Your Inspection Report

5325 Anystreet
Anytown, AB

PREPARED FOR:
BRUCE MC

INSPECTION DATE:
Friday, December 6, 2013

PREPARED BY:
Dan Kameka

SurePro
Property Inspections

Infrared certified

Wood Energy Technical Training

International Association of Certified Home Inspectors
InterNACHI

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Grande Prairie, AB T8V 8L6

780-978-7813
www.sureproinspections.com
dan@sureproinspections.com

March 24, 2020

Dear Bruce Mc,

RE: Report No. 1012, v.4
5325 Anystreet
Anytown, AB

Thanks very much for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

Dan Kameka
on behalf of
SurePro Property Inspections Inc.

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Note: For the purpose of this report the building is considered to be facing **North**.

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

Priority Maintenance Items

Electrical

SERVICE BOX, GROUNDING AND PANEL \ System grounding

Condition: • Missing

Unable to find the system ground wire. Recommend a qualified electrician to further evaluate.

Implication(s): Electric shock

Heating

HEAT RECOVERY VENTILATOR \ Ducts and grilles

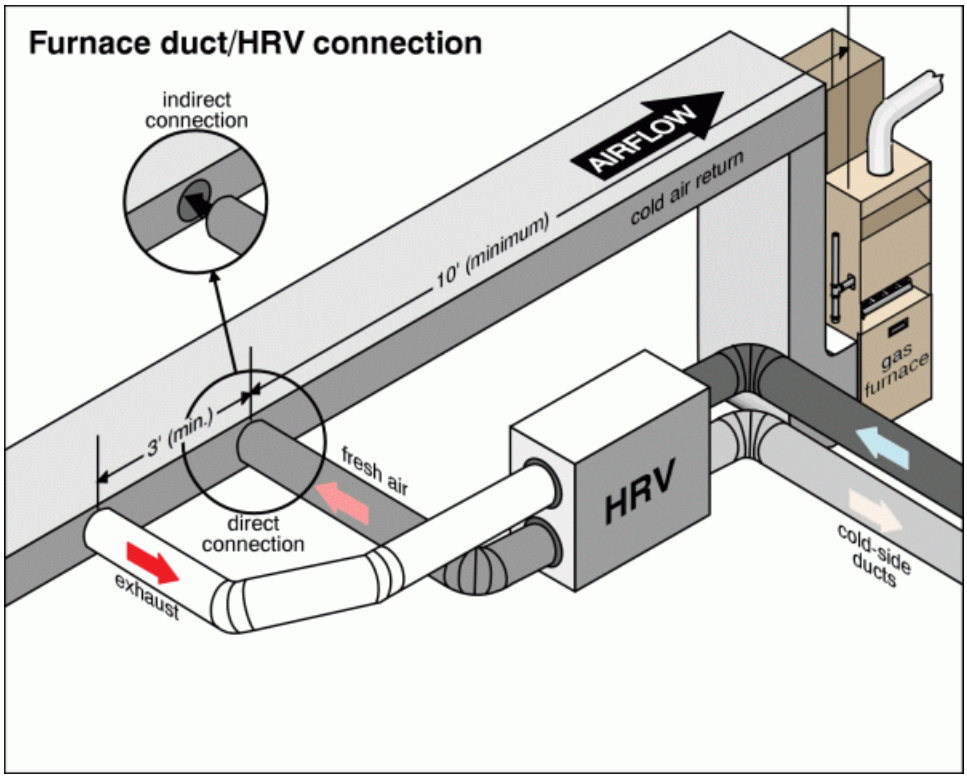
Condition: • Warm-side fresh air duct not well-connected to furnace duct

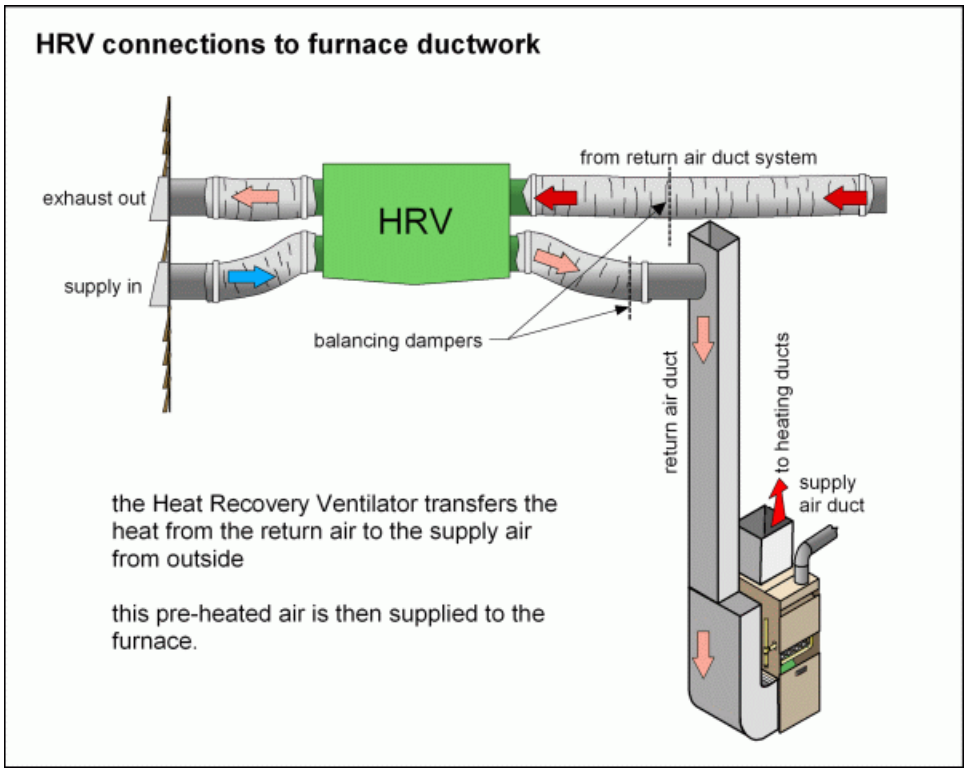
Implication(s): Equipment ineffective

Location: Basement Utility Room

Task: Further evaluation

Time: Immediate





Warm-side fresh air duct not well-connected t

Cooling & Heat Pump

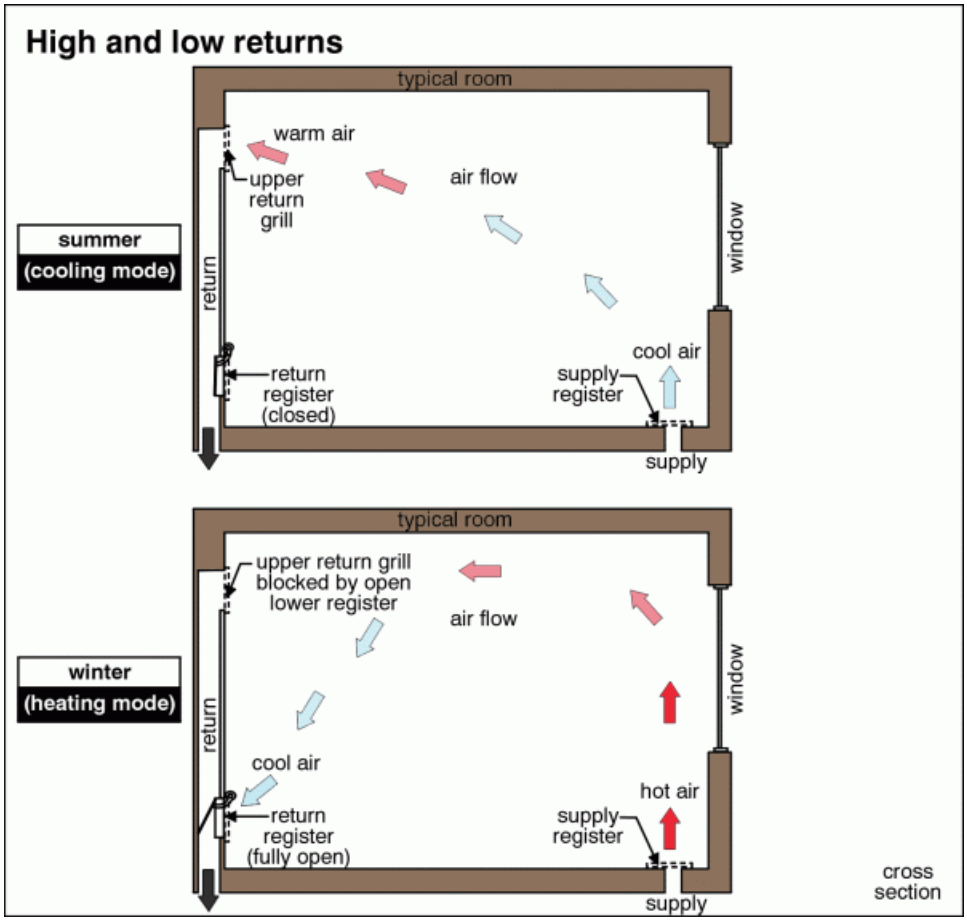
HEAT PUMP \ Duct system

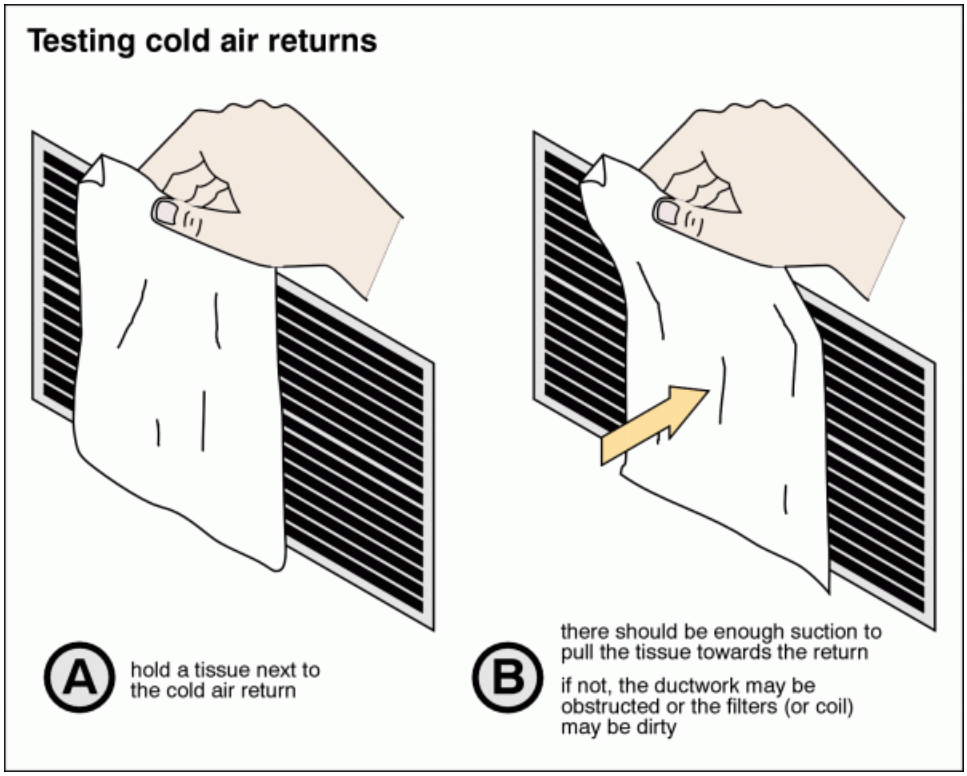
Condition: • When testing the return air ducts it was noted that the grills mounted high on the walls showed little to no air movement. I recommend further evaluation to determine proper air ventilation throughout the house.

Location: Various First Floor Living Room Bathroom Hallway Bathroom Staircase

Task: Further evaluation

Time: Immediate





This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

Home Improvement - ballpark costs

General Information

General: • The primary purpose of a roof is to keep the building and its occupants protected from weather and pests. Our evaluation of the roof focuses on determining if portions are missing and/or deteriorated and, therefore, subject to potential leakage. Given that portions of the roofs underlayment and decking are hidden from view, these components are not evaluated during our visual inspection.

Sloped roofing material:

• Asphalt shingles

Asphalt shingles

Asphalt shingles

Probability of leakage:

• Low

New shingles 2013

Inspection Methods & Limitations

Roof inspection limited/prevented by: • Snow/ice/frost

Inspection performed: • From roof edge

Observations & Recommendations

ROOF DRAINAGE \ Gutters

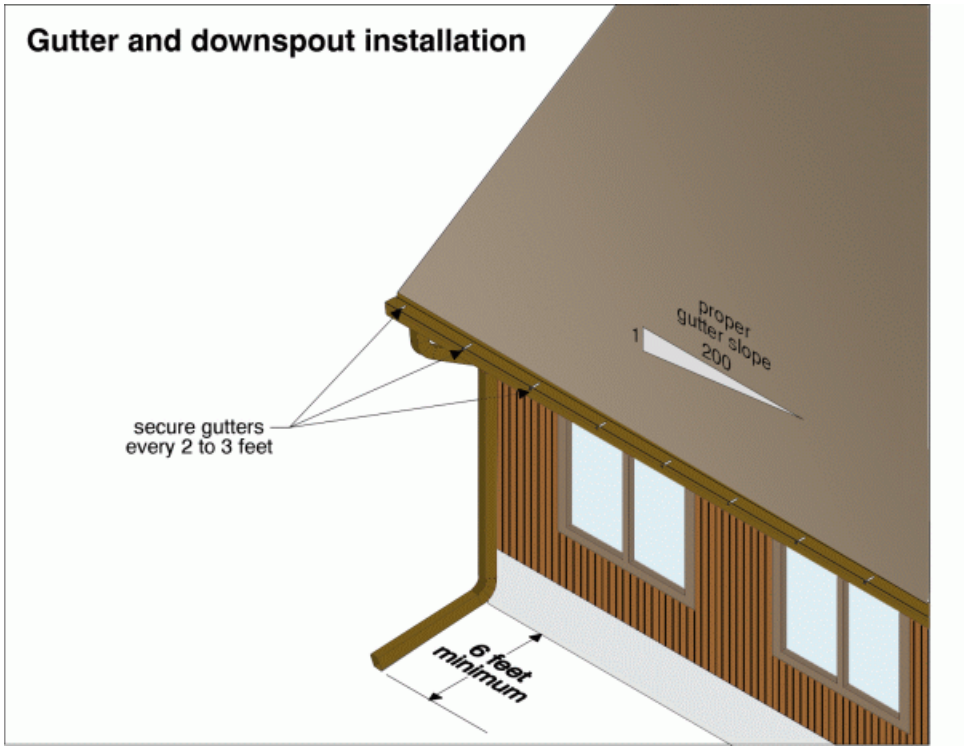
Condition: • Missing

Implication(s): Chance of water damage to contents, finishes and/or structure

Task: Provide

Time: Discretionary

Cost: Minor



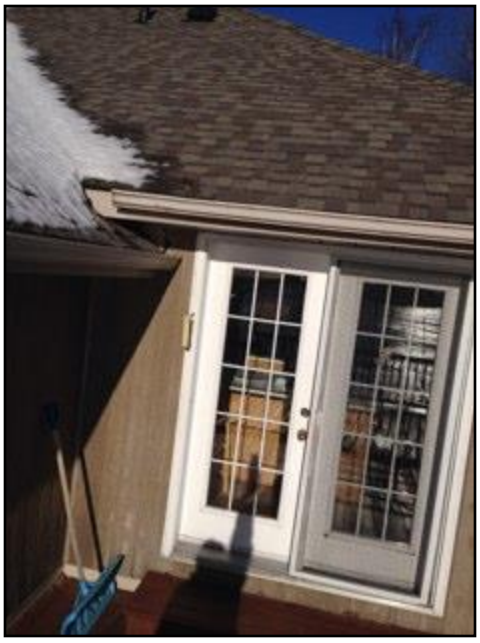
Gutters Missing

General Information

General: • The exterior components of a home work together to provide a weather tight skin and protect the home against intruders. Our exterior evaluation is based on visual observations made at the time of the inspection and our experience and understanding of common building methods and materials. Our review does not take into consideration normal wear associated with virtually all properties. For example, hairline cracks in stucco, concrete and asphalt are common and are not considered a significant defect.

Gutter & downspout material:

• Aluminum



Asphalt shingles

Gutter & downspout type:

• Eave mounted

Aluminum

Gutter & downspout discharge:

• Below grade

Below grade

Lot slope: • Hillside

Soffit (underside of eaves) and fascia (front edge of eaves): • Aluminum

Wall surfaces and trim: • composite wood panel

Wall surfaces - masonry: • Brick veneer

Wall surfaces - wood: • Boards

Retaining wall: • Concrete

Driveway: • Gravel • No performance issues were noted.

Deck:

• Raised

Raised

• Pressure-treated wood
• No performance issues were noted.

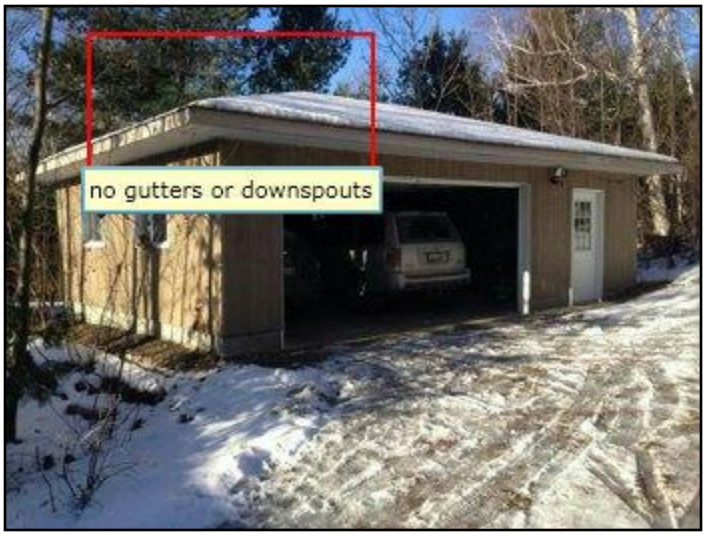
Bottom edge of railing needs support from deck floor with wood blocking

Add railing support

Garage:

• General

Unattached Garage

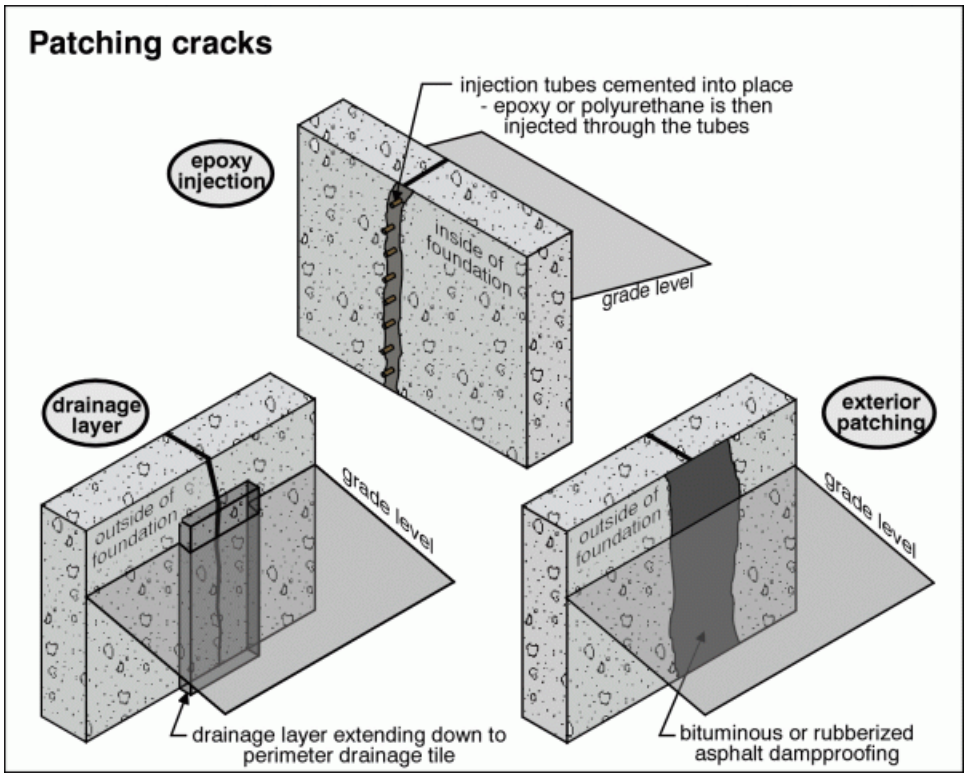


Unattached Garage

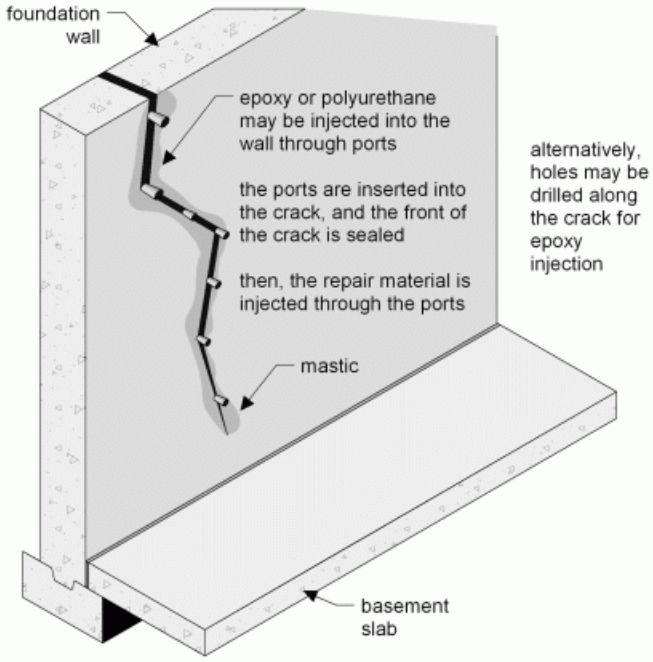
Observations & Recommendations

FOUNDATIONS \ General notes

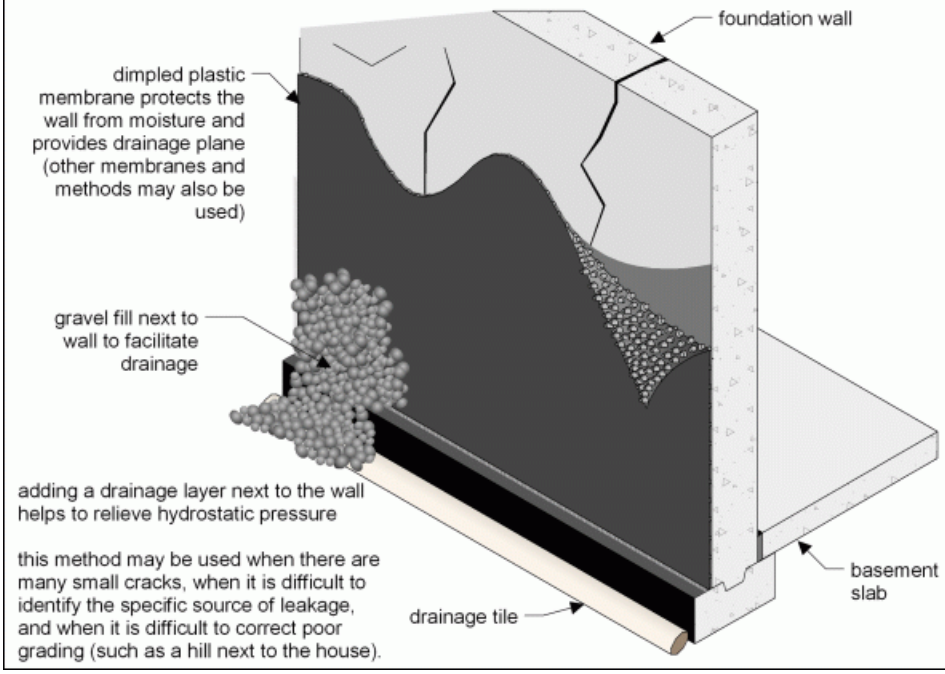
Condition: • Typical minor cracks
Implication(s): Chance of water entering building
Location: Exterior Wall
Time: Discretionary

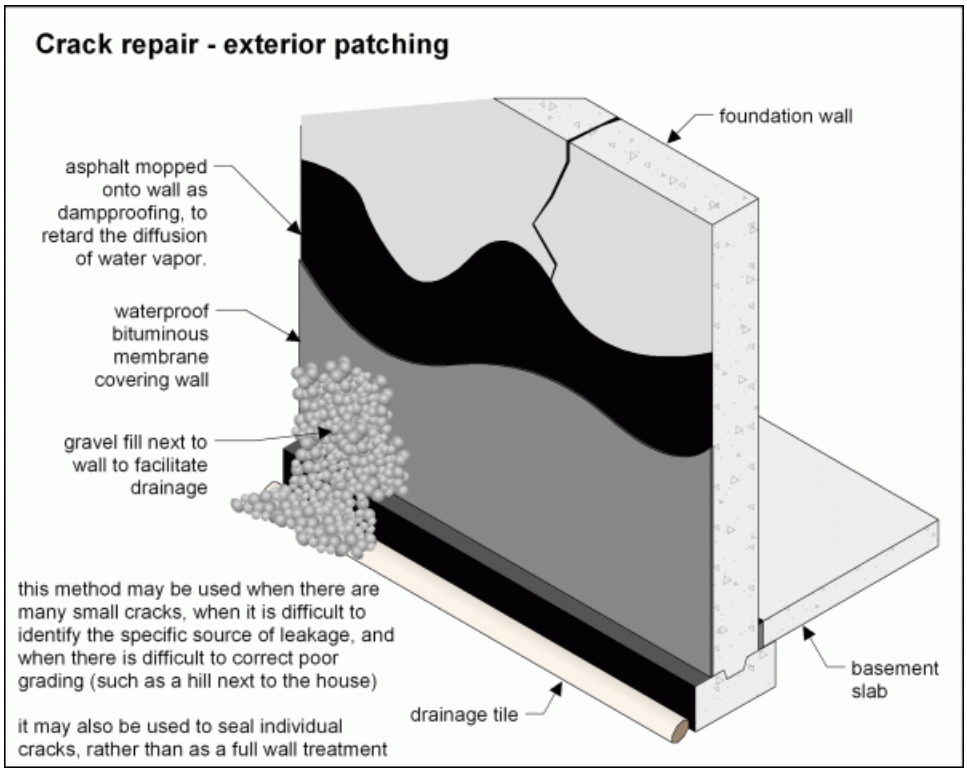


Crack repair - epoxy and polyurethane injection



Crack repair - drainage layer





Minor Cracks

General Information

General: • The structure of a home is the skeleton, which includes the foundations and footings as well as the floors, walls, and roof. Structures are judged by how well they are able to stand still. Successful structures do not move; less successful structures do.

Configuration: • Basement

Foundation material: • Poured concrete

Floor construction:

• Joists

Joists

Exterior wall construction: • Wood frame • Wood frame / Brick veneer

Roof and ceiling framing: • Trusses

Inspection Methods & Limitations

Inspection limited/prevented by: • Ceiling, wall and floor coverings

Attic/roof space: • Inspected from access hatch

Observations & Recommendations

SERVICE BOX, GROUNDING AND PANEL \ System grounding

Condition: • Missing

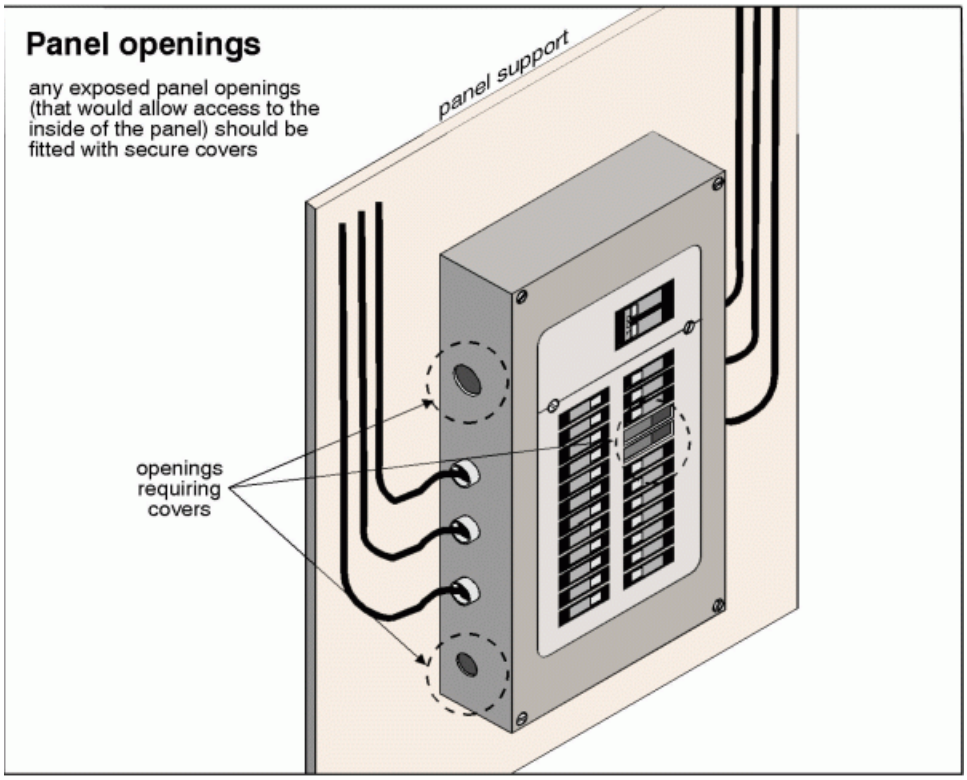
Unable to find the system ground wire. Recommend a qualified electrician to further evaluate.

