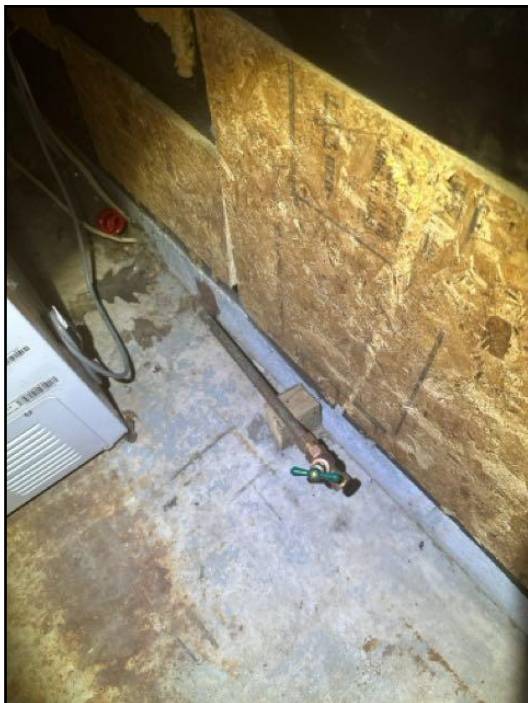
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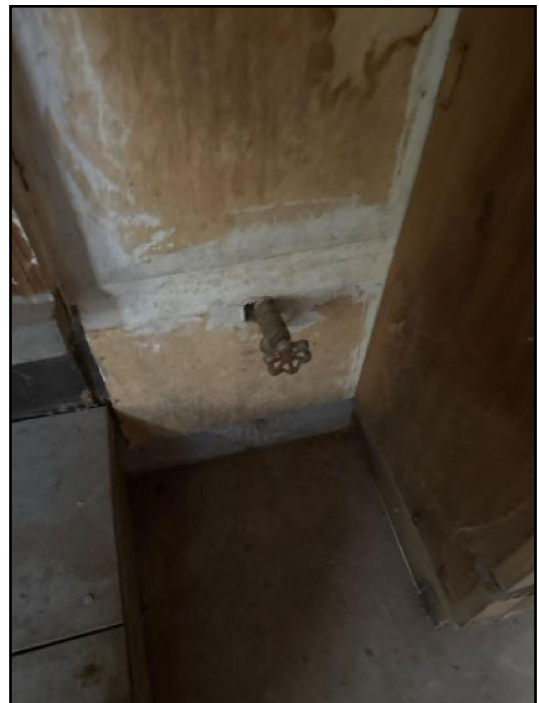
140. Frost free



141. Frost free



142. Frost free



143. Frost free

Limitations

Items excluded from a building inspection: • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains

Recommendations

SUPPLY PLUMBING \ Water pressure tank (Expansion tank)

22. Condition: • Waterlogged

Water pump runs continuously, suspect pressure tank is water logged, recommend replacing pressure tank.

