



Your Inspection Report

5325 Anystreet
Anytown, AB



PREPARED FOR:
BRUCE MC

INSPECTION DATE:
Friday, December 6, 2013

PREPARED BY:
Dan Kameka



SurePro Property Inspections Inc.
12326 105 Street
Grande Prairie, AB T8V 8L6

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dan@sureproinspections.com

Make Sure with SurePro!!!



March 24, 2020

Dear Bruce Mc,

RE: Report No. 1012, v.4
5325 Anystreet
Anytown, AB

Thanks very much for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

Dan Kameka
on behalf of
SurePro Property Inspections Inc.

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SUMMARY

5325 Anystreet, Anytown, AB December 6, 2013

Report No. 1012, v.4

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

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INTERIOR

REFERENCE

Note: For the purpose of this report the building is considered to be facing **North**.

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Electrical

SERVICE BOX, GROUNDING AND PANEL \ System grounding

Condition: • Missing

Unable to find the system ground wire. Recommend a qualified electrician to further evaluate.

Implication(s): Electric shock

Heating

HEAT RECOVERY VENTILATOR \ Ducts and grilles

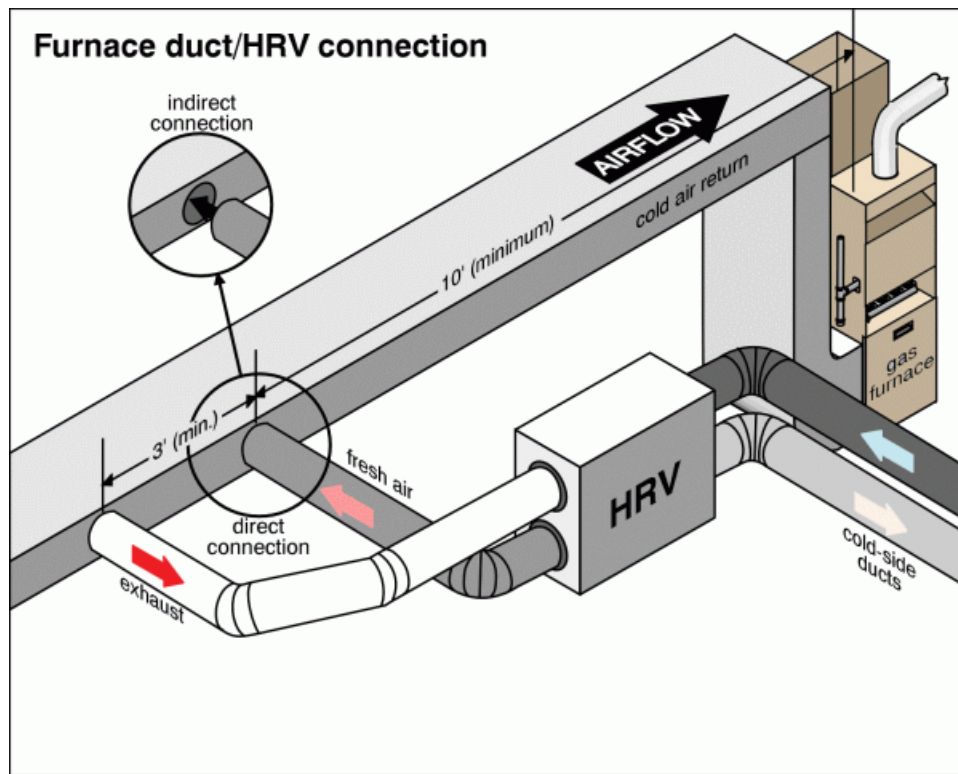
Condition: • Warm-side fresh air duct not well-connected to furnace duct

Implication(s): Equipment ineffective

Location: Basement Utility Room

Task: Further evaluation

Time: Immediate



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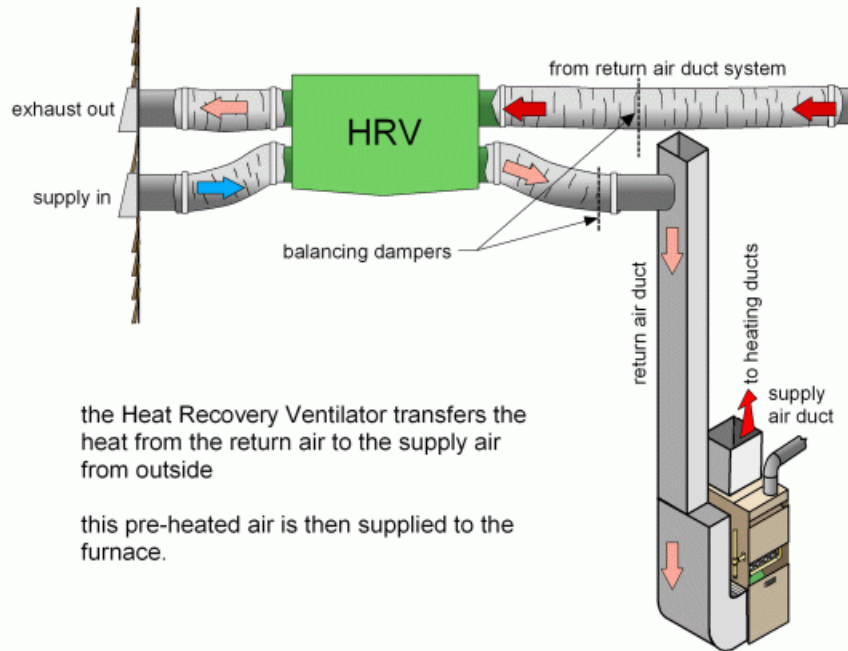
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HRV connections to furnace ductwork



Warm-side fresh air duct not well-connected t

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Cooling & Heat Pump

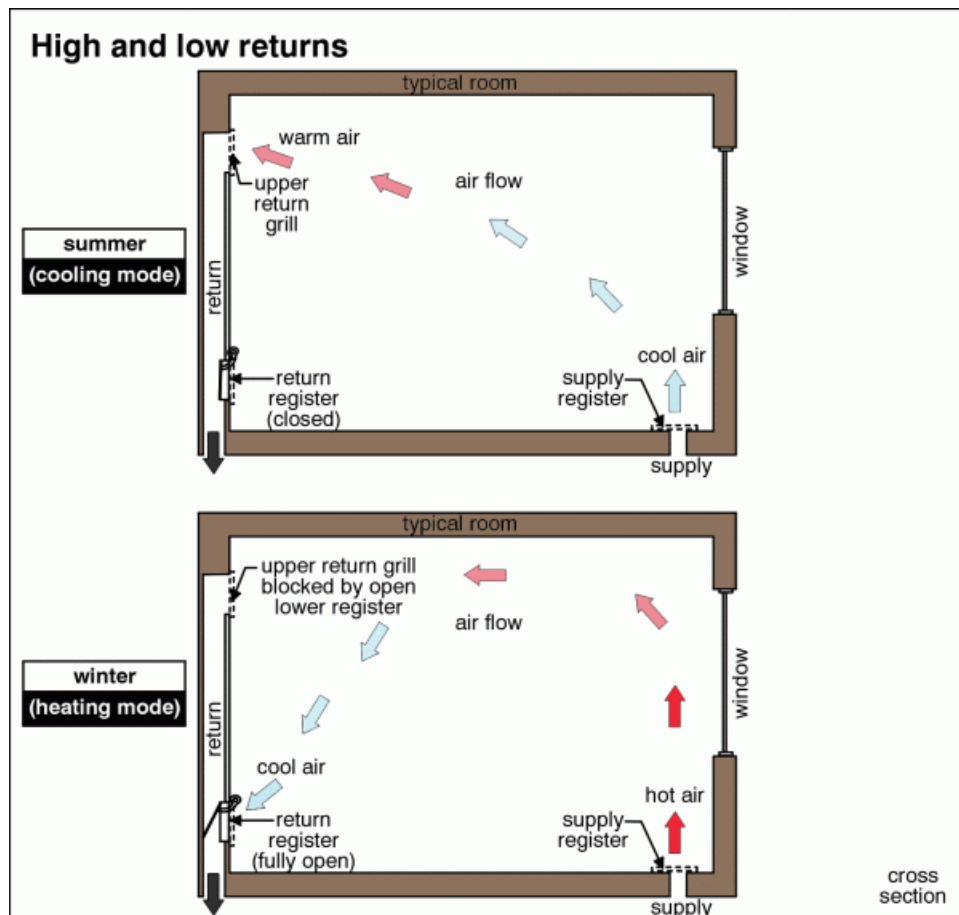
HEAT PUMP \ Duct system

Condition: • When testing the return air ducts it was noted that the grills mounted high on the walls showed little to no air movement. I recommend further evaluation to determine proper air ventilation throughout the house.