Implication(s): Electric shock

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

Condition: • Openings in panel

Implication(s): Fire hazard | Electric shock



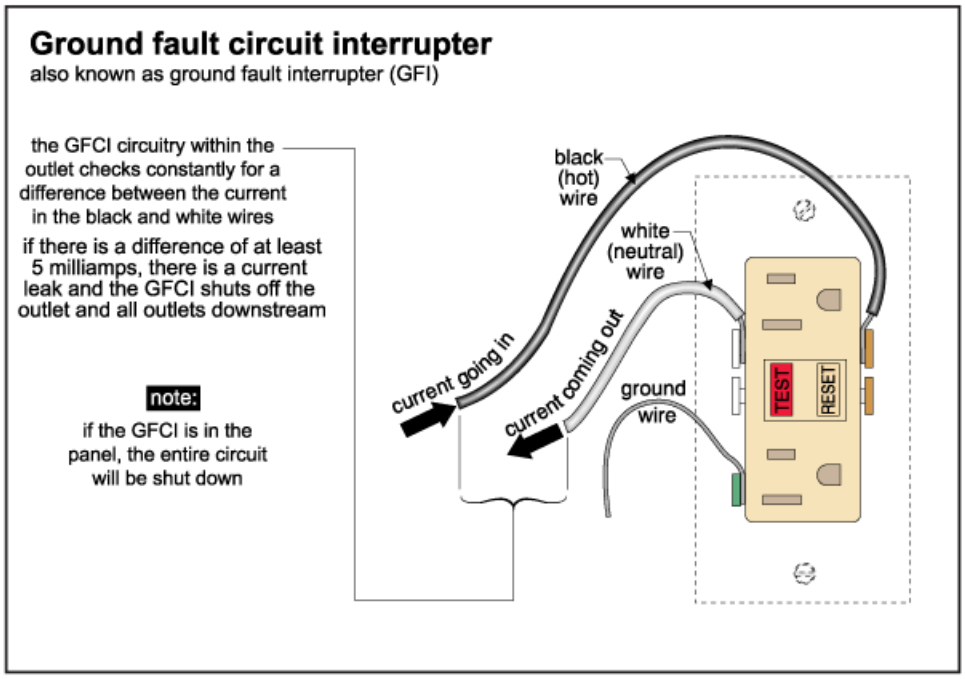
Openings in panel

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • No GFCI/GFI (Ground Fault Circuit Interrupter)

Implication(s): Electric shock

Location: Kitchen & Laundry Area



No GFCI

No GFCI

General Information

General: • The electrical system is very important from both a safety and convenience standpoint. Generally speaking, electrical systems are expanded and upgraded over the life of a house, rather than taken out and replaced on a regular basis.

Service entrance cable and location:

• Overhead


Overhead


Overhead

• Overhead copper

Service size:

• 200 Amps (240 Volts)

200 Amps (240 Volts)

Main disconnect/service box rating: • 200 Amps

Main disconnect/service box type and location: • Breakers - basement

System grounding material and type: • Not visible

Distribution wire (conductor) material and type: • Copper - non-metallic sheathed

Type and number of outlets (receptacles): • All outlets tested for reverse polarity. All OK

Type and number of outlets (receptacles): • Grounded - typical

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • No GFCI

Smoke alarms (detectors): • Present

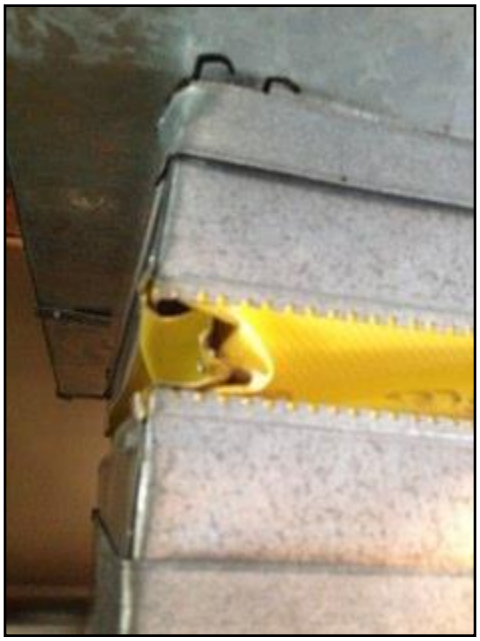
Inspection Methods & Limitations

System ground: • Not found

Observations & Recommendations

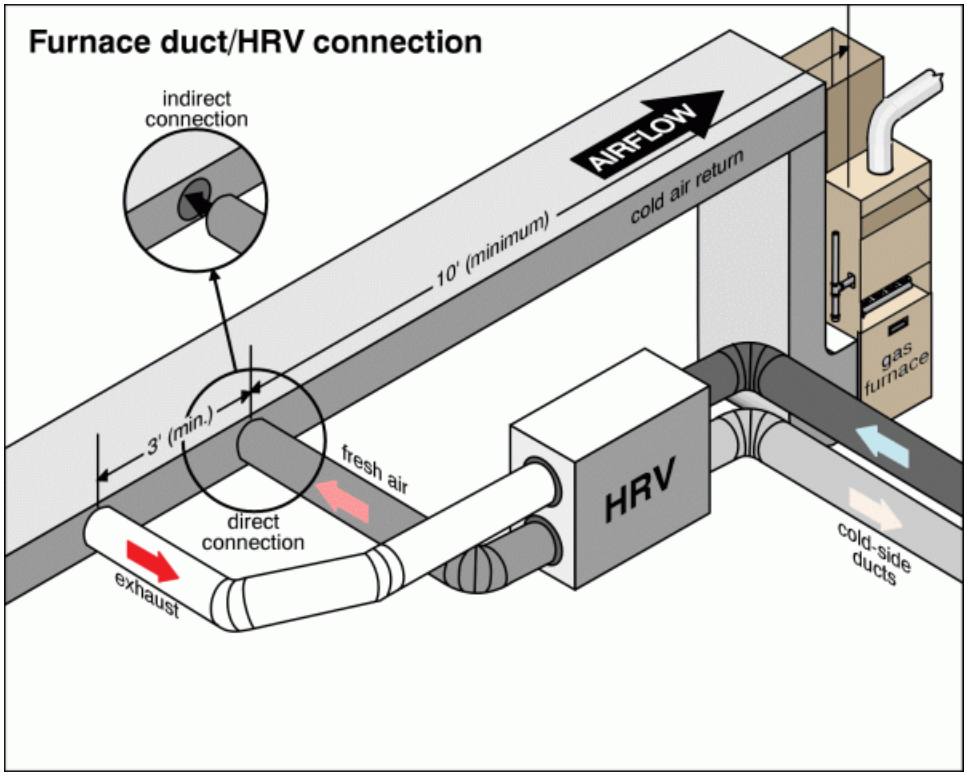
HEAT RECOVERY VENTILATOR \ Ducts and grilles

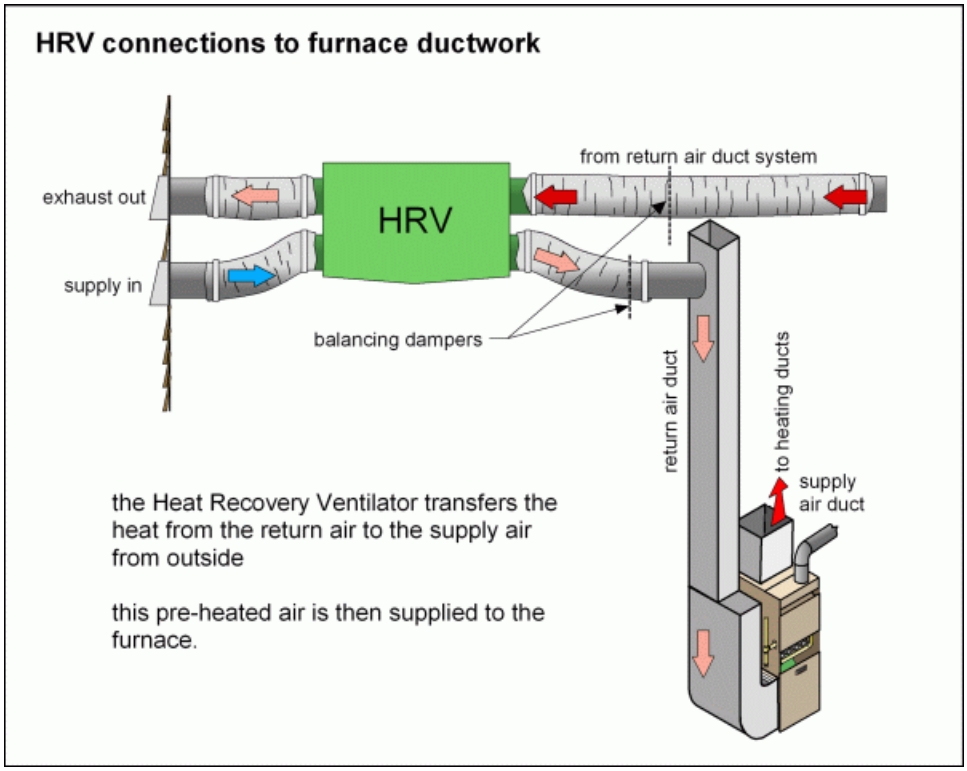
Condition: • Leak
Implication(s): Equipment ineffective
Location: Basement



Leak

Condition: • Warm-side fresh air duct not well-connected to furnace duct
Implication(s): Equipment ineffective
Location: Basement Utility Room
Task: Further evaluation
Time: Immediate


Furnace duct/HRV connection
indirect connection
AIRFLOW
10' (minimum)
cold air return
gas furnace
3' (min.)
fresh air
HRV
direct connection
exhaust
cold-side ducts


HRV connections to furnace ductwork
exhaust out
HRV
from return air duct system
supply in
balancing dampers
return air duct
to heating ducts
supply air duct
the Heat Recovery Ventilator transfers the heat from the return air to the supply air from outside
this pre-heated air is then supplied to the furnace.

Warm-side fresh air duct not well-connected t

General Information

General: • A well designed heating system is large enough to provide adequate heat on the coldest day, is reliable, is inexpensive to install and operate, is quick to respond to it's controls, is able to heat all parts of the home equally, and is safe. There is no one system which performs all these functions to perfection. Every system is a compromise in one way or another, with low initial cost being the predominant factor.

System type: • Furnace

Fuel/energy source: • Geothermal Heat pump with closed loop water supply and 12,000 watt electrical backup

Fuel/energy source: • Gas

Heat distribution: • Ducts and registers

Approximate capacity: • Electrical backup 12KW

Approximate capacity: • 50,000 BTU/hr

Efficiency: • High-efficiency

Approximate age: • 2 years

Typical life expectancy: • 50 years

Main fuel shut off at: • Utility room

Failure probability: • Low

Fireplace/stove:

• Factory-built

Factory-built

Factory-built

Factory-built

Chimney/vent: • Metal

Chimney liner: • Not visible

Inspection Methods & Limitations

Safety devices: • Not tested as part of a building inspection

Heat loss calculations: • Not done as part of a building inspection

Heat exchanger: • Not accessible

Observations & Recommendations

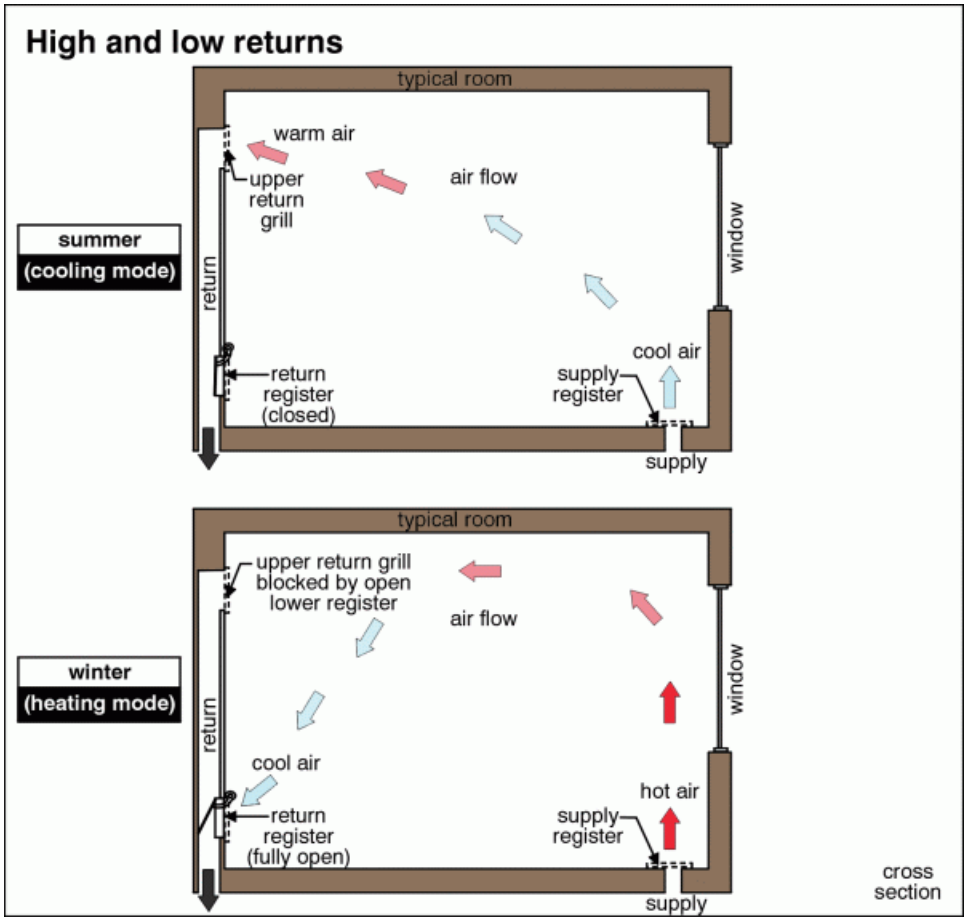
HEAT PUMP \ Duct system

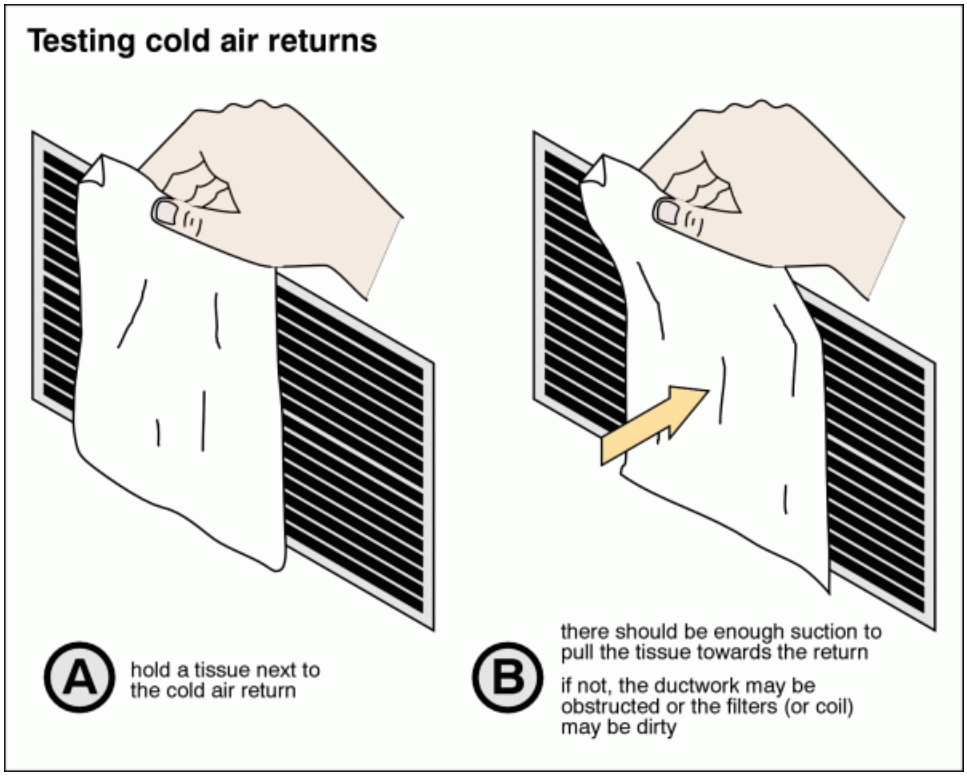
Condition: • When testing the return air ducts it was noted that the grills mounted high on the walls showed little to no air movement. I recommend further evaluation to determine proper air ventilation throughout the house.

Location: Various First Floor Living Room Bathroom Hallway Bathroom Staircase

Task: Further evaluation

Time: Immediate





General Information

General: • Air conditioning systems move heat from a relatively cool space to a relatively warm space. They operate on some basic laws of liquids and gases. When liquids evaporate into gases, they absorb a considerable amount of heat. When gases are condensed back into a liquid, they give off heat. In addition if the pressure of a gas is increased, the temperature will also increase. Many systems use "Freon", a substance which changes state at temperatures and

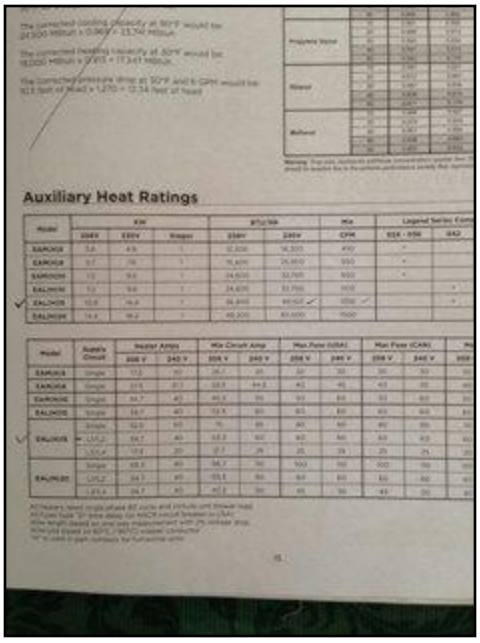
pressures which are well suited for this application.

Air conditioning type: • Water cooled

Heat pump type: • Water source

Cooling capacity:

• 48,000 BTU/hr



48,000 BTU/hr

Compressor approximate age: • 2 years

Failure probability: • Low

Inspection Methods & Limitations

Heat gain calculations: • Not done as part of a building inspection

General Information

General: • Virtually every home has room for the improvement of insulation, ventilation, caulking and weather-stripping. By improving these you improve the comfort levels and conserve energy. Good insulation slows the rate of heat loss from a house. The best insulating materials are light weight, because air is a very good insulator. The problem is that air moves around by convection and wind, and the heat travels freely in the air. A good insulating material is one that limits the movement of trapped air.

Attic/roof insulation material: • Glass fiber

Attic/roof insulation amount/value: • R-40

Attic/roof air/vapor barrier: • Not determined

Attic/roof ventilation: • Roof vent • Soffit vent • Gable vent

Wall insulation material: • Glass fiber

Wall insulation amount/value: • R-20

Inspection Methods & Limitations

Attic inspection performed: • From access hatch

Air/vapor barrier system: • Continuity not verified

Mechanical ventilation effectiveness: • Not verified

General Information

General: • The purpose of a homes plumbing system is twofold. On the supply side, the idea is to get water for drinking, washing and cooking to the appropriate areas of the house. The waste side of the plumbing system is intended to get rid of the water and waste. The supply water operates under pressure, while the waste water flows by gravity. Plumbing components are expensive and plumbing repairs or improvements are among the more costly projects homeowners undertake.

Water supply source: • Pumped from lake

Water supply source:
• Private

Private

Service piping into building: • Copper

Supply piping in building: • Copper

Main water shut off valve at the: • Basement

Water flow and pressure: • Typical for neighborhood

Water heater type:
• Rental

Rental

Water heater fuel/energy source: • Electric

Water heater tank capacity: • 38.5 imp gal

Water heater approximate age: • 2 years

Water heater failure probability: • Low

Waste disposal system: • Septic system

Waste and vent piping in building: • ABS plastic

Water treatment system: • Iron filter • Ultraviolet treatment

Inspection Methods & Limitations

Items excluded from a building inspection: • Water quality • Septic system • Isolating/relief valves & main shut-off valve

Observations & Recommendations

WALLS \ Plaster or drywall

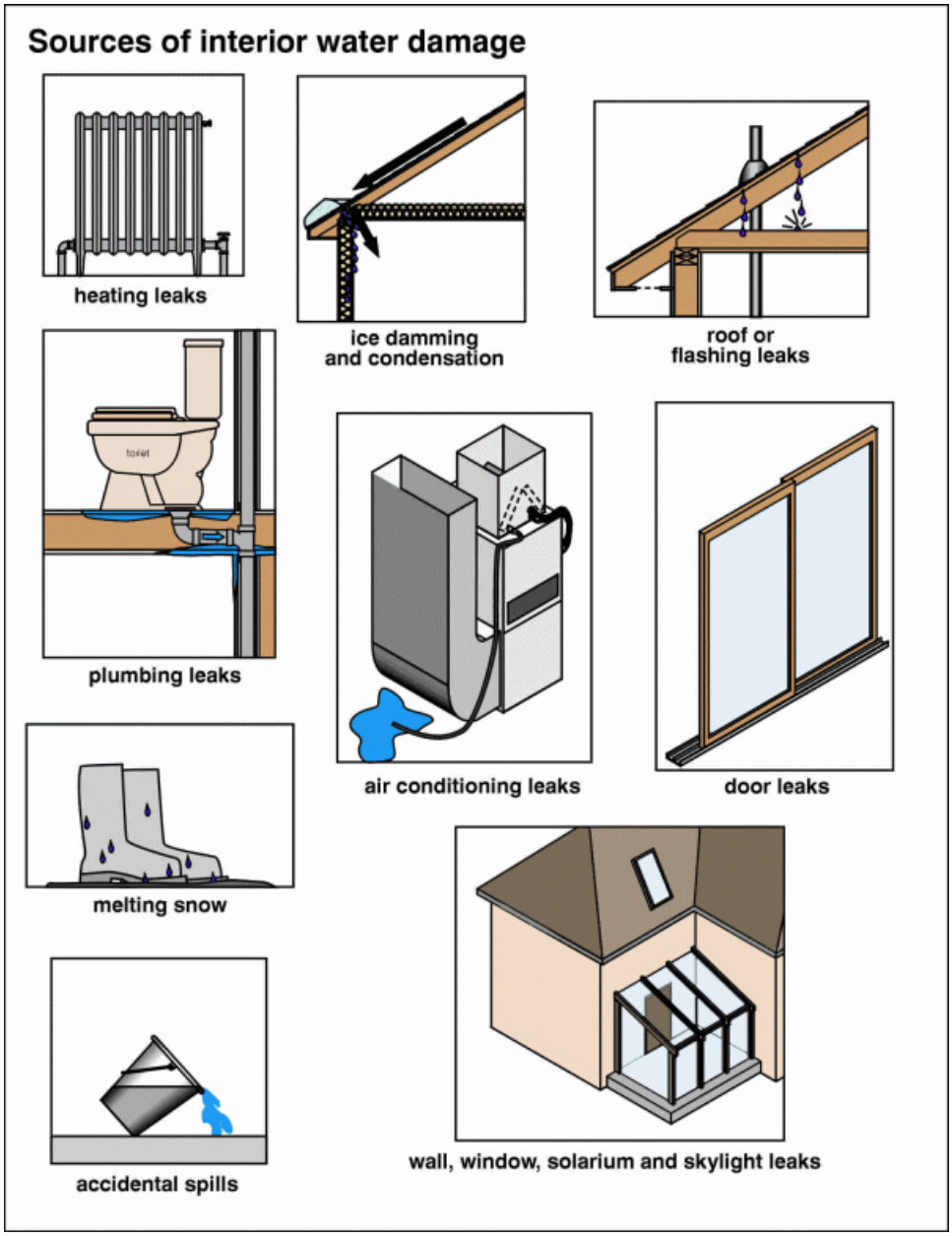
Condition: • Water damage

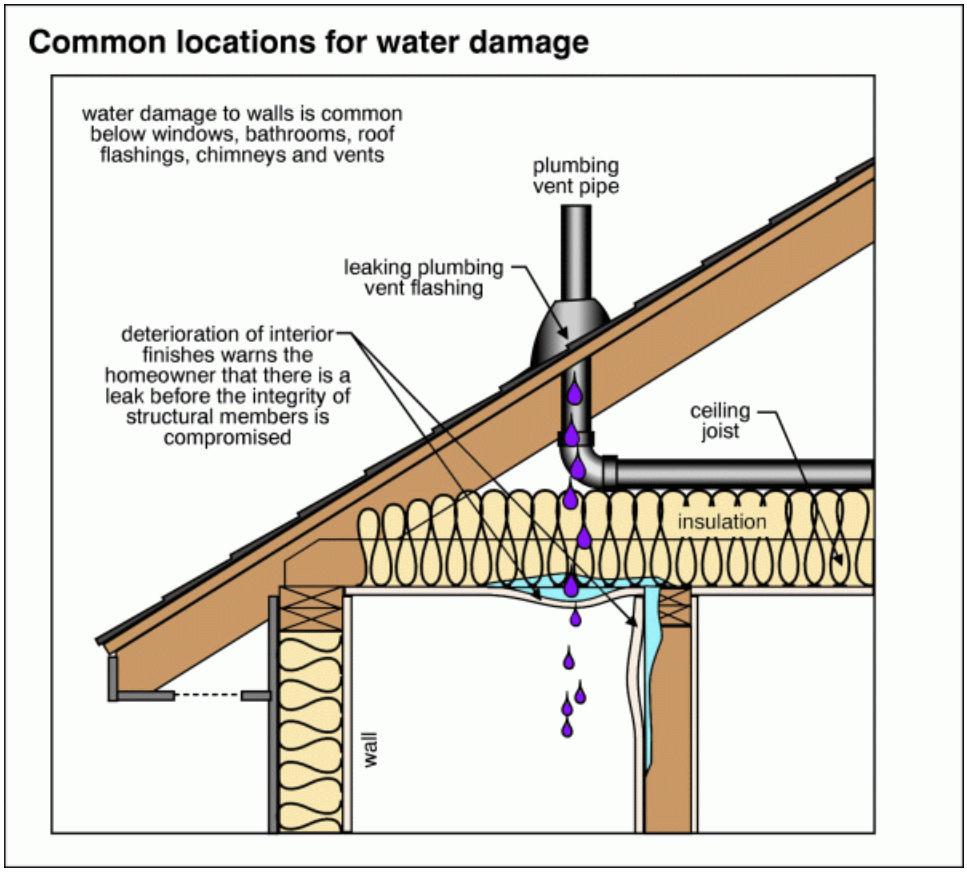
This appears to be a one time, old leak from something on the first floor and not a recurring issue.

Location: Basement Utility Room

Task: Monitor

Cost: Minor





Minor water damage

Condition: • Typical flaws

Location: First Floor Hallway Bathroom

Plaster/drywall

Damaged

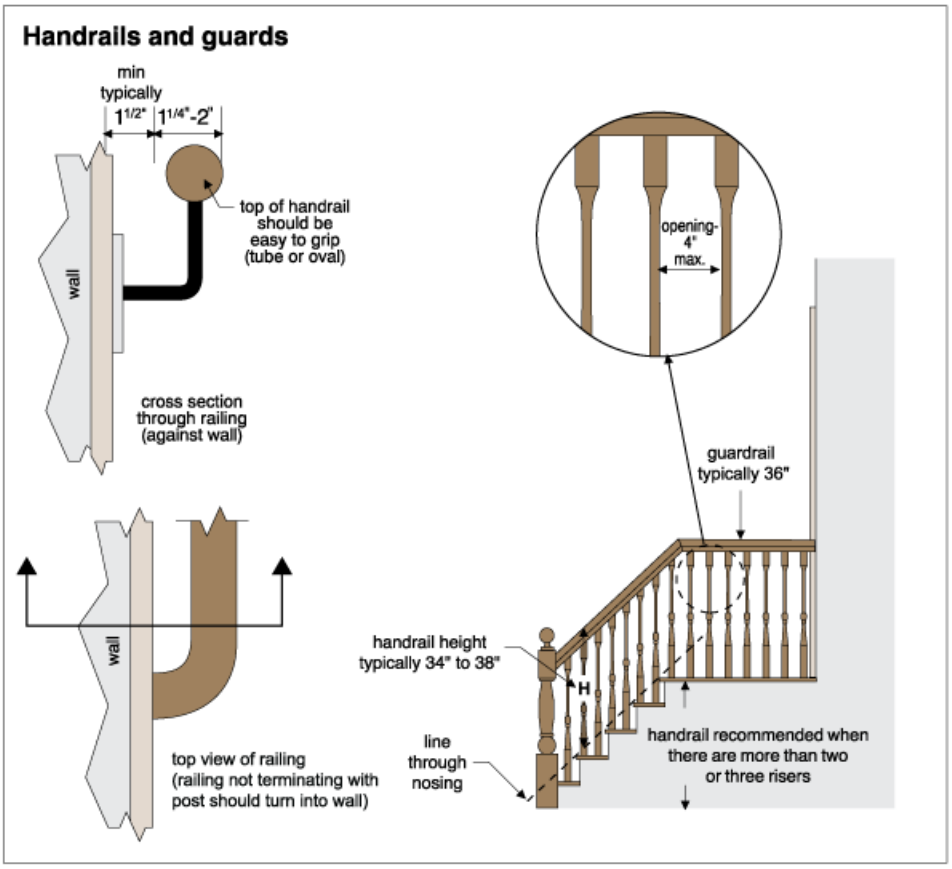
STAIRS \ Handrails and guards

Condition: • Missing

With no obstruction between the posts the step is too high. A railing to block the step or a bridging of the two outer steps to create one continuous step is recommended.

Implication(s): Fall hazard

Location: Basement


Handrails and guards
min typically
1 1/2"
1 1/4"-2"
top of handrail should be easy to grip (tube or oval)
wall
cross section through railing (against wall)
opening- 4" max.
guardrail typically 36"
handrail height typically 34" to 38"
H
handrail recommended when there are more than two or three risers
line through nosing
wall
top view of railing (railing not terminating with post should turn into wall)

Missing

General Information

General: • The building interior is looked at for a number of reasons. The interior provides clues to structural problems and is often the area where water leakage is first detectable. The interior finishes themselves usually reflect overall building quality and their condition helps indicate the level of overall maintenance.

Major floor finishes: • Carpet • Resilient

Major wall finishes: • Plaster/drywall

Major ceiling finishes: • Plaster/drywall • Wood

Major wall and ceiling finishes: • Plaster/drywall • Paneling

Windows: • All windows tested. All OK

Windows:

• Casement

Casement

• Skylight

Skylight

Glazing: • Double

Exterior doors - type/material:

- Hinged
- French
- Metal

Metal

Doors:

• Inspected

Inspected

Bathroom ventilation: • Exhaust fan

Inspection Methods & Limitations

Not included as part of a building inspection: • Carbon monoxide alarms (detectors), security systems, central vacuum

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.