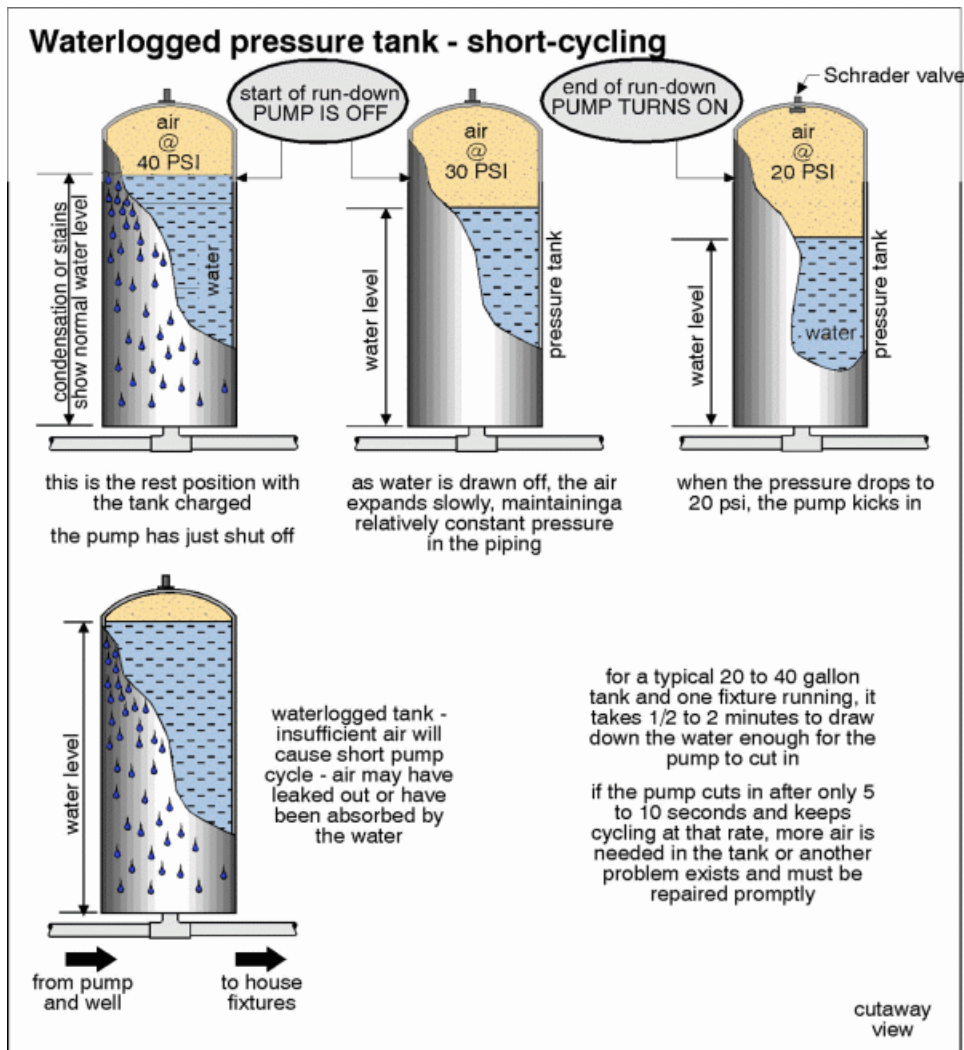
Implication(s): Reduced system life expectancy | Equipment not operating properly | Reduced water pressure and volume

Location: Crawl Space

Task: Replace

Time: Immediate

Cost: Minor



PLUMBING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



144. Waterlogged

WATER HEATER \ Life expectancy

23. Condition: • Near end of life expectancy

Hot water tank is near the end of its life, recommend monitoring bottom for moisture and replacing when necessary. Water heater is a rental.

Implication(s): No hot water

Location: Crawl Space

Task: Monitor

Time: Ongoing

Cost: Minor

WASTE PLUMBING \ Venting system

24. Condition: • Vent termination problems

Both waste vent pipe are too long and should terminate only 12" from exterior wall. When kitchen sink is used during the winter months we risk moist air freezing at the very tip and eventually clogging the pipe. When the pipe is clogged gargling sounds will be heard at the sink and possibly sewer gasses. Recommend drilling 4 holes in the pipe 12" above roof line. (1/8" holes)