Location: Various First Floor Living Room Bathroom Hallway Bathroom Staircase

Task: Further evaluation

Time: Immediate



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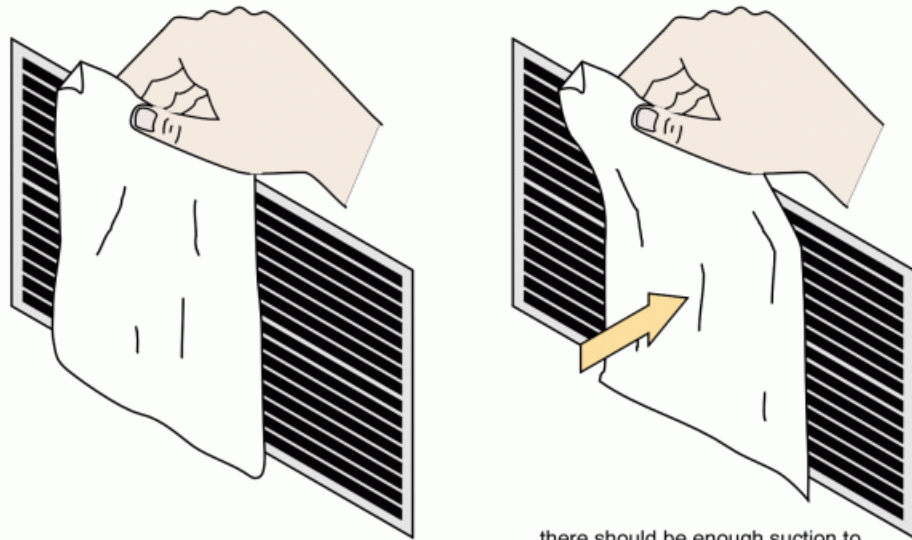
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Testing cold air returns



A

hold a tissue next to the cold air return

B

there should be enough suction to pull the tissue towards the return
if not, the ductwork may be obstructed or the filters (or coil) may be dirty

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

ROOFING

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General Information

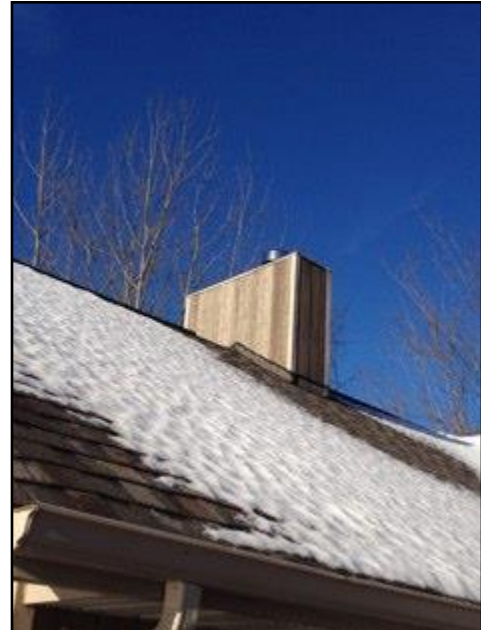
General: • The primary purpose of a roof is to keep the building and its occupants protected from weather and pests. Our evaluation of the roof focuses on determining if portions are missing and/or deteriorated and, therefore, subject to potential leakage. Given that portions of the roofs underlayment and decking are hidden from view, these components are not evaluated during our visual inspection.

Sloped roofing material:

- Asphalt shingles



Asphalt shingles



Asphalt shingles

Probability of leakage:

- Low
- New shingles 2013

Inspection Methods & Limitations

Roof inspection limited/prevented by: • Snow/ice/frost

Inspection performed: • From roof edge

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Observations & Recommendations

ROOF DRAINAGE \ Gutters

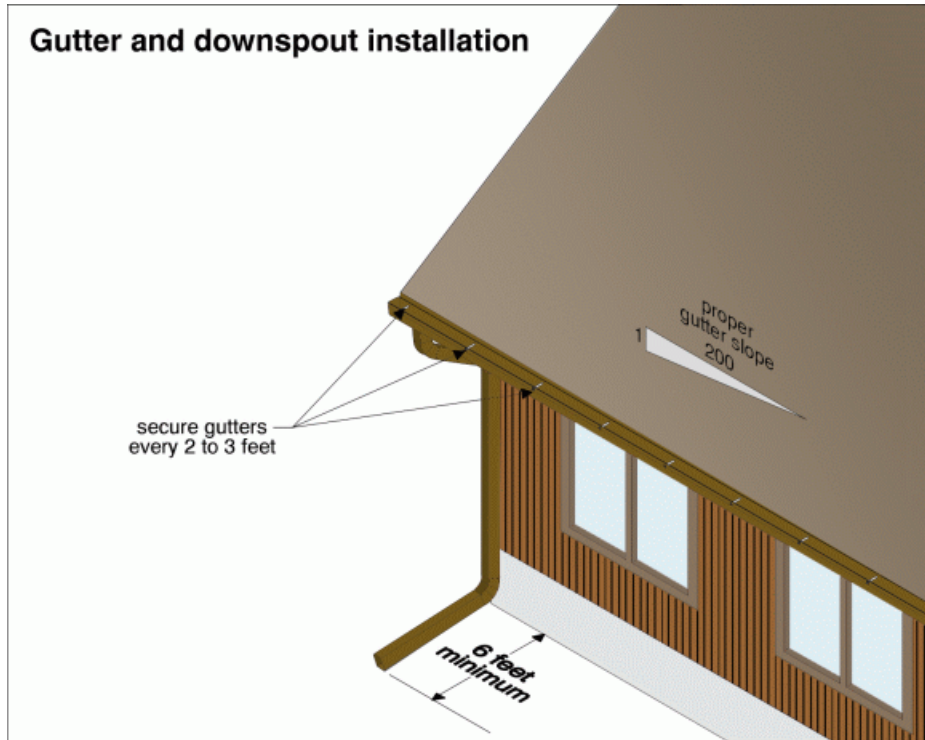
Condition: • Missing

Implication(s): Chance of water damage to contents, finishes and/or structure

Task: Provide

Time: Discretionary

Cost: Minor



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Gutters Missing

General Information

General: • The exterior components of a home work together to provide a weather tight skin and protect the home against intruders. Our exterior evaluation is based on visual observations made at the time of the inspection and our experience and understanding of common building methods and materials. Our review does not take into consideration normal wear associated with virtually all properties. For example, hairline cracks in stucco, concrete and asphalt are common and are not considered a significant defect.

Gutter & downspout material:

- Aluminum

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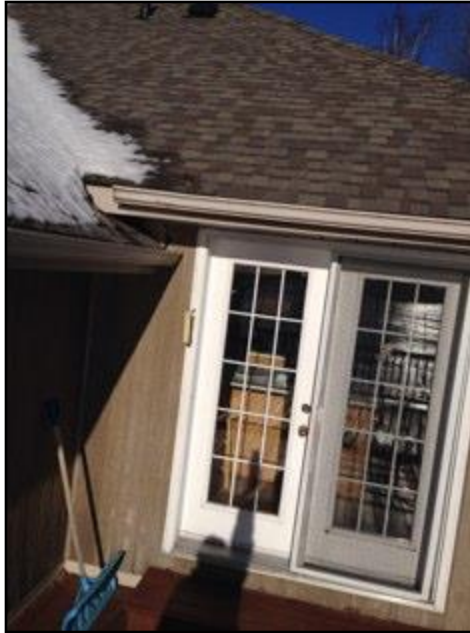
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Asphalt shingles

Gutter & downspout type:

- Eave mounted



Aluminum

Gutter & downspout discharge:

- Below grade

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Below grade

Lot slope: • Hillside

Soffit (underside of eaves) and fascia (front edge of eaves): • Aluminum

Wall surfaces and trim: • composite wood panel

Wall surfaces - masonry: • Brick veneer

Wall surfaces - wood: • Boards

Retaining wall: • Concrete

Driveway: • Gravel • No performance issues were noted.

Deck:

• Raised

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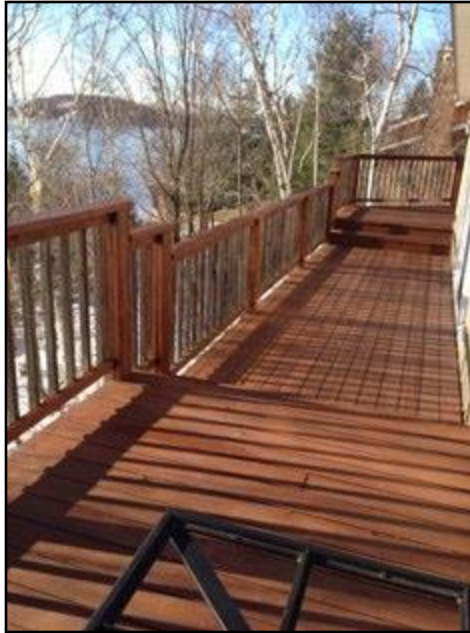
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Raised

- Pressure-treated wood
- No performance issues were noted.

Bottom edge of railing needs support from deck floor with wood blocking



Add railing support

Garage:

- General
- Unattached Garage

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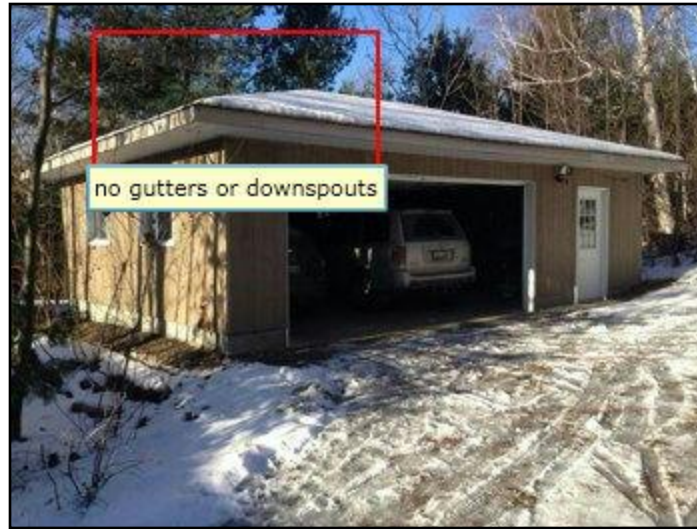
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Unattached Garage

Observations & Recommendations

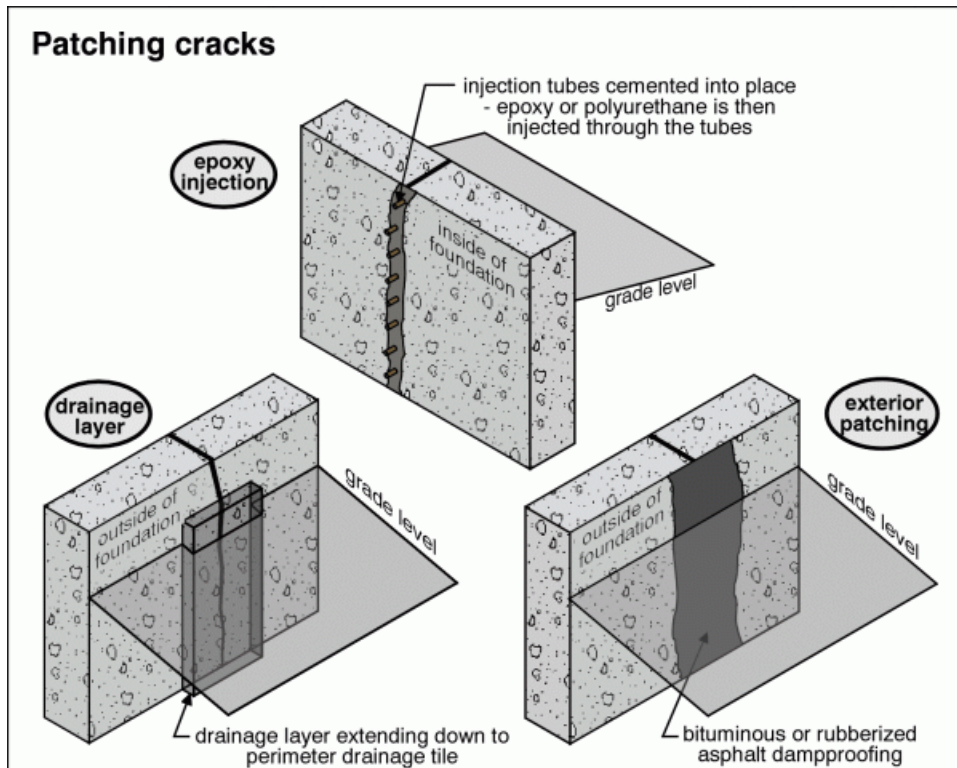
FOUNDATIONS \ General notes

Condition: • Typical minor cracks

Implication(s): Chance of water entering building

Location: Exterior Wall

Time: Discretionary



Crack repair - epoxy and polyurethane injection

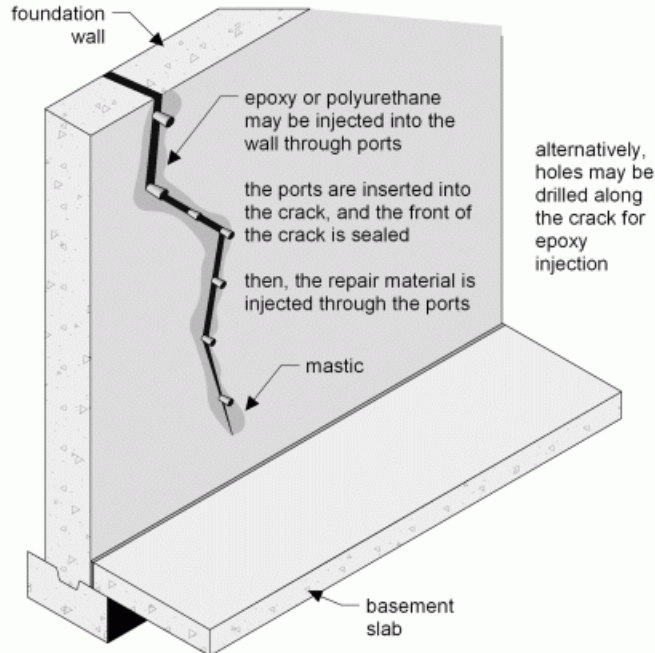
polyurethane is flexible and is not a structural repair, however, it can prevent leakage

it starts out with low viscosity, then expands within the crack

do-it-yourself crack repair kits usually feature polyurethane foam

epoxy is as strong as concrete and forms a structural seal

however, it hardens slowly, and if there is space at the back of the crack, it may leak out



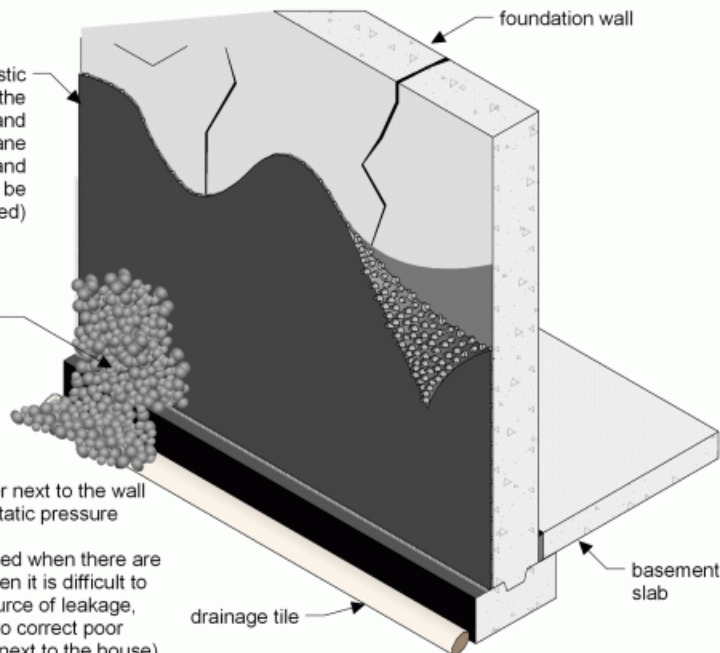
Crack repair - drainage layer

dimpled plastic membrane protects the wall from moisture and provides drainage plane (other membranes and methods may also be used)

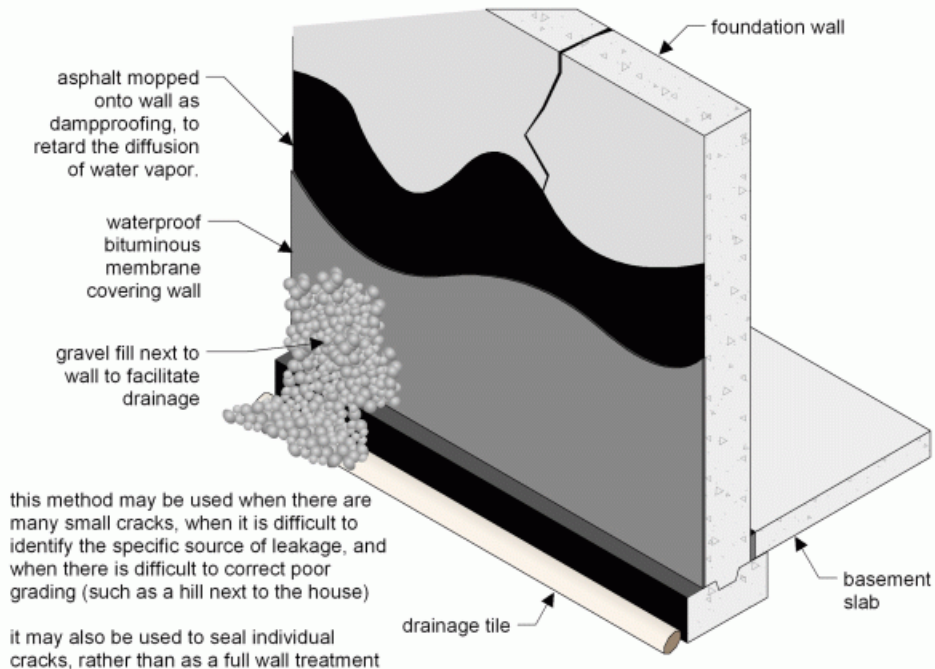
gravel fill next to wall to facilitate drainage

adding a drainage layer next to the wall helps to relieve hydrostatic pressure

this method may be used when there are many small cracks, when it is difficult to identify the specific source of leakage, and when it is difficult to correct poor grading (such as a hill next to the house).



Crack repair - exterior patching



Minor Cracks

General Information

General: • The structure of a home is the skeleton, which includes the foundations and footings as well as the floors, walls, and roof. Structures are judged by how well they are able to stand still. Successful structures do not move; less successful structures do.

Configuration: • Basement

Foundation material: • Poured concrete

Floor construction:

• Joists



Joists

Exterior wall construction: • Wood frame • Wood frame / Brick veneer

Roof and ceiling framing: • Trusses

Inspection Methods & Limitations

Inspection limited/prevented by: • Ceiling, wall and floor coverings

Attic/roof space: • Inspected from access hatch

Observations & Recommendations

SERVICE BOX, GROUNDING AND PANEL \ System grounding

Condition: • Missing

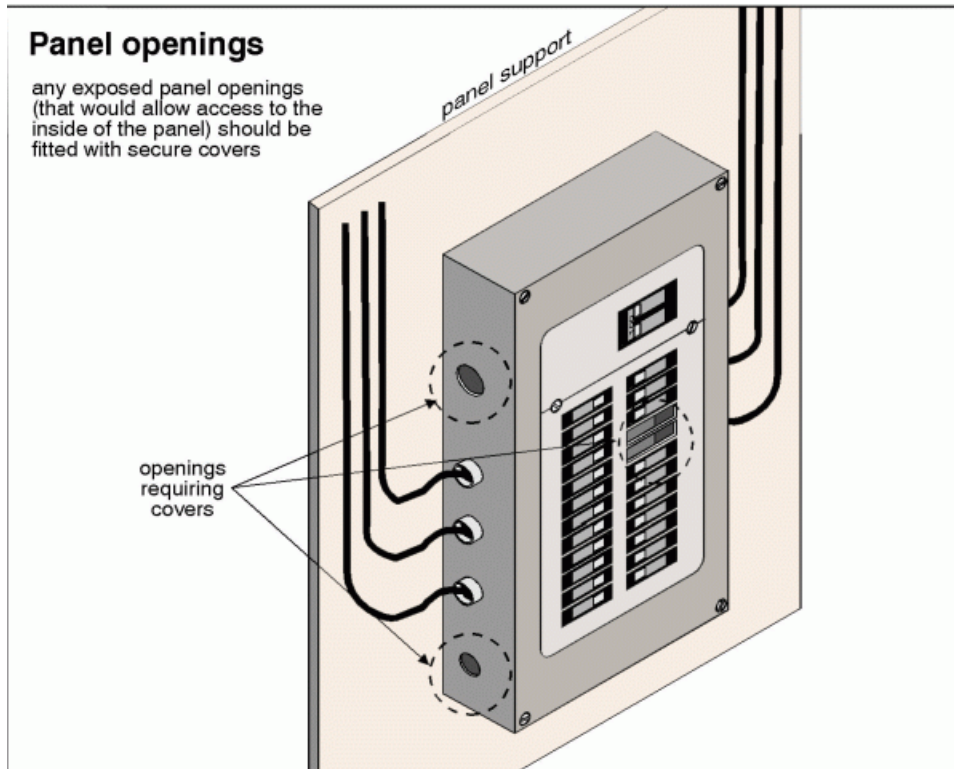
Unable to find the system ground wire. Recommend a qualified electrician to further evaluate.

Implication(s): Electric shock

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

Condition: • Openings in panel

Implication(s): Fire hazard | Electric shock





Openings in panel

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • No GFCI/GFI (Ground Fault Circuit Interrupter)

Implication(s): Electric shock

Location: Kitchen & Laundry Area

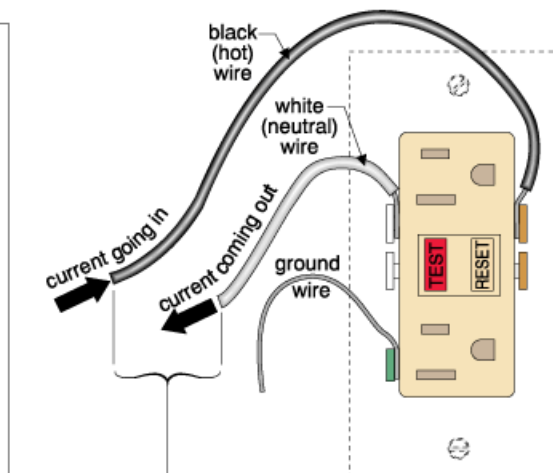
Ground fault circuit interrupter

also known as ground fault interrupter (GFI)

the GFCI circuitry within the outlet checks constantly for a difference between the current in the black and white wires
if there is a difference of at least 5 milliamps, there is a current leak and the GFCI shuts off the outlet and all outlets downstream

note:

if the GFCI is in the panel, the entire circuit will be shut down



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No GFCI



No GFCI

General Information

General: • The electrical system is very important from both a safety and convenience standpoint. Generally speaking, electrical systems are expanded and upgraded over the life of a house, rather than taken out and replaced on a regular basis.

Service entrance cable and location:

- Overhead



Overhead



Overhead

- Overhead copper

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Service size:

- 200 Amps (240 Volts)



200 Amps (240 Volts)

Main disconnect/service box rating: • 200 Amps

Main disconnect/service box type and location: • Breakers - basement

System grounding material and type: • Not visible

Distribution wire (conductor) material and type: • Copper - non-metallic sheathed

Type and number of outlets (receptacles): • All outlets tested for reverse polarity. All OK

Type and number of outlets (receptacles): • Grounded - typical

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • No GFCI

Smoke alarms (detectors): • Present

Inspection Methods & Limitations

System ground: • Not found

HEATING

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Observations & Recommendations

HEAT RECOVERY VENTILATOR \ Ducts and grilles

Condition: • Leak

Implication(s): Equipment ineffective

Location: Basement



Leak

Condition: • Warm-side fresh air duct not well-connected to furnace duct

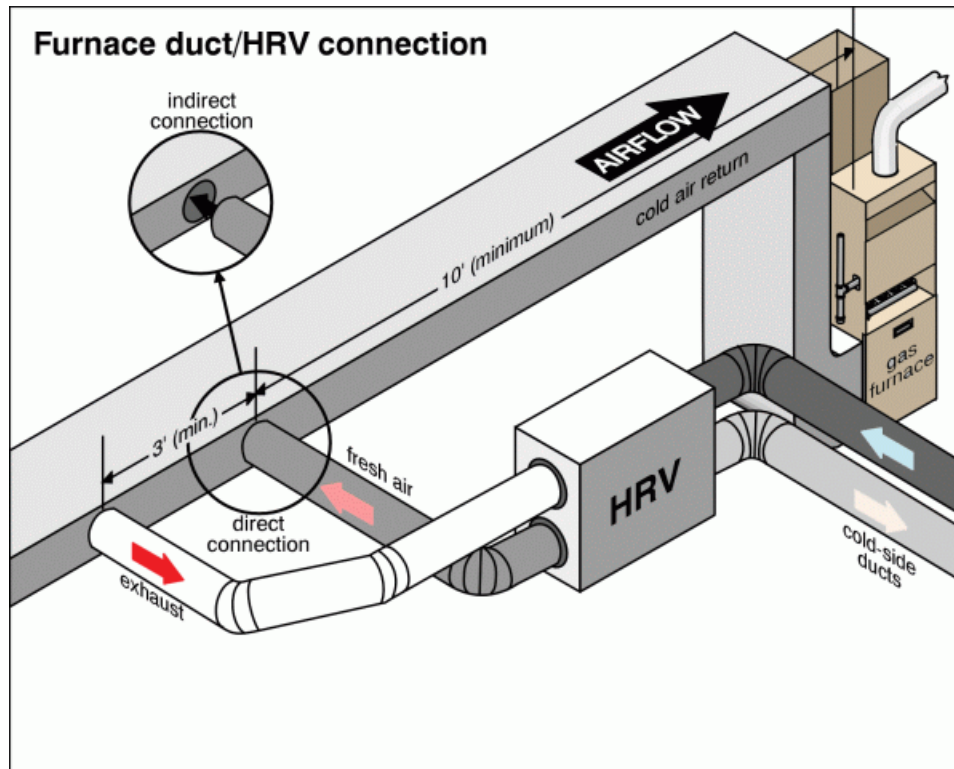
Implication(s): Equipment ineffective

Location: Basement Utility Room

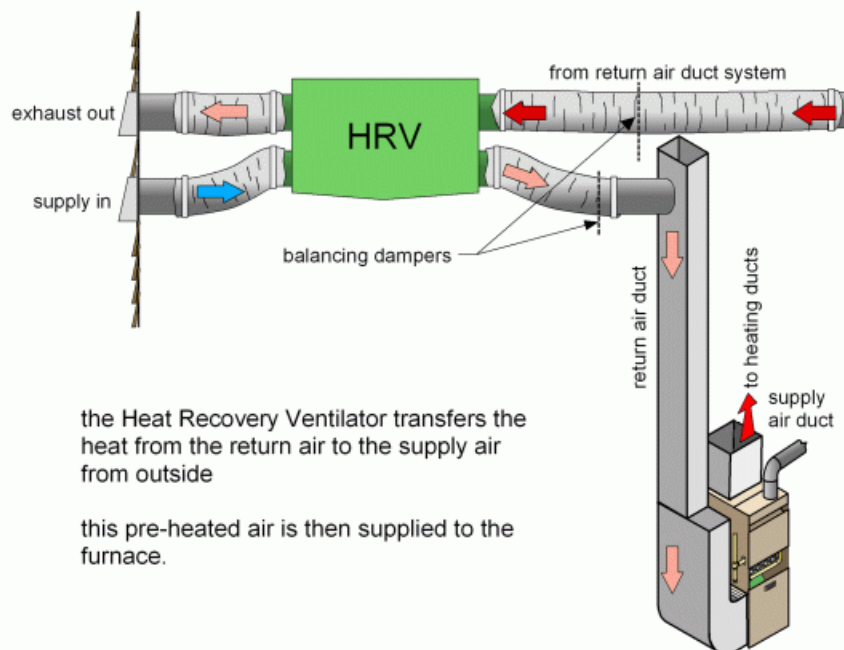
Task: Further evaluation

Time: Immediate

Furnace duct/HRV connection



HRV connections to furnace ductwork



the Heat Recovery Ventilator transfers the heat from the return air to the supply air from outside

this pre-heated air is then supplied to the furnace.

HEATING

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Warm-side fresh air duct not well-connected t

General Information

General: • A well designed heating system is large enough to provide adequate heat on the coldest day, is reliable, is inexpensive to install and operate, is quick to respond to it's controls, is able to heat all parts of the home equally, and is safe. There is no one system which performs all these functions to perfection. Every system is a compromise in one way or another, with low initial cost being the predominant factor.

System type: • Furnace

Fuel/energy source: • Geothermal Heat pump with closed loop water supply and 12,000 watt electrical backup

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Fuel/energy source: • Gas

Heat distribution: • Ducts and registers

Approximate capacity: • Electrical backup 12KW

Approximate capacity: • 50,000 BTU/hr

Efficiency: • High-efficiency

Approximate age: • 2 years

Typical life expectancy: • 50 years

Main fuel shut off at: • Utility room

Failure probability: • Low

Fireplace/stove:

• Factory-built

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Factory-built



Factory-built



Factory-built

Chimney/vent: • Metal

Chimney liner: • Not visible

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Inspection Methods & Limitations

Safety devices: • Not tested as part of a building inspection

Heat loss calculations: • Not done as part of a building inspection

Heat exchanger: • Not accessible

COOLING & HEAT PUMP

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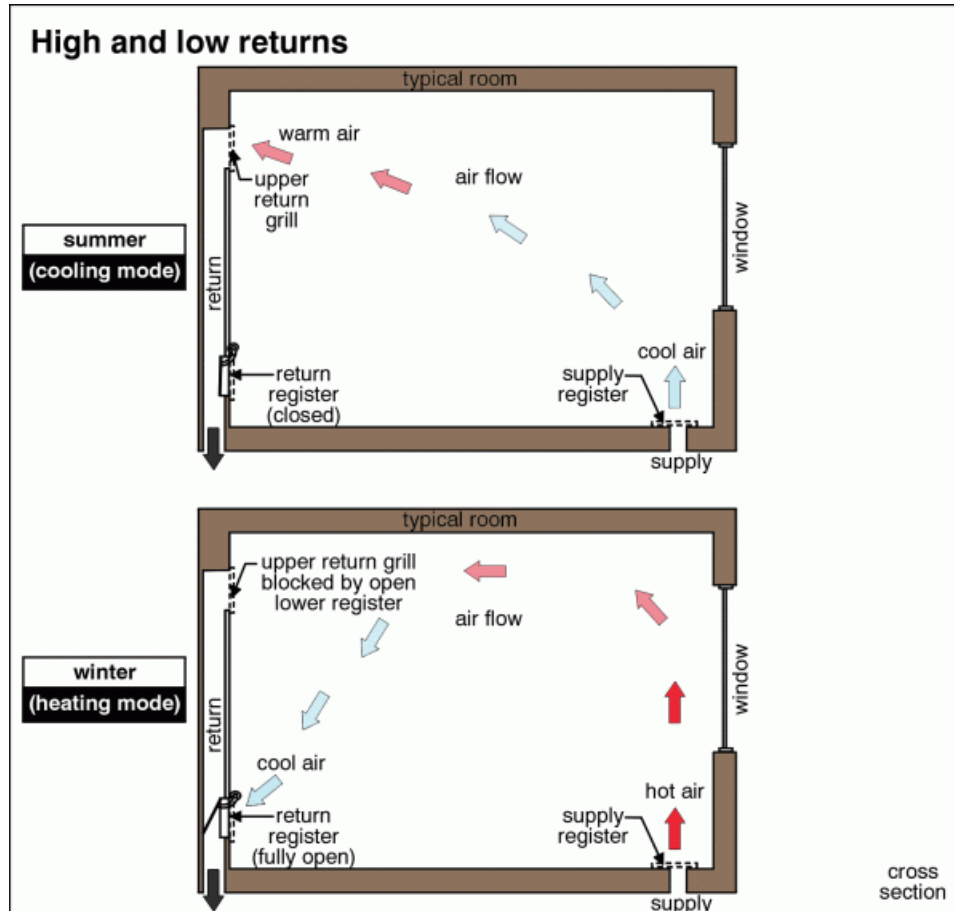
HEAT PUMP \ Duct system

Condition: • When testing the return air ducts it was noted that the grills mounted high on the walls showed little to no air movement. I recommend further evaluation to determine proper air ventilation throughout the house.

Location: Various First Floor Living Room Bathroom Hallway Bathroom Staircase

Task: Further evaluation

Time: Immediate



COOLING & HEAT PUMP

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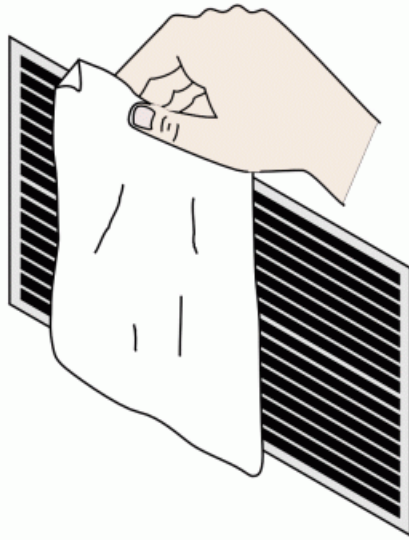
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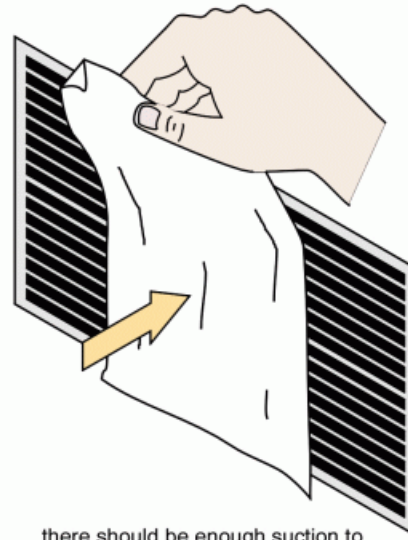
INTERIOR

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Testing cold air returns



(A) hold a tissue next to the cold air return



(B) there should be enough suction to pull the tissue towards the return
if not, the ductwork may be obstructed or the filters (or coil) may be dirty

General Information

General: • Air conditioning systems move heat from a relatively cool space to a relatively warm space. They operate on some basic laws of liquids and gases. When liquids evaporate into gases, they absorb a considerable amount of heat. When gases are condensed back into a liquid, they give off heat. In addition if the pressure of a gas is increased, the temperature will also increase. Many systems use "Freon", a substance which changes state at temperatures and

pressures which are well suited for this application.

Air conditioning type: • Water cooled

Heat pump type: • Water source

Cooling capacity:

• 48,000 BTU/hr

COOLING & HEAT PUMP

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The corrected cooling capacity at 80°F would be 24,300 MBtu/h x 0.867 = 21,076 MBtu/h.

The corrected heating capacity at 32°F would be 18,000 MBtu/h x 0.80 = 14,400 MBtu/h.

The corrected seasonal COP at 80°F and 32°F would be 3.11 based on a 1.250 = 12.5% heat pump.

Product Name	Model	Capacity (MBtu/h)	SEER	HSPF	Energy Efficiency Ratio (EER)	Seasonal Energy Efficiency Ratio (SEER)
Carrier	30	24,300	12.5	12.5	12.5	12.5
	35	28,350	12.5	12.5	12.5	12.5
	40	32,400	12.5	12.5	12.5	12.5
	45	36,450	12.5	12.5	12.5	12.5
	50	40,500	12.5	12.5	12.5	12.5
	55	44,550	12.5	12.5	12.5	12.5
	60	48,600	12.5	12.5	12.5	12.5
	65	52,650	12.5	12.5	12.5	12.5
	70	56,700	12.5	12.5	12.5	12.5
	75	60,750	12.5	12.5	12.5	12.5
Carrier	80	64,800	12.5	12.5	12.5	12.5
	85	68,850	12.5	12.5	12.5	12.5
	90	72,900	12.5	12.5	12.5	12.5
	95	76,950	12.5	12.5	12.5	12.5
	100	81,000	12.5	12.5	12.5	12.5
	105	85,050	12.5	12.5	12.5	12.5
	110	89,100	12.5	12.5	12.5	12.5
	115	93,150	12.5	12.5	12.5	12.5
	120	97,200	12.5	12.5	12.5	12.5
	125	101,250	12.5	12.5	12.5	12.5
Carrier	130	105,300	12.5	12.5	12.5	12.5
	135	109,350	12.5	12.5	12.5	12.5
	140	113,400	12.5	12.5	12.5	12.5
	145	117,450	12.5	12.5	12.5	12.5
	150	121,500	12.5	12.5	12.5	12.5
	155	125,550	12.5	12.5	12.5	12.5
	160	129,600	12.5	12.5	12.5	12.5
	165	133,650	12.5	12.5	12.5	12.5
	170	137,700	12.5	12.5	12.5	12.5
	175	141,750	12.5	12.5	12.5	12.5
Carrier	180	145,800	12.5	12.5	12.5	12.5
	185	149,850	12.5	12.5	12.5	12.5
	190	153,900	12.5	12.5	12.5	12.5
	195	157,950	12.5	12.5	12.5	12.5
	200	162,000	12.5	12.5	12.5	12.5
	205	166,050	12.5	12.5	12.5	12.5
	210	170,100	12.5	12.5	12.5	12.5
	215	174,150	12.5	12.5	12.5	12.5
	220	178,200	12.5	12.5	12.5	12.5
	225	182,250	12.5	12.5	12.5	12.5
Carrier	230	186,300	12.5	12.5	12.5	12.5
	235	190,350	12.5	12.5	12.5	12.5
	240	194,400	12.5	12.5	12.5	12.5
	245	198,450	12.5	12.5	12.5	12.5
	250	202,500	12.5	12.5	12.5	12.5
	255	206,550	12.5	12.5	12.5	12.5
	260	210,600	12.5	12.5	12.5	12.5
	265	214,650	12.5	12.5	12.5	12.5
	270	218,700	12.5	12.5	12.5	12.5
	275	222,750	12.5	12.5	12.5	12.5
Carrier	280	226,800	12.5	12.5	12.5	12.5
	285	230,850	12.5	12.5	12.5	12.5
	290	234,900	12.5	12.5	12.5	12.5
	295	238,950	12.5	12.5	12.5	12.5
	300	243,000	12.5	12.5	12.5	12.5
	305	247,050	12.5	12.5	12.5	12.5
	310	251,100	12.5	12.5	12.5	12.5
	315	255,150	12.5	12.5	12.5	12.5
	320	259,200	12.5	12.5	12.5	12.5
	325	263,250	12.5	12.5	12.5	12.5
Carrier	330	267,300	12.5	12.5	12.5	12.5
	335	271,350	12.5	12.5	12.5	12.5
	340	275,400	12.5	12.5	12.5	12.5
	345	279,450	12.5	12.5	12.5	12.5
	350	283,500	12.5	12.5	12.5	12.5
	355	287,550	12.5	12.5	12.5	12.5
	360	291,600	12.5	12.5	12.5	12.5
	365	295,650	12.5	12.5	12.5	12.5
	370	299,700	12.5	12.5	12.5	12.5
	375	303,750	12.5	12.5	12.5	12.5
Carrier	380	307,800	12.5	12.5	12.5	12.5
	385	311,850	12.5	12.5	12.5	12.5
	390	315,900	12.5	12.5	12.5	12.5
	395	319,950	12.5	12.5	12.5	12.5
	400	324,000	12.5	12.5	12.5	12.5
	405	328,050	12.5	12.5	12.5	12.5
	410	332,100	12.5	12.5	12.5	12.5
	415	336,150	12.5	12.5	12.5	12.5
	420	340,200	12.5	12.5	12.5	12.5
	425	344,250	12.5	12.5	12.5	12.5
Carrier	430	348,300	12.5	12.5	12.5	12.5
	435	352,350	12.5	12.5	12.5	12.5
	440	356,400	12.5	12.5	12.5	12.5
	445	360,450	12.5	12.5	12.5	12.5
	450	364,500	12.5	12.5	12.5	12.5
	455	368,550	12.5	12.5	12.5	12.5
	460	372,600	12.5	12.5	12.5	12.5
	465	376,650	12.5	12.5	12.5	12.5
	470	380,700	12.5	12.5	12.5	12.5
	475	384,750	12.5	12.5	12.5	12.5
Carrier	480	388,800	12.5	12.5	12.5	12.5
	485	392,850	12.5	12.5	12.5	12.5
	490	396,900	12.5	12.5	12.5	12.5
	495	400,950	12.5	12.5	12.5	12.5
	500	405,000	12.5	12.5	12.5	12.5
	505	409,050	12.5	12.5	12.5	12.5
	510	413,100	12.5	12.5	12.5	12.5
	515	417,150	12.5	12.5	12.5	12.5
	520	421,200	12.5	12.5	12.5	12.5
	525	425,250	12.5	12.5	12.5	12.5
Carrier	530	429,300	12.5	12.5	12.5	12.5
	535	433,350	12.5	12.5	12.5	12.5
	540	437,400	12.5	12.5	12.5	12.5
	545	441,450	12.5	12.5	12.5	12.5
	550	445,500	12.5	12.5	12.5	12.5
	555	449,550	12.5	12.5	12.5	12.5
	560	453,600	12.5	12.5	12.5	12.5
	565	457,650	12.5	12.5	12.5	12.5
	570	461,700	12.5	12.5	12.5	12.5
	575	465,750	12.5	12.5	12.5	12.5
Carrier	580	469,800	12.5	12.5	12.5	12.5
	585	473,850	12.5	12.5	12.5	12.5
	590	477,900	12.5	12.5	12.5	12.5
	595	481,950	12.5	12.5	12.5	12.5
	600	486,000	12.5	12.5	12.5	12.5
	605	490,050	12.5	12.5	12.5	12.5
	610	494,100	12.5	12.5	12.5	12.5
	615	498,150	12.5	12.5	12.5	12.5
	620	502,200	12.5	12.5	12.5	12.5
	625	506,250	12.5	12.5	12.5	12.5
Carrier	630	510,300	12.5	12.5	12.5	12.5
	635	514,350	12.5	12.5	12.5	12.5
	640	518,400	12.5	12.5	12.5	12.5
	645	522,450	12.5	12.5	12.5	12.5
	650	526,500	12.5	12.5	12.5	12.5
	655	530,550	12.5	12.5	12.5	12.5
	660	534,600	12.5	12.5	12.5	12.5
	665	538,650	12.5	12.5	12.5	12.5
	670	542,700	12.5	12.5	12.5	12.5
	675	546,750	12.5	12.5	12.5	12.5
Carrier	680	550,800	12.5	12.5	12.5	12.5
	685	554,850	12.5	12.5	12.5	12.5
	690	558,900	12.5	12.5	12.5	12.5
	695	562,950	12.5	12.5	12.5	12.5
	700	567,000	12.5	12.5	12.5	12.5
	705	571,050	12.5	12.5	12.5	12.5
	710	575,100	12.5	12.5	12.5	12.5
	715	579,150	12.5	12.5	12.5	12.5
	720	583,200	12.5	12.5	12.5	12.5
	725	587,250	12.5	12.5	12.5	12.5
Carrier	730	591,300	12.5	12.5	12.5	12.5
	735	595,350	12.5	12.5	12.5	12.5
	740	599,400	12.5	12.5	12.5	12.5
	745	603,450	12.5	12.5	12.5	12.5
	750	607,500	12.5	12.5	12.5	12.5
	755	611,550	12.5	12.5	12.5	12.5
	760	615,600	12.5	12.5	12.5	12.5
	765	619,650	12.5	12.5	12.5	12.5
	770	623,700	12.5	12.5	12.5	12.5
	775	627,750	12.5	12.5	12.5	12.5
Carrier	780	631,800	12.5	12.5	12.5	12.5
	785	635,850	12.5	12.5	12.5	12.5
	790	639,900	12.5	12.5	12.5	12.5
	795	643,950	12.5	12.5	12.5	12.5
	800	648,000	12.5	12.5	12.5	12.5
	805	652,050	12.5	12.5	12.5	12.5
	810	656,100	12.5	12.5	12.5	12.5
	815	660,150	12.5	12.5	12.5	12.5
	820	664,200	12.5	12.5	12.5	12.5
	825	668,250	12.5	12.5	12.5	12.5
Carrier	830	672,300	12.5	12.5	12.5	12.5
	835	676,350	12.5	12.5	12.5	12.5
	840	680,400	12.5	12.5	12.5	12.5
	845	684,450	12.5	12.5	12.5	12.5
	850	688,500	12.5	12.5	12.5	12.5
	855	692,550	12.5	12.5	12.5	12.5
	860	696,600	12.5	12.5	12.5	12.5
	865	700,650	12.5	12.5	12.5	12.5
	870	704,700	12.5	12.5	12.5	12.5
	875	708,750	12.5	12.5	12.5	12.5
Carrier	880	712,800	12.5	12.5	12.5	12.5
	885	716,850	12.5	12.5	12.5	12.5
	890	720,900	12.5	12.5	12.5	12.5
	895	724,950	12.5	12.5	12.5	12.5
	900	729,000	12.5	12.5	12.5	12.5
	905	733,050	12.5	12.5	12.5	12.5
	910	737,100	12.5	12.5	12.5	12.5
	915	741,150	12.5	12.5	12.5	12.5
	920	745,200	12.5	12.5	12.5	12.5
	925	749,250	12.5	12.5	12.5	12.5
Carrier	930	753,300	12.5	12.5	12.5	12.5
	935	757,350	12.5	12.5	12.5	12.5
	940	761,400	12.5	12.5	12.5	12.5
	945	765,450	12.5	12.5	12.5	12.5
	950	769,500	12.5	12.5	12.5	12.5
	955	773,550	12.5	12.5	12.5	12.5
	960	777,600	12.5	12.5	12.5	12.5
	965	781,650	12.5	12.5	12.5	12.5
	970	785,700	12.5	12.5	12.5	12.5
	975	789,750	12.5	12.5	12.5	12.5
Carrier	980	793,800	12.5	12.5	12.5	12.5
	985	797,850	12.5	12.5	12.5	12.5
	990	801,900	12.5	12.5	12.5	12.5
	995	805,950	12.5	12.5	12.5	12.5
	1000	810,000	12.5	12.5	12.5	12.5
	1005	814,050	12.5	12.5	12.5	12.5

INSULATION AND VENTILATION

5325 Anystreet, Anytown, AB December 6, 2013

Report No. 1012, v.4

www.sureproinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

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General Information

General: • Virtually every home has room for the improvement of insulation, ventilation, caulking and weather-stripping. By improving these you improve the comfort levels and conserve energy. Good insulation slows the rate of heat loss from a house. The best insulating materials are light weight, because air is a very good insulator. The problem is that air moves around by convection and wind, and the heat travels freely in the air. A good insulating material is one that limits the movement of trapped air.

Attic/roof insulation material: • Glass fiber

Attic/roof insulation amount/value: • R-40

Attic/roof air/vapor barrier: • Not determined

Attic/roof ventilation: • Roof vent • Soffit vent • Gable vent

Wall insulation material: • Glass fiber

Wall insulation amount/value: • R-20

Inspection Methods & Limitations

Attic inspection performed: • From access hatch

Air/vapor barrier system: • Continuity not verified

Mechanical ventilation effectiveness: • Not verified

General Information

General: • The purpose of a homes plumbing system is twofold. On the supply side, the idea is to get water for drinking, washing and cooking to the appropriate areas of the house. The waste side of the plumbing system is intended to get rid of the water and waste. The supply water operates under pressure, while the waste water flows by gravity. Plumbing components are expensive and plumbing repairs or improvements are among the more costly projects homeowners undertake.

Water supply source: • Pumped from lake

Water supply source:

- Private



Private

Service piping into building: • Copper

Supply piping in building: • Copper

Main water shut off valve at the: • Basement

Water flow and pressure: • Typical for neighborhood

Water heater type:

- Rental

PLUMBING

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SUMMARY

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Rental

Water heater fuel/energy source: • Electric

Water heater tank capacity: • 38.5 imp gal

Water heater approximate age: • 2 years

Water heater failure probability: • Low

Waste disposal system: • Septic system

Waste and vent piping in building: • ABS plastic

Water treatment system: • Iron filter • Ultraviolet treatment

Inspection Methods & Limitations

Items excluded from a building inspection: • Water quality • Septic system • Isolating/relief valves & main shut-off valve

Observations & Recommendations

WALLS \ Plaster or drywall

Condition: • Water damage

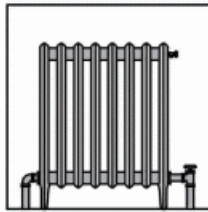
This appears to be a one time, old leak from something on the first floor and not a recurring issue.

Location: Basement Utility Room

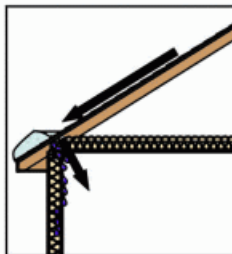
Task: Monitor

Cost: Minor

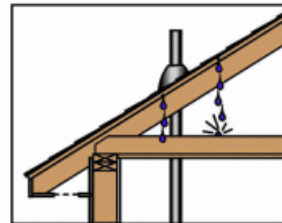
Sources of interior water damage



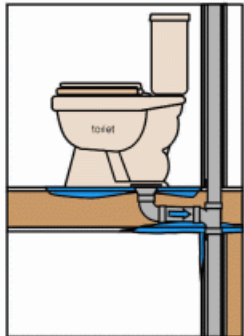
heating leaks



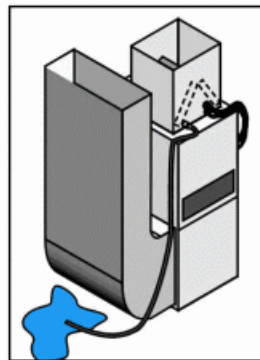
ice damming
and condensation



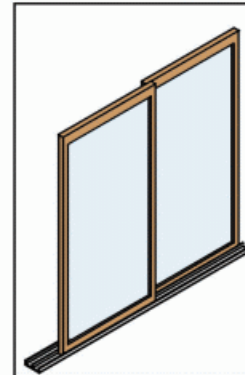
roof or
flashing leaks



plumbing leaks



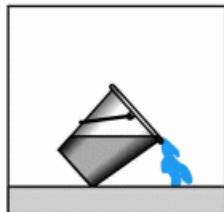
air conditioning leaks



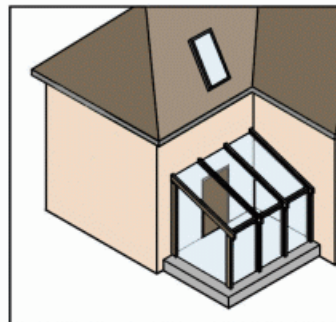
door leaks



melting snow



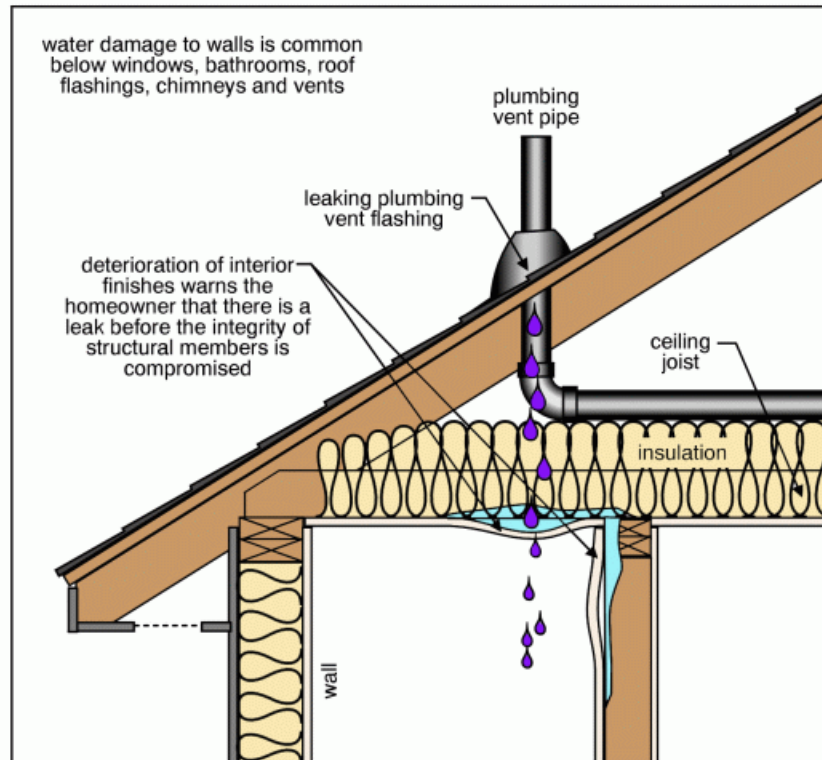
accidental spills



wall, window, solarium and skylight leaks

Common locations for water damage

water damage to walls is common below windows, bathrooms, roof flashings, chimneys and vents



Minor water damage

INTERIOR

5325 Anystreet, Anytown, AB December 6, 2013

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SUMMARY

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Condition: • Typical flaws

Location: First Floor Hallway Bathroom



Plaster/drywall



Damaged

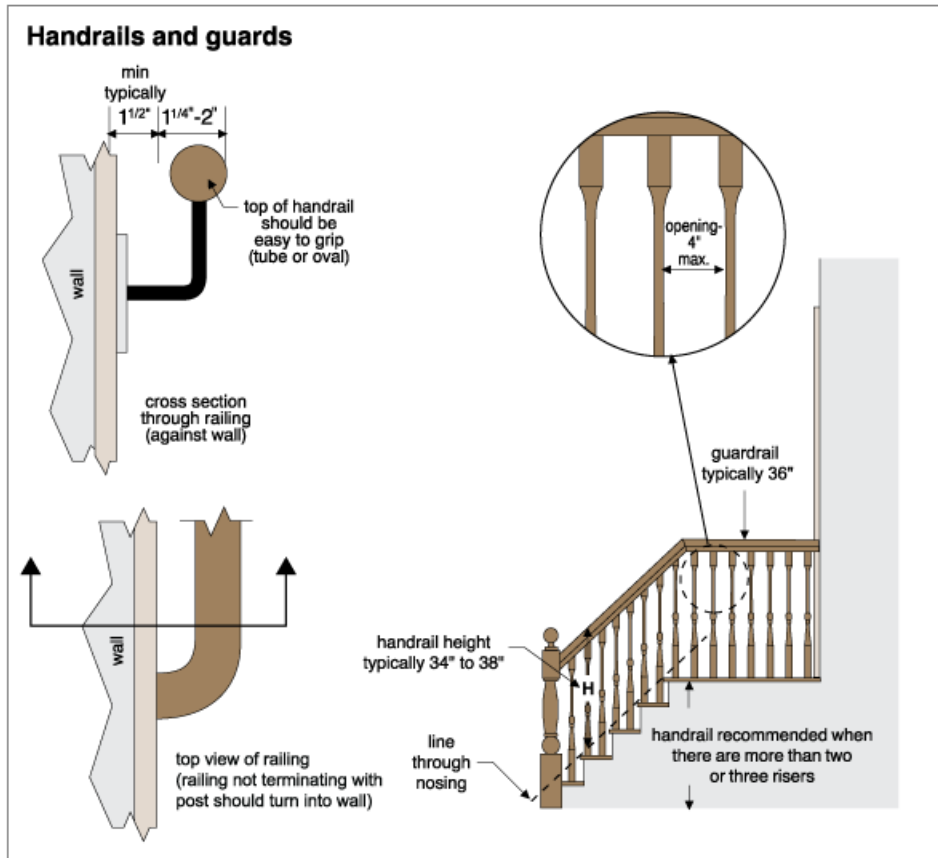
STAIRS \ Handrails and guards

Condition: • Missing

With no obstruction between the posts the step is too high. A railing to block the step or a bridging of the two outer steps to create one continuous step is recommended.

Implication(s): Fall hazard

Location: Basement



Missing

General Information

General: • The building interior is looked at for a number of reasons. The interior provides clues to structural problems and is often the area where water leakage is first detectable. The interior finishes themselves usually reflect overall building quality and their condition helps indicate the level of overall maintenance.

Major floor finishes: • Carpet • Resilient

Major wall finishes: • Plaster/drywall

Major ceiling finishes: • Plaster/drywall • Wood

Major wall and ceiling finishes: • Plaster/drywall • Paneling

Windows: • All windows tested. All OK

Windows:

• Casement



Casement

• Skylight

INTERIOR

5325 Anystreet, Anytown, AB December 6, 2013

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SUMMARY

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Skylight

Glazing: • Double

Exterior doors - type/material:

- Hinged
- French
- Metal



Metal

Doors:

- Inspected



Inspected

Bathroom ventilation: • Exhaust fan

Inspection Methods & Limitations

Not included as part of a building inspection: • Carbon monoxide alarms (detectors), security systems, central vacuum

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS