

INSPECTION REPORT



For the Property at:
1030 W ADDISON
CHICAGO, IL

Prepared for: ROBERT ELLIOTT
Inspection Date: Saturday, March 31, 2007
Prepared by: robert elliott

ELLIOTT HOME INSPECTION

Elliott Home Inspection
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ROOFING

1030 w Addison, Chicago, IL March 31, 2007

- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR

Note: For the purpose of this report the building is considered to be facing **West**.

DESCRIPTION

Sloped: • [Asphalt](#)

Probability of leakage: • High

LIMITATIONS

Roof inspection limited/prevented by: • Lack of access (too slippery/fragile)

Inspection performed: • By walking on roof

RECOMMENDATIONS

Sloped roofing \ Asphalt shingles

Condition: • [Old, worn out](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Sloped roofing \ Asphalt shingles

Condition: • [Near end of life expectancy](#)

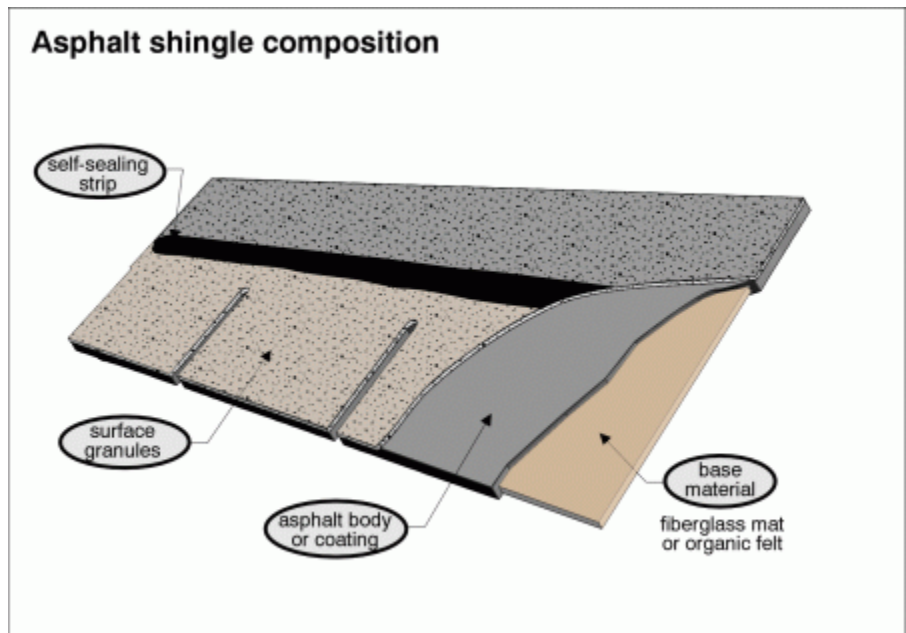
Implication(s): Chance of water damage to contents, finishes and/or structure

Sloped roofing \ Asphalt shingles

Condition: • [Granule loss](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Note: Granules are clogging the gutters



[Click on image to enlarge.](#)



1. Note missing granules

Sloped roof flashings \ Flashings

Condition: • Inspect & repair, as needed.

Sloped roof flashings \ Chimney flashings

Condition: • [Damage, loose, open seams, patched](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Note: Attempt to divert water from chimney was made using I shaped sheet metal.

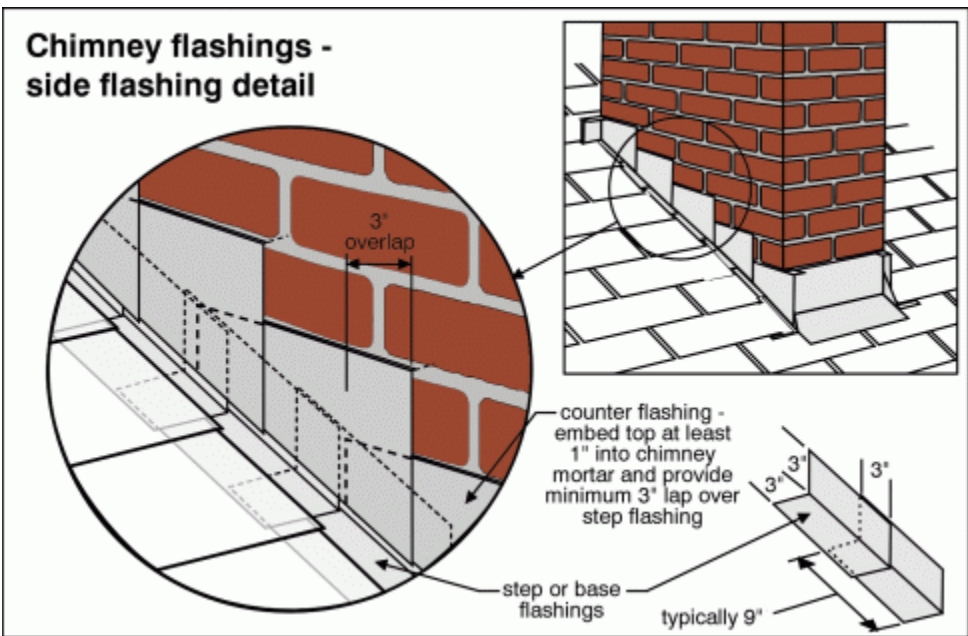


2. Note this is an amateur attempt to divert

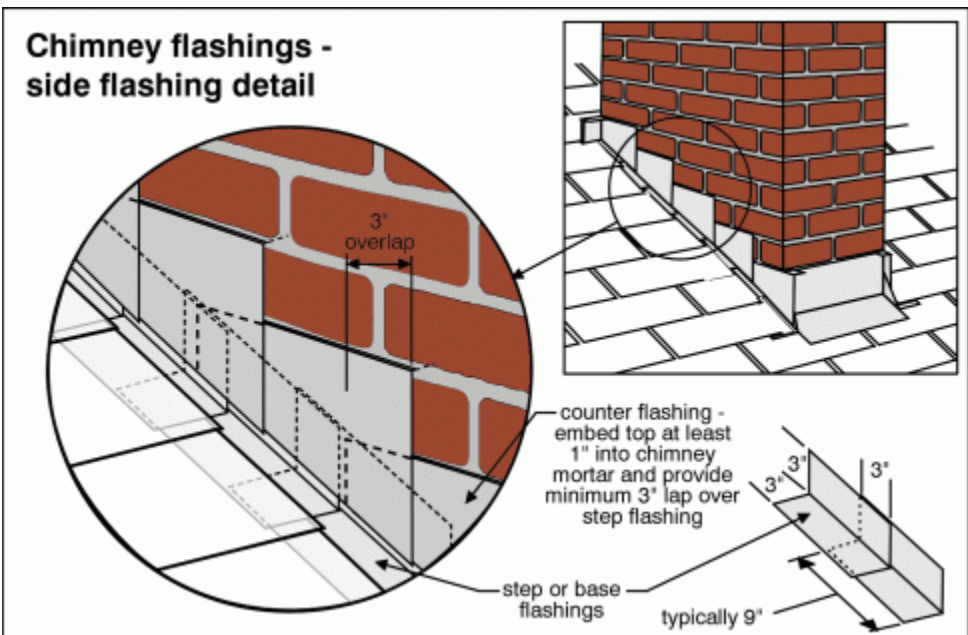
Sloped roof flashings \ Chimney flashings

Condition: • [Side flashings not set into shingles properly](#)

Implication(s): Chance of water damage to contents, finishes and/or structure



[Click on image to enlarge.](#)



[Click on image to enlarge.](#)

EXTERIOR

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

DESCRIPTION

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout type: • [Eave mounted](#)

Gutter & downspout discharge: • [Above grade](#)

Lot slope: • [Away from house](#)

Wall surfaces - masonry: • [Brick](#)

Walkway:

• Concrete

Note: Vaulted



3. Greater than 1 inch differential

Exterior steps: • Concrete

Fence: • Chain link

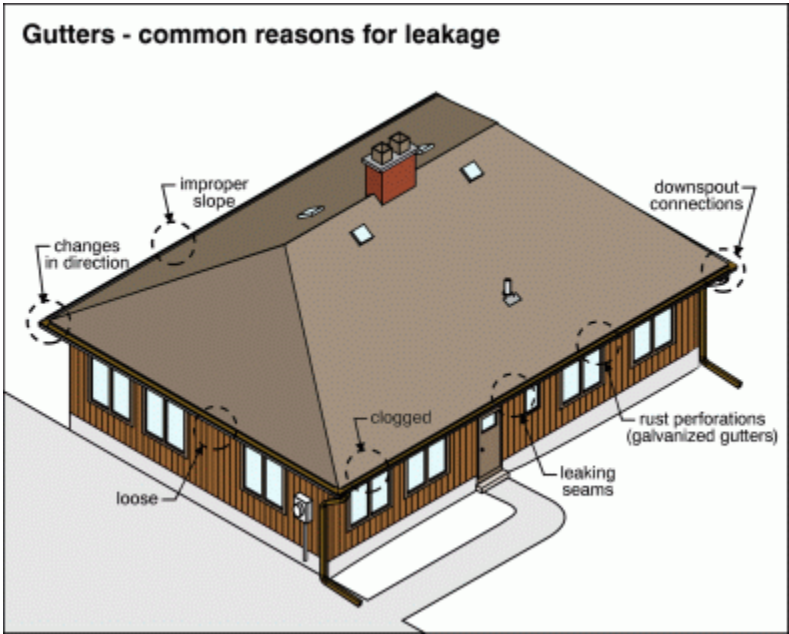
RECOMMENDATIONS

Roof drainage \ Gutters

Condition: • [Clogged](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Note: filled with roof granules



[Click on image to enlarge.](#)



4. These are deteriorated shingle granules

Roof drainage \ Downspouts

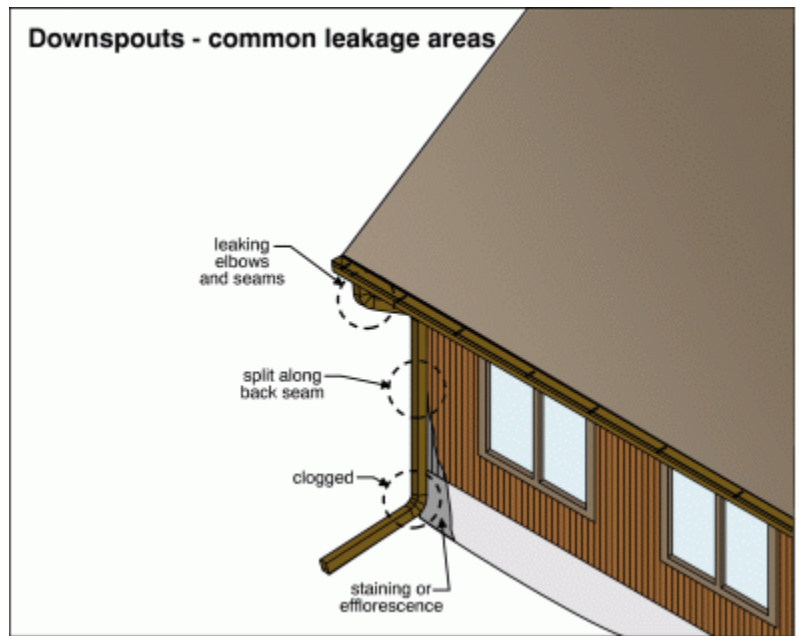
Condition: • [Leak](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Northeast

Task: Monitor

Note: Downspouts may be clogged

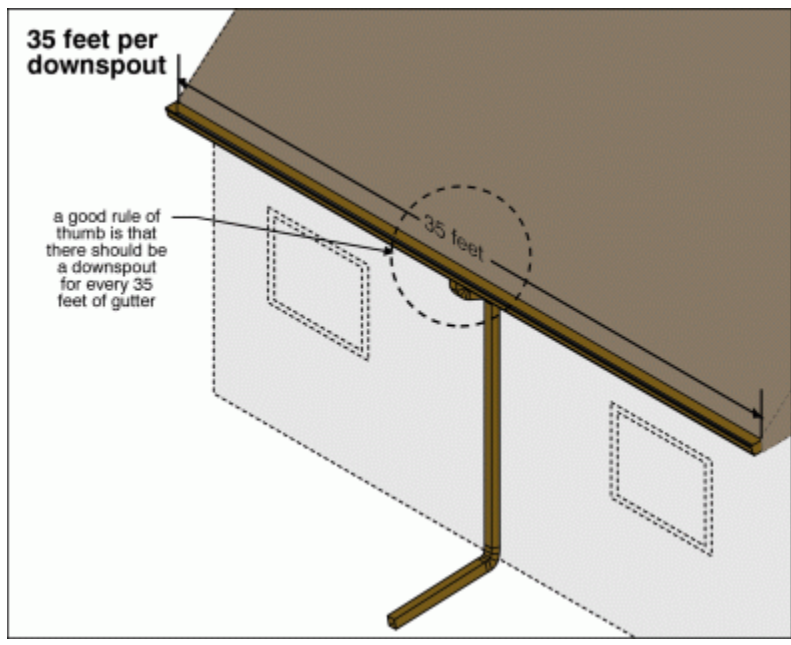


[Click on image to enlarge.](#)

Roof drainage \ Downspouts

Condition: • [Too few](#)

Implication(s): Chance of water damage to contents, finishes and/or structure



[Click on image to enlarge.](#)

DESCRIPTION

Configuration: • [Basement](#)

Foundation material: • [Poured concrete](#)

Floor construction:

• [Joists](#)

Note: Visible sections in mechanical room appear ok



5. *Note bridging used properly where seen*

- Steel columns
- Steel beams

Exterior wall construction: • [Masonry](#)

Roof and ceiling framing: • [Rafters/roof joists](#)

LIMITATIONS

Inspection limited/prevented by:

- New finishes/paint

Note: finished basement with paneling

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

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PLUMBING

INTERIOR

DESCRIPTION

Service entrance cable and location: • [Overhead copper](#)

Service size:

• [100 Amps \(240 Volts\)](#)



6. This is the meter located rear south east

Main disconnect/service box rating: • [100 Amps](#)

Main disconnect/service box type and location: • [Breakers - basement](#)

System grounding material and type: • [Copper - water pipe](#)

Distribution panel rating: • [100 Amps](#)

Distribution panel type and location: • [Breakers - basement](#)

Distribution wire material and type: • [Copper - conduit](#)

Type and number of outlets: • [Grounded and ungrounded - minimal](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • No AFCI • [GFCI - bathroom](#) • [GFCI - outside](#) • [GFCI - kitchen](#) • [GFCI - bathroom and exterior](#)

Smoke detectors: • [Present](#)

LIMITATIONS

Inspection limited/prevented by: • Restricted access

RECOMMENDATIONS

Distribution system \ Lights

Condition: • [Damage](#)

Implication(s): Electric shock | Fire hazard

Location: middle bedroom

Task: replace

Time: min

Cost: min

Note: Socket in middle bedroom was found to be defective, after using voltage tester to make determination. This is in the ceiling fixture and one of three, where the other two are functioning.

Distribution system \ Lights

Condition: • [Inoperative](#)

Implication(s): Inadequate lighting

Distribution system \ Junction boxes

Condition: • [Cover loose or missing](#)

Implication(s): Electric shock | Fire hazard

Location: Basement Furnace room

Task: Replace

Cost: Minor



7. missing cover for junction box

Distribution system \ Cover plates

Condition: • [Missing](#)

Implication(s): Electric shock

HEATING

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INTERIOR

DESCRIPTION

Fuel: • [Gas](#)

System type:

• [Furnace](#)

Note: The main furnace is a 125,000 btu Carrier unit supplying the first floor. This is an HVAC unit.

• [Furnace](#)

Note: Secodary unit is a small 45,000 btu hotwater boiler used for the basement with a baseboard distribution system. Age not determined, but functional with it's own thermostat.



8.

Efficiency: • [Conventional](#)

Approximate age: • [18 years](#)

Main fuel shut off at: • individual gas shutoff for unit is provided on side of furnace.

Main fuel shut off at: • Meter

Chimney: • [Masonry](#)

Chimney liner:

• [Clay](#)

Note: Determined using a mirror from the cleanout

HEATING

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9. Clean out should be cleaned of debris

Supply temperature: • 100°

Return temperature: • 71°

Carbon monoxide test: • 0 parts per million - approximate

LIMITATIONS

Heat exchanger: • Only a small portion visible

RECOMMENDATIONS

Gas furnace \ Heat exchanger

Condition: • [Cracks, holes or rust](#)

Implication(s): Reduced system life expectancy | Hazardous combustion products entering home

Note: Noted some rust on visible portion of heat exchanger.

This should be checked by a qualified contractor. Also the life expectancy of a heat exchanger is 20 to 25 years so replacement of the furnace will be needed at that time. Another concern is that Carrier is presently involved in a class action lawsuit involving the exchangers alleging they are inferior steel.

COOLING & HEAT PUMP

Report No. 1005

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INTERIOR

DESCRIPTION

Air conditioning type:

- [Air cooled](#)

Note: Air conditioning is being replaced by owner

LIMITATIONS

Inspection limited/prevented by: • Low outdoor temperature • Power turned off • Outdoor unit covered

DESCRIPTION

Attic/roof insulation material: • [Glass fiber](#)

Attic/roof insulation amount: • [R-20](#)

Attic/roof ventilation:

- [Roof and soffit vents](#)

Note: Air flow in attic appears acceptable.

Air/vapor barrier: • [Kraft paper](#)

RECOMMENDATIONS

Attic/roof \ Pull-down stairs

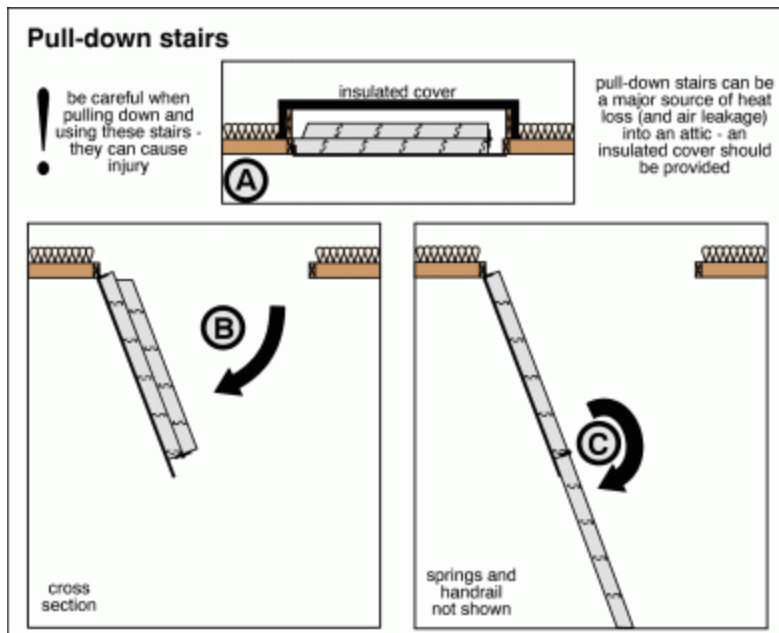
Condition: • [Not insulated](#)

Implication(s): Increased heating and cooling costs | Reduced comfort

Location: Attic

Task: insulate

Note: Recommend adding insulation to attic side of drop down stairs



[Click on image to enlarge.](#)

DESCRIPTION

Water supply source: • Public

Service piping into house: • [Galvanized steel](#)

Supply piping in house: • [Copper](#) • [Galvanized steel](#)

Main shut off valve at the: • Front of the basement

Water flow (pressure): • [Functional](#)

Water heater type:

• [Conventional](#)

Note: This is a forty gallon gas fired Kenmore that is 5 years old. Tempter pressure relief valve installed properly with temperture set at 160f this should be lowered to prevent scalding. Recommend having it set at 140f.

Tank capacity: • [40 gallons](#)

Waste disposal system: • [Public](#)

Waste piping in house: • [Cast Iron](#)

Pumps:

• [Solid waste pump \(ejector pump\)](#)

Note: these are self sustaining and should not be opened

RECOMMENDATIONS

Supply plumbing \ Supply piping in house

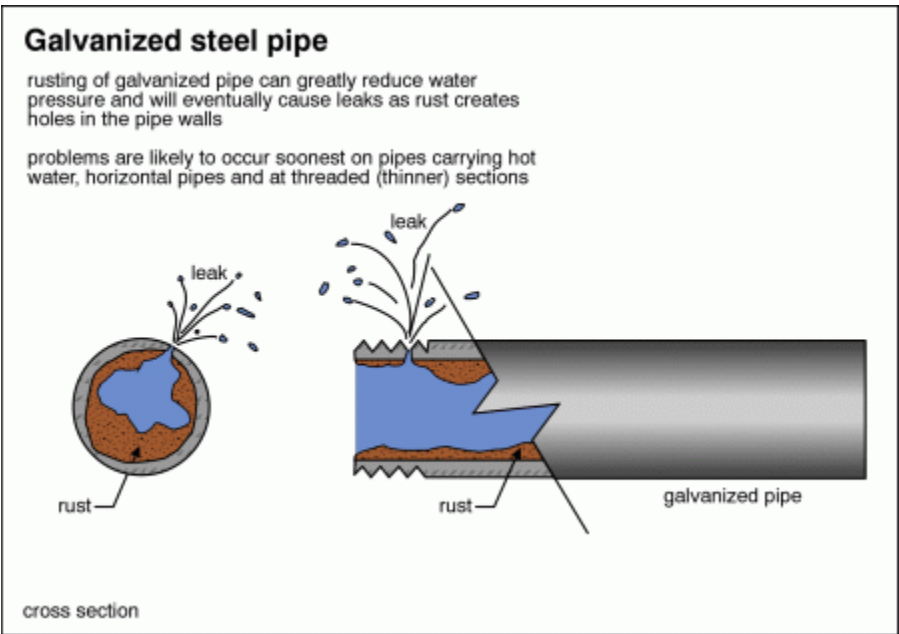
Condition: • [Galvanized steel](#)

Implication(s): Reduced water pressure and volume

Location: Basement

Task: install unions or change material

Note: Some of the pipes are made of copper and when connected to the galvanized pipe they should have a dielectric union to prevent chemical reaction between the pipes.



[Click on image to enlarge.](#)



10. copper should not connect to galvanized

Waste plumbing \ Drain piping - performance

Condition: • [Leak](#)

Implication(s): Sewage entering the house

Location: Bathroom

Task: replace wax seal and tighten

Note: Toilet waste pipe is leaking on to floor of basement

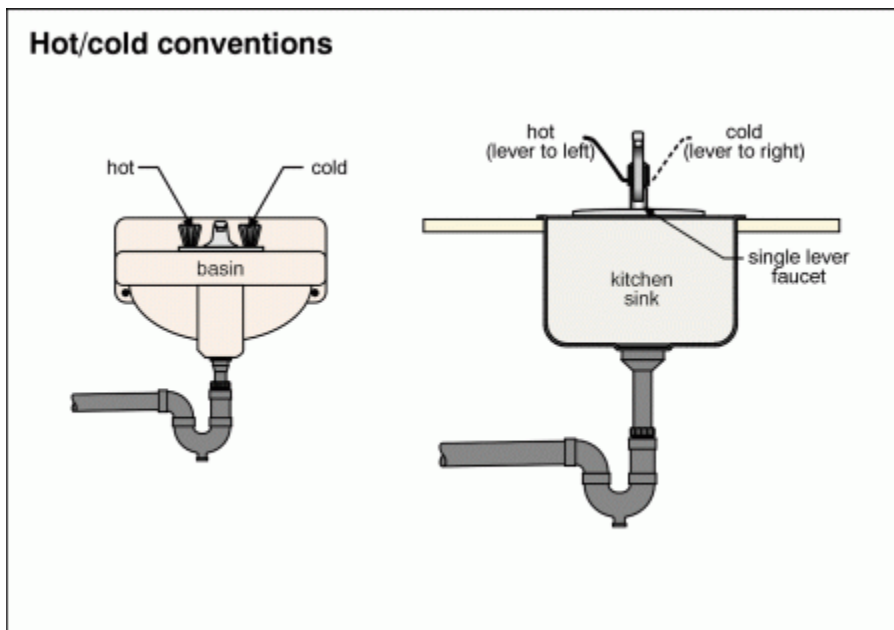


11. underside of toilet shows leaking

Fixtures and faucets \ Faucet

Condition: • [Hot and cold reversed](#)

Note: Hot water is normally on the left side with cold on the right, however this is reversed and may cause someone to get burnt. I would recommend correction as this is a new sink faucet.



[Click on image to enlarge.](#)

DESCRIPTION

Major floor finishes: • [Carpet](#) • [Laminate](#) • [Ceramic](#)

Major wall and ceiling finishes:

• [Plaster/drywall](#)

Note: Plaster is a good sturdy material.

Windows: • [Single/double hung](#)

Glazing:

• [Double](#)

Note: Glazing on windows appears in good condition.

This is the putty which seals window glass to the frame.

Exterior doors: • [Solid wood](#)

Evidence of basement leakage:

• Stains

Note: Stains along basement walls indicate water level of 5 inches some time in the past. There are no indications of present moisture at this time. Recommend request of disclosure by owner

Oven type: • Conventional

LIMITATIONS

Inspection limited/prevented by:

• Carpet

Note: I have no way to determine condition of the top of the floor surface below carpet. This is important if you intend to refinish the wood floor underneath.

RECOMMENDATIONS

Windows \ Glass (glazing)

Condition: • [Cracked](#)

Implication(s): Cosmetic defects | Physical injury

Location: North First floor Bedroom

Task: Replace

Time: Ongoing

Cost: Less than \$100

Carpentry \ Cabinets

Condition: • [Pieces missing or loose](#)

Note: One of the drawers in the kitchen is missing a pull. This is easy to fix, but only if you can match it.

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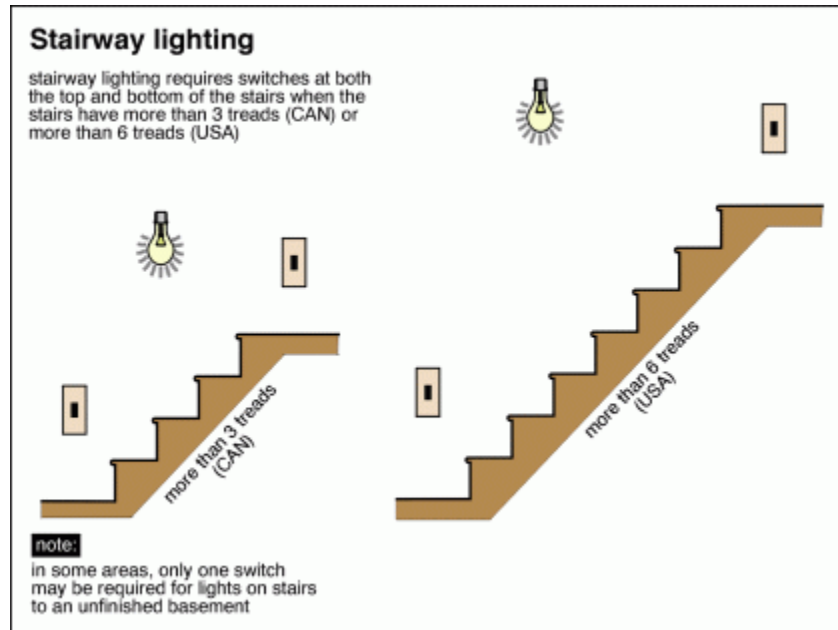
COOLING

INSULATION

PLUMBING

INTERIOR

Stairs \ Lighting

Condition: • [Not controlled by three way switch](#)**Implication(s):** Trip or fall hazard**Location:** Basement**Task:** Provide**Note:** Should be installed for safety reasons.[Click on image to enlarge.](#)

Garage \ General

Condition: • Unsafe**Implication(s):** Physical injury**Location:** Garage**Task:** Have cables installed**Note:** Garage door springs should have safety cables run through them so if one breaks it wont fly into someone and cause severe injury

Exhaust fans \ Exhaust fan

Condition: • [Missing](#)**Implication(s):** Chance of condensation damage to finishes and/or structure**Note:** Bathroom in basement level should have a fan to prevent conditions conducive to organic growth(mold).The reason it is needed is lack of windows or air flow to evaporate excess moisture.

Appliances \ Range

Condition: • Pilot inoperative**Implication(s):** System inoperative**Note:** Range burner on rear right side does not light with pilot and which may need adjustment, cleaning or repair.**END OF REPORT**