Implication(s): Reduced operability | Sewer gases entering the building

Location: Exterior Roof

Task: Improve

Time: Less than 1 year

Cost: Minor

PLUMBING

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

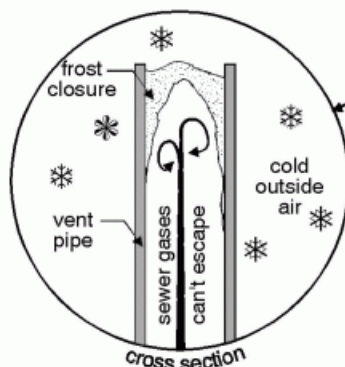
PLUMBING

INTERIOR

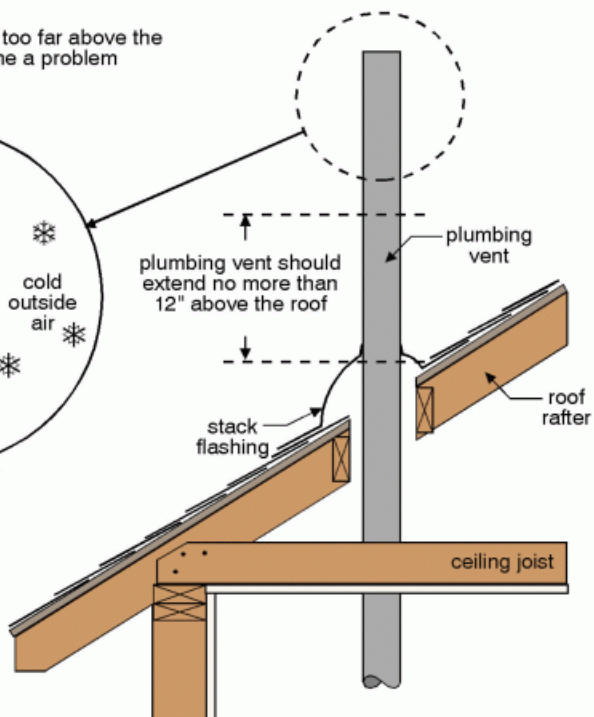
REFERENCE

Vent too tall

if the plumbing vent extends too far above the roof, frost closure can become a problem



note:
on flat roofs, the vent should extend at least 6" above the high water level



145. Vent termination problems



146. Vent termination problems

FIXTURES AND FAUCETS \ Faucet

25. Condition: • Drip, leak

Shower faucet has a small leak, recommend replacing cartridge or replacing faucet when remodeling.

Implication(s): Chance of water damage to structure, finishes and contents

Location: First Floor Bathroom

Task: Repair

Time: Less than 1 year

Cost: Minor



147. Drip, leak

FIXTURES AND FAUCETS \ Basin, sink and laundry tub

26. Condition: • Rust

Bathroom sink is rusted below and has a small leak. Recommend replacing in the near future when remodeling. Laundry room bathroom.

Implication(s): Chance of water damage to structure, finishes and contents

Location: First Floor Bathroom

Task: Replace

Time: Less than 1 year When remodelling

Cost: Minor

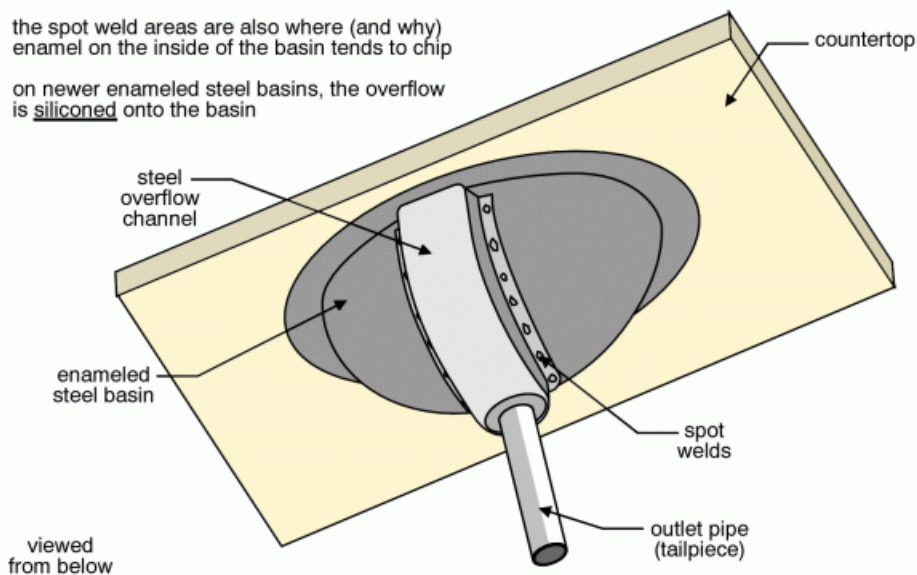
Rusting overflow

rust starts to develop where the overflow is spot welded to the basin

the rust can spread and ultimately eat through the basin (or overflow) causing leakage

the spot weld areas are also where (and why) enamel on the inside of the basin tends to chip

on newer enameled steel basins, the overflow is siliconed onto the basin



148. Rust

WATER TREATMENT SYSTEM \ General notes

27. Condition: • No water treatment installed, recommend test water quality. Strongly recommend installing a mechanical

filter to prevent and solids from the drilled well to enter and possibly clog the screens in the faucet or fixtures.

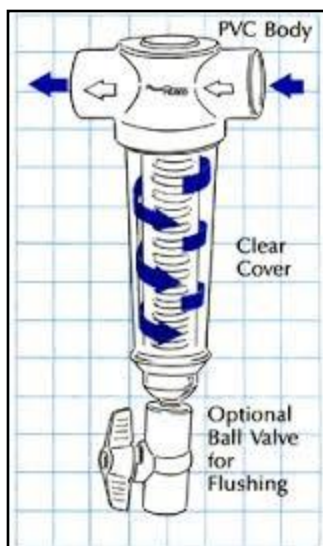
A spindown filter is a good option since they never get replaced they simply backwash to self clean.

Location: Crawl Space

Task: Improve

Time: Less than 1 year

Cost: Minor



149. No water treatment installed, recommend tes...



150. No water treatment installed, recommend tes...

INTERIOR

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Major floor finishes: • Carpet • Vinyl

Major wall finishes: • Paneling

Major ceiling finishes: • Acoustic tile

Major wall and ceiling finishes: • Paneling • Acoustic tile

Windows: • Fixed • Sliders

Glazing: • Double

Exterior doors - type/material: • Hinged • Sliding glass • Metal

Doors: • Inspected

Oven type: • Conventional

Oven fuel: • Electricity

Range fuel: • Electricity

Appliances:

• Range hood



151. Range hood

• Cooktop

INTERIOR

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



152. Cooktop

- Built in oven



153. Built in oven

Laundry facilities: • Laundry tub • Hot/cold water supply • Vented to outside • 120-Volt outlet • 240-Volt outlet • Waste standpipe

Kitchen ventilation: • Range hood • Discharges to exterior

Bathroom ventilation: • Exhaust fan

Laundry room ventilation: • Clothes dryer vented to exterior

Counters and cabinets: • Inspected

Stairs and railings: • Inspected

Limitations

Not included as part of a building inspection: • Appliances

Appliances: • Appliances are not inspected as part of a building inspection

Recommendations

WINDOWS \ Glass (glazing)

28. Condition: • Cracked

Cracked window, recommend replacing. Main floor living room sliding exterior door.

Implication(s): Physical injury

Location: First Floor Living Room

Task: Replace

Time: When remodelling

Cost: Depends on approach



154. Cracked

EXHAUST FANS \ Duct

29. Condition: • Not insulated in unconditioned space

Un-insulated exhaust duct in the attic above bathroom, recommend replacing with a proper insulated duct pipe or wrapping with insulation and a vapor barrier to prevent moist air escaping and causing condensation on sheathing or insulation. And it must exhaust directly to the outside to prevent mildew and rot in the attic space. Water damage noted around the exhaust fan.

Implication(s): Chance of condensation damage to finishes and/or structure

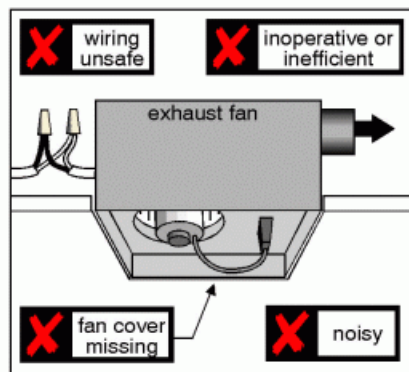
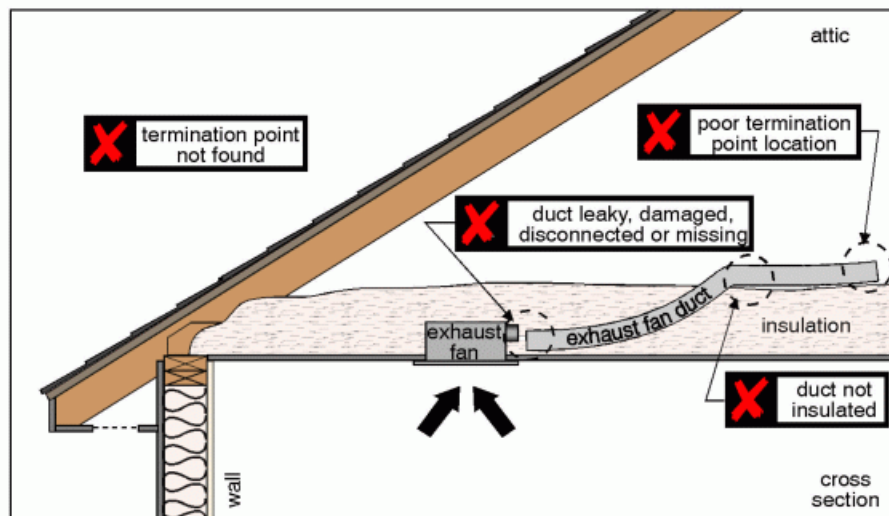
Location: Attic

Task: Improve

Time: Less than 1 year

Cost: Minor Up to

Exhaust fan conditions



INTERIOR

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

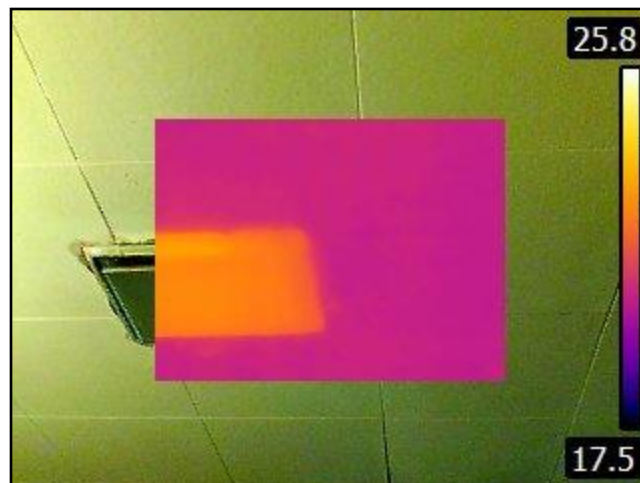
PLUMBING

INTERIOR

REFERENCE



155. Inoperative



156. Not insulated in unconditioned space

APPLIANCES \ Range

30. Condition: • Inoperative

Cook top range is inoperative, recommend further investigation and repairs. Suspect a loose wire. Currently exhausting into the garage. Duct pipe in the attic should be insulated to prevent condensation in the attic space.

Implication(s): System inoperative

Location: First Floor Kitchen

Task: Repair or replace Further evaluation

Time: Less than 1 year

Cost: Minor Depends on approach

INTERIOR

1204 Walker Line Road, Algonquin Highlands, ON August 27, 2025

Report No. 3126, v.2

www.insight360.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



157. *Inoperative*

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS