



# YOUR INSPECTION REPORT

*Inspection, Education, Knowledge. Since 2006.*

PREPARED BY:  
ADAM HANNAN



FOR THE PROPERTY AT:  
682 Windermere Avenue  
Toronto, ON M6S 3M1

PREPARED FOR:  
GILLIAN RITCHIE

INSPECTION DATE:  
Friday, September 19, 2025

## TIP

THE  
INSPECTION  
PROFESSIONALS

THE INSPECTION PROFESSIONALS, INC.  
3120 Rutherford Rd.  
Concord, ON L4K 0B2

416-725-5568  
HST# 89249 4501 RT0001

[www.inspectionpros.ca](http://www.inspectionpros.ca)  
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September 20, 2025

Dear Gillian Ritchie,

RE: Report No. 8552, v.2  
682 Windermere Avenue  
Toronto, ON  
M6S 3M1

Thank you for choosing The Inspection Professionals to perform your Property Inspection. You can navigate the report by clicking the tabs at the top of each page. The Reference tab includes a 500-page Reference Library.

The Inspection Professionals (TIP) is a certified multi-inspector award-winning company founded by Adam Hannan. Since 2006, Adam has performed thousands of residential and commercial inspections and has become a respected expert in his field. Adam has a passion for education and has been an inspection instructor teaching at Community Colleges and Universities since 2009.

Adam is a Certified Master Inspector and member of the International Association of Certified Home Inspectors (CPI # NACHI07020704)

"We inspect every home as if we were buying it for ourselves. We care about our clients and we strive to exceed expectations. We offer a professional unbiased opinion of the current performance of the home regardless of who we are working for."

-Adam

**BUYERS -**

An Onsite Review is an essential component to a complete home inspection. In order to more thoroughly familiarize yourself with the property and our findings, please book an Onsite Review at your convenience by calling (416) 725-5568. Once we have completed the Onsite Review, we will transfer the inspection report to the buyer. The fee for this service is only \$295. A full phone report review is also available.

Sincerely,

ADAM HANNAN  
on behalf of  
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# SUMMARY

682 Windermere Avenue, Toronto, ON September 19, 2025

Report No. 8552, v.2

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

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## HIGHLIGHTS:

This home, originally built in 1922, is a solid masonry structure on concrete block foundations with a newer rear addition clad in EIFS stucco and is in above average condition overall compared to homes of similar age and style. No significant structural performance-related concerns were observed at the time of inspection.

The exterior masonry is in good condition overall. The home has undergone remodeling within the past 8 years, and the interior has been fully renovated. The basement has been professionally finished, and the overall interior condition reflects a high-quality renovation. Water drainage management systems were observed at visible foundation areas.

The electrical service is 200 amps with substantially upgraded copper wiring throughout.

The sloped attic insulation has also been upgraded. The roof features premium shingles at sloped areas and a modified bitumen membrane at flat roof sections.

The windows are premium double-glazed units, all of which were in good condition.

The HVAC system consists of a high-efficiency furnace (approx. 9 years old) and a central air conditioner (approx. 8 years old). The water heater is newly installed.

As is typical for homes of this age, there is a mix of newer and older systems and components.

## IMPORTANT NOTES ABOUT THIS REPORT

This summary outlines some of the potentially significant issues that may require short-term attention due to cost, safety, or performance concerns. This section is provided as a courtesy only and is not a substitute for reading the entire report. Please review the full report in detail.

It is not possible for a home inspector to predict the future. We recommend budgeting between 0.5% to 1% of the home's value annually for unforeseen repairs and maintenance. This applies to any property you may consider.

Things will wear out, break down, and fail without warning. This is a normal part of home ownership.

This inspection was performed in accordance with the most recent CAHPI Standards of Practice.

NOTE: ALL ELECTRICAL ISSUES ARE CONSIDERED PRIORITY ITEMS.

NOTE: THE TERM 'MINOR' GENERALLY REFERS TO COSTS UNDER \$1000.

NOTE: FOR DIRECTIONAL PURPOSES, "FRONT" OF HOUSE IS REFERENCED AS FACING THE FRONT DOOR FROM THE OUTSIDE.

The summary section is typically reserved for major defects, significant safety concerns, or costly repairs that may require short-term attention. As no such items were identified during this inspection, nothing has been included in the summary.

All observations, including regular maintenance items, minor improvements, and standard safety recommendations, are detailed in the body of the report.

During a home inspection, we evaluate all visible systems and components. Hundreds of potential minor issues exist in

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every home old or new. This inspection is not a technical audit. (A technical audit can be performed at an additional cost.)

The focus of this inspection was to identify major issues with major systems and components.

For clarity, major issues generally fall into four categories:

- 1) OBSERVABLE STRUCTURAL DEFECTS
- 2) OBSERVABLE WATER LEAKAGE OR DAMAGE -- Roofing, Plumbing, and Basement.
- 3) OBSERVABLE ELECTRICAL DEFECTS
- 4) LIFESPAN SYSTEMS -- Roof Covering, Heating, Cooling, Windows

Disclaimer / Note to prospective buyers: This inspection report was performed for our client(s) named on this report. No liability is assumed for third parties reviewing this report. An onsite review must be arranged if you are a buyer, including signature on our inspection agreement. By relying on this report without our onsite review, you agree to waive all rights.

For approximate cost guidance on common home components, click here:

<http://www.inspectionlibrary.com/costs.htm>

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a home inspection. These may have to be adjusted based on the findings of specialists.

<http://www.inspectionlibrary.com/wtgw.htm>



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## Descriptions

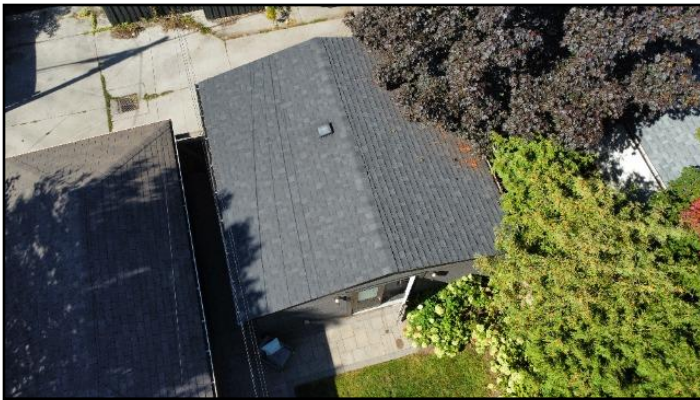
**General:** • Drone view of full roof



1. Roof

**Sloped roofing material:**

• Asphalt shingles -- Good condition



2. Asphalt shingles - at garage



3. Asphalt shingles - at front home

**Flat roofing material:** • [Modified bitumen membrane](#)

**Approximate age:** • 5-10 years

**Typical life expectancy:** • 15-25 years

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • All Roofing issues have POTENTIAL worst-case implications such as damage to contents, structure and/or finishes.

### RECOMMENDATIONS \ Overview

**Condition:** • Annual roof tune-ups are recommended to find and repair damage to roofing materials, flashings and caulking. Roof tune-ups reduce the risk of leaks and resulting water damage and help extend the service life of the roof.

**Location:** Exterior Roof

**Task:** Inspect annually

**Time:** Ongoing

### SLOPED ROOFING \ Asphalt shingles

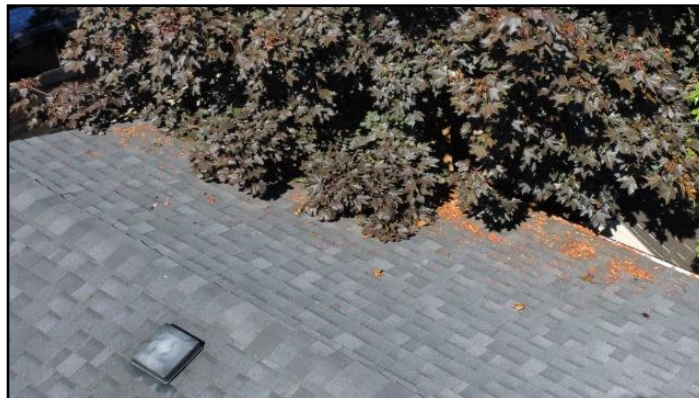
**Condition:** • Tree branches touching roof

**Implication(s):** Shortened life expectancy of material

**Location:** Exterior Garage

**Task:** Correct

**Time:** Ongoing Regular maintenance



4. Tree branches touching roof

### SLOPED ROOF FLASHINGS \ Skylights

**Condition:** • Skylights are vulnerable areas

This applies to ALL homes that have one or more skylight.

**Location:** Various Exterior Roof

**Task:** Monitor

**Time:** Ongoing - especially after heavy rain

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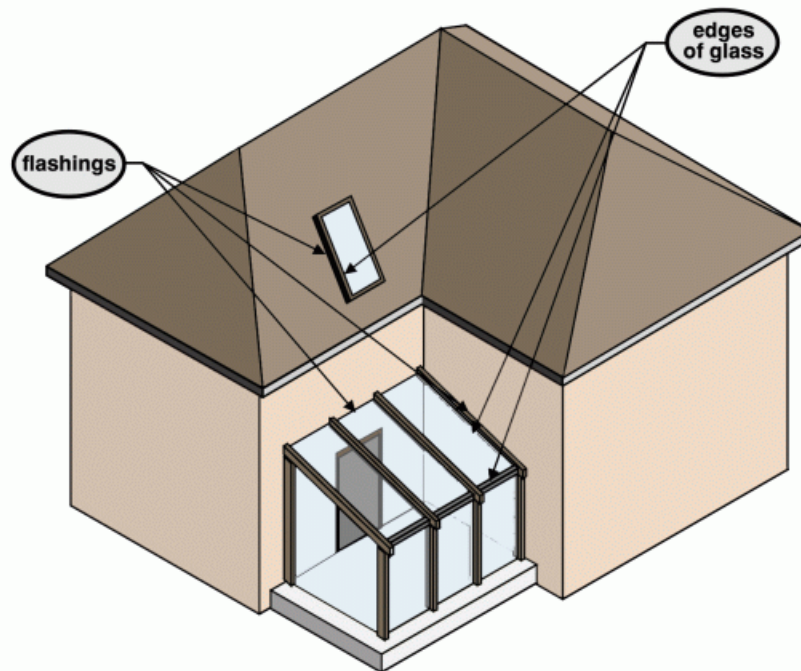
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## Skylight and solarium leaks

skylights and solariums are very prone to leakage  
leakage typically occurs through the flashings or at  
the edges of the glass



## FLAT ROOFING \ Modified bitumen

**Condition:** • [Blisters](#)

**Location:** Various Exterior Flat Roof

**Task:** Monitor for changes; re-evaluate during routine tune-up

**Cost:** Monitoring only, no immediate repair needed unless worsening



5. Blisters

## FLAT ROOF FLASHINGS \ Installation

**Condition:** • [Missing, too short](#)



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## Incomplete edge termination - flashing missing

At the eaves, the modified bitumen membrane has been rolled over the roof edge without proper flashing or termination bar.

(Even if flashing is present beneath, best practice is to terminate the membrane with a metal edge flashing or termination bar on top to protect the edge and prevent failure.)

**Location:** Various Exterior Flat Roof

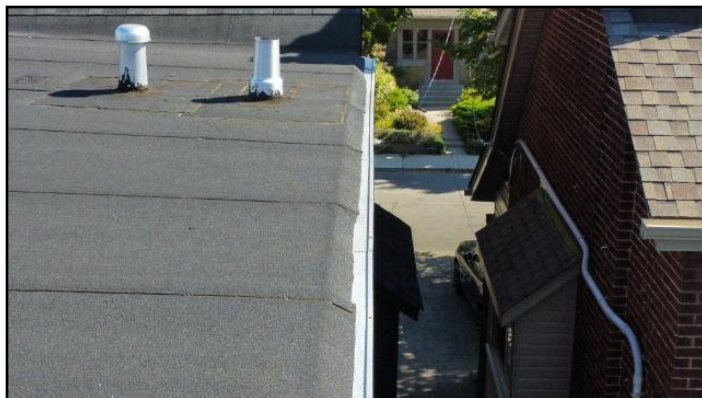
**Task:** Install proper metal edge flashing or termination bar to secure membrane at eaves

**Time:** Less than 1 year

**Cost:** Minor to moderate



6. example



7. example

## Inspection Methods and Limitations

**General and Best Practices:**

- Most roofs are susceptible to ice damming under the right weather conditions. This is where ice forms at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather
- Roof replacement best practices - Strip Roof Covering when replacing. When replacing a roof covering, it is best practice to remove the old layer before installing the new one. While adding a new layer over the existing roof is sometimes done to reduce costs, it can conceal damaged roof boards, flashings, or other components. Installing a third layer is not recommended. Hidden defects are often only discovered during the tear-off process.

**Inspection performed:**

- With a drone

**Age determined by:**

- Drone
- Roof age estimated using historical imagery (Google Maps) from prior years.



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## Descriptions

**General:** • The exterior has been well maintained overall • The exterior of the home is in good condition overall

**Gutter & downspout material:** • [Aluminum](#)

**Gutter & downspout discharge:** • [Above grade](#)

**Lot slope:** • [Away from building](#) • [Flat](#)

**Wall surfaces and trim:**

• Stucco or EIFS (Exterior Insulation and Finishing System or Synthetic Stucco)  
At rear addition

**Wall surfaces - masonry:** • [Brick](#)

**Garage:** • Detached

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • All Exterior issues noted have POTENTIAL worst-case implications such as damage to contents, structure and/or finishes, personal safety, shortened life expectancy of materials, and material deterioration

### WALLS \ Flashings and caulking

**Condition:** • FOR ALL HOMES - Caulking around windows, doors, and wall penetrations should be inspected regularly and improved as needed to prevent moisture entry and air leakage.

**Location:** Various

**Task:** Seal



8. example at electrical conduit



9. example at outlet

### WALLS \ Masonry (brick, stone) and concrete

**Condition:** • FOR ALL HOMES - Most masonry walls have small cracks due to shrinkage or minor settlement. These will not be individually noted in the report, unless leakage, building movement or similar problems are noted

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**Condition:** • Masonry and/or mortar deterioration

Tuckpoint / Repoint mortar and patch/repair spalled masonry. This is typical maintenance for a home of this age. photos show a sampling

**Location:** Various Exterior Wall and front column

**Task:** Repair

**Time:** Ongoing Regular maintenance



10. example of mortar deterioration



11. example of spalling at column

## DOORS \ General notes

**Condition:** • Threshold too low

Having a minimal step makes the inside/outside transition easier. On the other hand, it also makes it more prone to snow buildup/leakage.

While it is probably not practical to improve the current situation, it will be important to keep any weatherstripping/caulking in good condition.

**Implication(s):** Chance of moisture intrusion

**Location:** Rear Exterior Deck

**Task:** Monitor for moisture intrusion / Improve

**Time:** If/as necessary



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12. Threshold too low

## LANDSCAPING \ Lot grading

**Condition:** • FOR ALL HOMES - During rainfall, walk the perimeter of the home to observe whether any areas allow water to drain toward the foundation. Improve grading in those areas as needed to promote proper drainage away from the structure.

## REGULAR MAINTENANCE \ Comments \ Additional

**Condition:** • The following are minor exterior deficiencies and upkeep items noted during the inspection. These are common for the age of the home and should be addressed through routine maintenance to reduce risk of deterioration or moisture intrusion:

- Keep tree branches trimmed back 3 feet from roof line - ongoing routine maintenance.
- Downspouts - minor damage - front downspout - repair/replace if function is affected.

**Location:** Various Exterior

**Task:** Repair or Replace or Improve or Monitor

**Time:** Regular maintenance / Routine upkeep



13. Minor damage at downspout

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## Inspection Methods and Limitations

**Inspection limited/prevented by:** • Storage in garage

**No or limited access to:** • Space between buildings

**Upper floors inspected from:** • Ground level

**Not included as part of a building inspection:** • Underground components (e.g., oil tanks, septic fields, underground drainage systems)



## Descriptions

**General:** • No significant structural performance issues were observed in visible areas.

**Configuration:** • [Basement](#)

**Foundation material:**

• [Poured concrete](#)

At rear addition (coated with parging)

• [Masonry block](#)

Original areas

**Floor construction:**

• [Wood I-joists](#)

Area visible in basement furnace room

• [Engineered wood](#)

**Exterior wall construction:**

• [Wood frame](#)

At rear addition

• [Masonry](#)

At original home

**Roof and ceiling framing:** • Rafters

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • All Structure issues have POTENTIAL worst-case implications such as damage to contents, structure and/or finishes, and personal safety.

### FOUNDATIONS \ General notes

**Condition:** • Typical Minor Cracks - Block, Brick, Stone

Almost all houses with concrete block, brick or stone foundations have minor settlement and/or cracks. Monitor all cracks for movement and nuisance water leakage. Repair cracks only if necessary

**Implication(s):** Damage to contents, finishes and/or structure / Nuisance

**Location:** Various Exterior Wall

**Task:** Monitor / Repair

**Time:** Ongoing / If necessary

### FLOORS \ Concrete slabs

**Condition:** • Concrete basement, crawlspace and garage floors are not typically part of the structure. Almost all basement, crawlspace and garage concrete floors have minor shrinkage and settlement cracks.

**Location:** Various

### ROOF FRAMING \ Sheathing (roof/attic)

**Condition:** • Water stains - Attic plank boards

Discoloration or water staining was noted on the plank board sheathing in the attic. This is a common observation in

# STRUCTURE

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older homes and is typically the result of historical moisture exposure from past minor leaks or condensation.

**Location:** Various Attic

**Task:** For Your Information

## Inspection Methods and Limitations

**Inspection limited/prevented by:** • Finishes, insulation, furnishings and storage conceal structural components.

**Attic/roof space:** • Inspected from access hatch

**Percent of foundation not visible:** • 90 %

**Not included as part of a building inspection:** • An opinion about the adequacy of structural components

## Descriptions

**General:** • ALL ELECTRICAL CONDITIONS ARE CONSIDERED PRIORITY ITEMS • The Electrical system has been updated and is in good condition overall.

**Service entrance cable and location:** • [Overhead - cable type not determined](#)

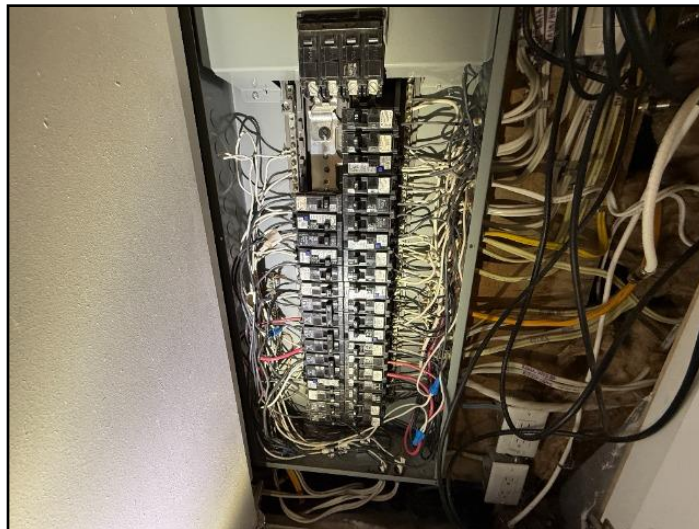
**Service size:** • [200 Amps \(240 Volts\)](#)

**Main disconnect/service box type and location:** • [Breakers - basement](#)

**System grounding material and type:** • [Copper - other](#)

**Distribution panel type and location:**

• [Breakers - basement](#)

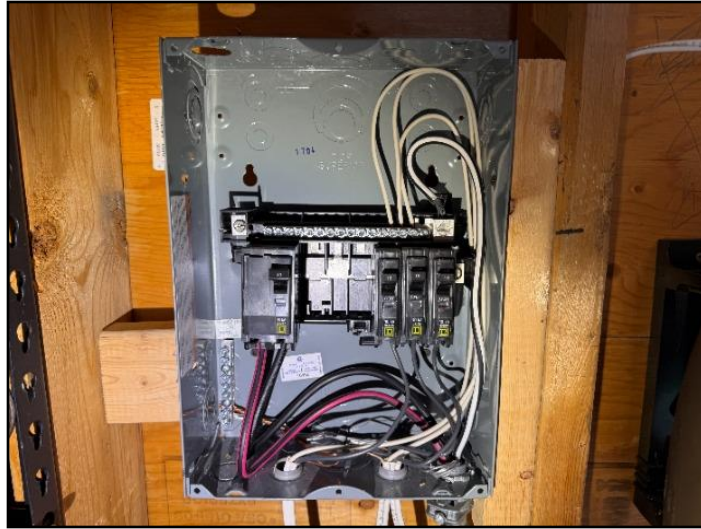


14. Breakers - basement

**Distribution panel rating:** • [200 Amps](#)

**Auxiliary panel (subpanel) type and location:**

• [Breakers - garage](#)



15. Breakers - garage

Distribution wire (conductor) material and type: • [Copper - non-metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded - upgraded](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom and exterior](#) • [GFCI - kitchen](#)

Smoke alarms (detectors): • [Present](#)

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • ALL ELECTRICAL recommendations are safety-related. POTENTIAL worst-case implications include fire and shock hazards. Treat them as high-priority items and assume the time frame is Immediate / As soon as possible unless otherwise noted.

### SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

**Condition:** • [Poor access](#)

Difficult to access fasteners at left panel cover.

**Implication(s):** Difficult to service

**Location:** Basement Panel

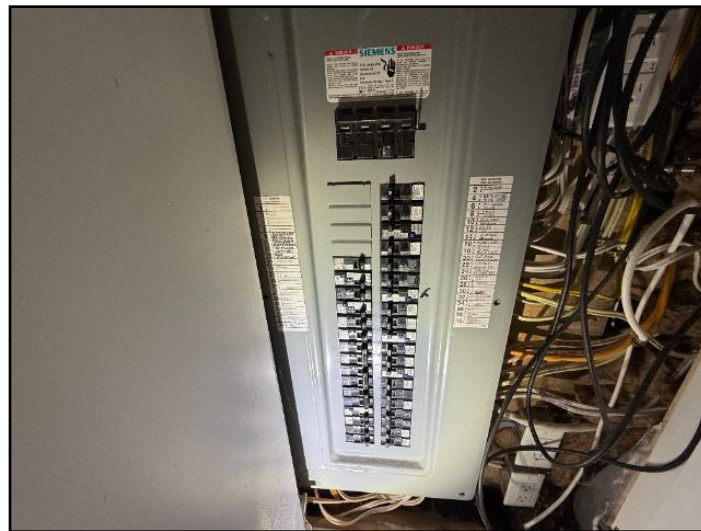
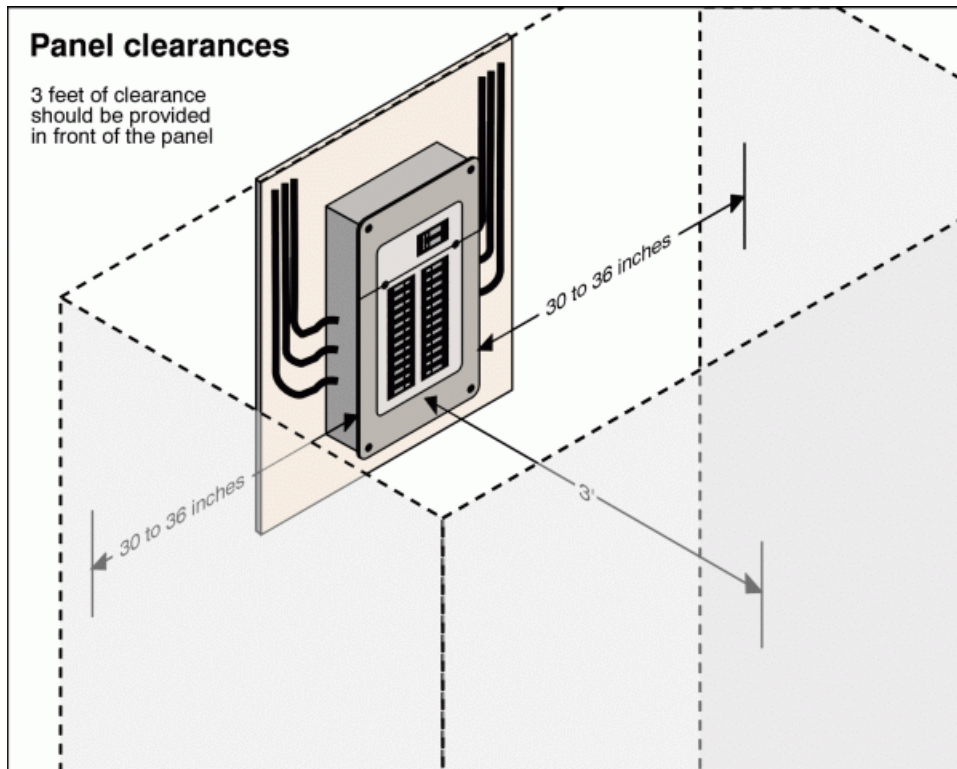
**Task:** Correct

**Time:** Less than 1 year



## Panel clearances

3 feet of clearance should be provided in front of the panel



16. *Difficult access*

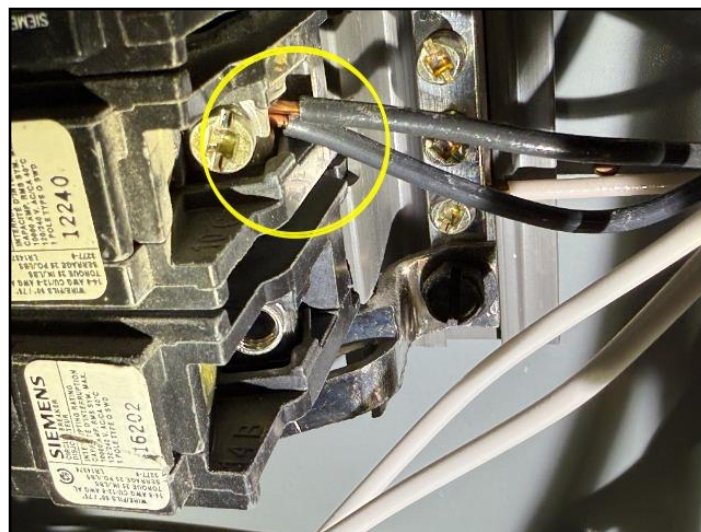
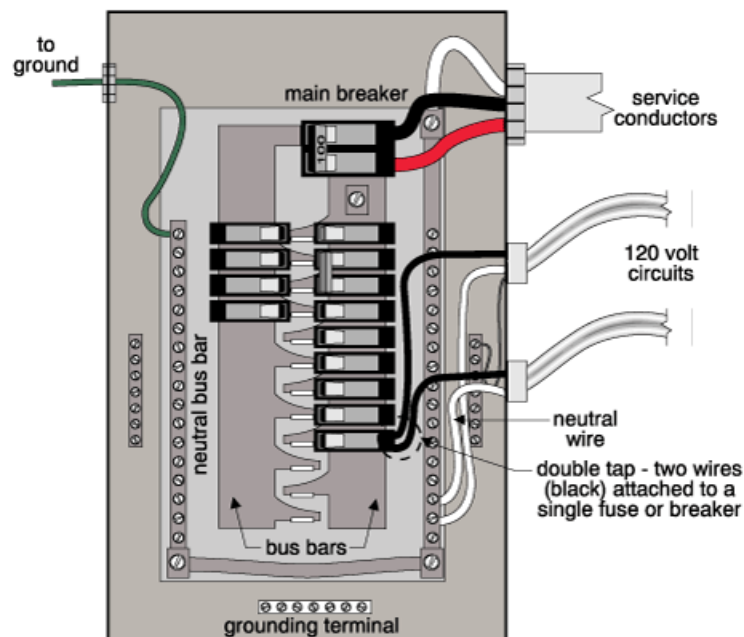
**Condition:** • Missing or Improper Panel Cover Fasteners

**Location:** Basement Panel

**Task:** Provide panel fasteners

**Time:** As Soon As Possible

**Cost:** Minor

**SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers****Condition:** • [Double taps](#)**Implication(s):** Fire hazard**Location:** Basement Panel**Task:** Correct**Time:** As Soon As Possible**Cost:** Minor**Double tapping (double lugging)****17. Double taps**

## SERVICE BOX, GROUNDING AND PANEL \ Auxiliary panel (subpanel)

**Condition:** • Unprotected Opening(s)

**Location:** Garage Sub Panel

**Task:** Correct - Provide knockout seals (aka panel fillers)

**Time:** As Soon As Possible

**Cost:** Minor



18. Unprotected Opening(s)

## DISTRIBUTION SYSTEM \ Wiring (wires) - installation

**Condition:** • [Not well secured](#)

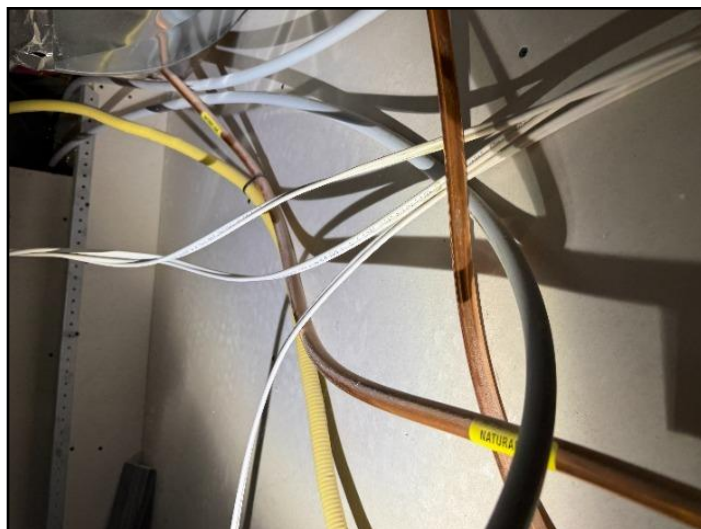
**Implication(s):** Electric shock | Fire hazard

**Location:** Various Basement Furnace Room

**Task:** Secure

**Time:** As Soon As Possible

**Cost:** Minor Regular maintenance item



19. example

## DISTRIBUTION SYSTEM \ Outlets (receptacles)

**Condition:** • [Reversed polarity](#)

**Implication(s):** Electric shock

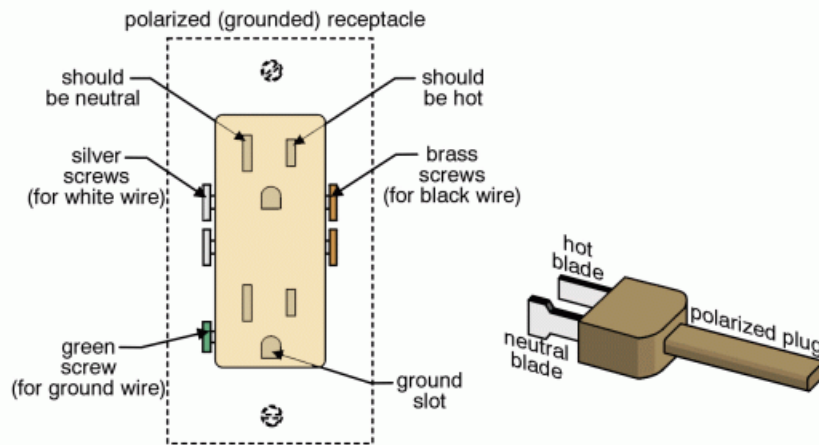
**Location:** Several first and second floors

**Task:** Correct

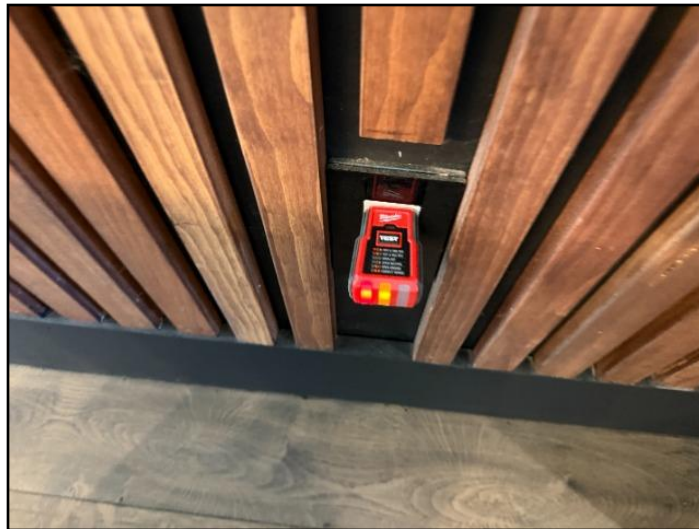
**Time:** As Soon As Possible

**Cost:** Minor

### **Reversed polarity**



when the polarity is reversed, the wide receptacle slot is (incorrectly) hot and the narrow slot is neutral - this is not uncommon when people forget that the black wire should be attached to the receptacle's brass screws



20. one example

## DISTRIBUTION SYSTEM \ Switches

**Condition:** • [Loose](#)



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**Location:** Second Floor Laundry Area

**Task:** Correct

**Time:** As Soon As Possible

**Cost:** Minor

## **DISTRIBUTION SYSTEM \ Cover plates**

**Condition:** • [Missing](#)

Various switches and receptacles

**Implication(s):** Electric shock

**Location:** Various Garage and basement

**Task:** Provide covers

**Time:** As soon as possible

**Cost:** Minor

## **DISTRIBUTION SYSTEM \ Smoke alarms (detectors)**

**Condition:** • General safety reminder for ALL homes -

This is a standard note included in every inspection report:

Smoke and carbon monoxide (CO) detectors should be installed on every floor level. Smoke detectors should be located near all sleeping areas, and CO detectors should be present near fuel-burning appliances, fireplaces, or attached garages.

These devices are not tested during the home inspection. Regardless of visible condition, detectors should be tested regularly and replaced every 10 years. If the age is unknown, replacement is recommended as a precaution. Batteries should be changed annually.

## Inspection Methods and Limitations

**General:** • The electrical system has been upgraded at some point. Knob and Tube wiring was the typical wiring used in homes built prior to 1950. We did not observe any knob and tube during our inspection and all the outlets we tested appeared grounded and in good working order. Sometimes remnants of knob and tube wiring is found during renovations. If found, remove during renovations.

**System ground:** • Quality of ground not determined

# HEATING

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## Descriptions

Heating system type: • [Furnace](#)

Fuel/energy source: • [Gas](#)

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • [60,000 BTU/hr](#)

Efficiency: • [High-efficiency](#)

Approximate age: • [9 years](#)

Typical life expectancy: • Furnace (high efficiency) 15 to 20 years

Main fuel shut off at: • Meter

Fireplace/stove: • [Gas fireplace](#)

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • Set up annual service plan which includes coverage for parts and labour.

**Location:** Basement Furnace Room

**Task:** Service annually

**Time:** Ongoing

**Cost:** Regular maintenance item

### GAS FURNACE \ Gas piping

**Condition:** • [Inadequate support](#)

**Implication(s):** Equipment not operating properly | Fire or explosion

**Location:** Basement Furnace Area

**Task:** Secure

**Time:** Less than 6 months



21. Inadequate support

## GAS FURNACE \ Cabinet

**Condition:** • [Rust](#)

Rust noted inside furnace cabinet. Prior condensate leak. Was dry at time of inspection. Unknown if issue is resolved, active or intermittent. Have HVAC technician service the unit and check all interior components at next annual servicing.

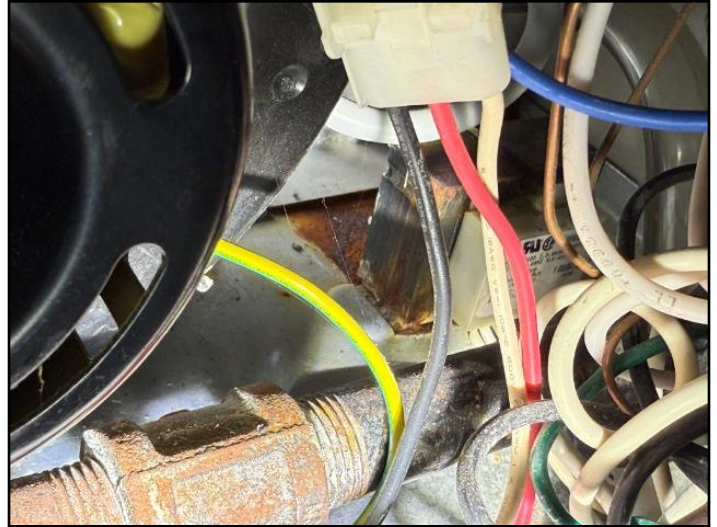
**Implication(s):** Material deterioration | Reduced system life expectancy

**Location:** Basement Furnace

**Task:** For Your Information / Service annually



22. Rust



23. Rust

## FIREPLACE \ Gas fireplace or gas logs

**Condition:** • A specialist should inspect the gas fireplace prior to use. These units vary widely by manufacturer and model, each with specific installation and service requirements. We recommend the fireplace be covered under a maintenance contract that includes regular service

\*GAS FIREPLACE FUNCTIONED WHEN TESTED



24. Gas fireplace

# HEATING

682 Windermere Avenue, Toronto, ON September 19, 2025

Report No. 8552, v.2

[www.inspectionpros.ca](http://www.inspectionpros.ca)

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## Inspection Methods and Limitations

**Safety devices:** • Not tested as part of a building inspection

**Heat loss calculations:** • Not done as part of a building inspection

**Heat exchanger:** • Not visible



# COOLING & HEAT PUMP

682 Windermere Avenue, Toronto, ON September 19, 2025

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## Descriptions

**Air conditioning type:** • [Air cooled](#)

**Cooling capacity:** • [30,000 BTU/hr](#) • [2.5 Tons](#)

**Compressor approximate age:** • 8 years

**Typical life expectancy:** • 10 to 15 years

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • In general, air conditioning units have a lifespan of 10-15 years but often last longer with regular servicing.

### RECOMMENDATIONS \ Overview

**Condition:** • No air conditioning or heat pump recommendations are offered as a result of this inspection.

## Inspection Methods and Limitations

**Heat gain/loss calculations:** • Not done as part of a building inspection

## Descriptions

### Attic/roof insulation material:

- [Glass fiber](#)



25. Glass fiber upgraded

### Attic/roof insulation amount/value:

- R-50  
and up

Attic/roof air/vapor barrier: • Not determined • Spot Checked Only

Attic/roof ventilation: • [Roof and soffit vents](#)

## Observations and Recommendations

### RECOMMENDATIONS \ Overview

Condition: • No insulation recommendations are offered as a result of this inspection.

## Inspection Methods and Limitations

Inspection limited/prevented by lack of access to: • Walls, which were spot checked only

Attic inspection performed: • From access hatch

Roof ventilation system performance: • Not evaluated

Air/vapor barrier system: • Continuity not verified

## Descriptions

**General:** • Several components have been updated

**Service piping into building:**

- [Plastic](#)

At visible portion (pipe entering wall/floor not visible)

**Supply piping in building:** • PEX (cross-linked Polyethylene)

**Main water shut off valve at the:**

- Main water shut off valve - Front of the basement



26. Main water shut off valve - Front of the...

**Water flow and pressure:** • [Functional](#)

**Water heater type:** • [Induced draft](#)

**Water heater fuel/energy source:** • [Gas](#)

**Water heater tank capacity:** • 50 US gallons • 189 liters

**Water heater approximate age:** • New

**Water heater typical life expectancy:** • 10 to 15 years

**Waste and vent piping in building:** • [Plastic](#)

**Pumps:** • [Sump pump](#)

**Floor drain location:** • Near heating system

## Observations and Recommendations

### **RECOMMENDATIONS \ General**

**Condition:** • All Plumbing issues have POTENTIAL worst-case implications of water damage to contents, finishes and/or structure, no hot or cold water, leakage, possible hidden damage, health hazards.

### **SUPPLY PLUMBING \ Water supply piping in building**

**Condition:** • [Poor pressure or flow](#)

**Implication(s):** Reduced water pressure and volume

**Location:** Basement Bathroom Basin

**Task:** Improve

**Time:** If necessary/As needed

### **FIXTURES AND FAUCETS \ Faucet**

**Condition:** • [Shower diverter inoperative or defective](#)

Shower diverter does not fully redirect water to shower massager - water flows from both handheld shower and shower spout simultaneously.

**Location:** Basement bathroom

**Task:** Adjust or repair

**Time:** As required

**Cost:** Minor Regular maintenance item

### **FIXTURES AND FAUCETS \ Toilet**

**Condition:** • [Loose](#)

**Implication(s):** Chance of water damage to structure, finishes and contents | Sewage entering the building | Possible hidden damage

**Location:** Second Floor Hall Bathroom

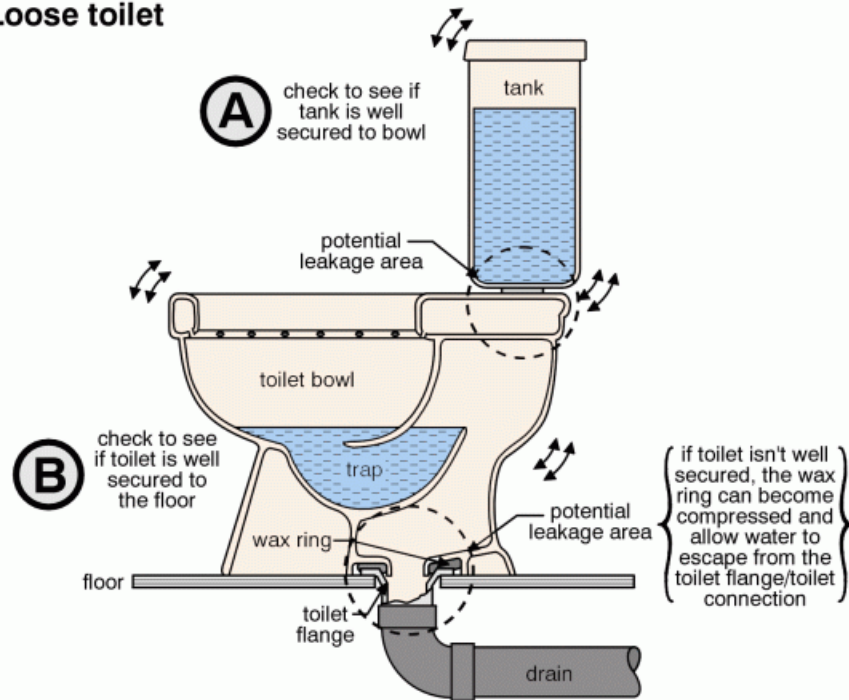
**Task:** Correct

**Time:** As Soon As Possible

**Cost:** Regular maintenance item



## Loose toilet



## Inspection Methods and Limitations

**Items excluded from a building inspection:** • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Tub and basin overflows are not tested as part of a home inspection. Leakage at the overflows is a common problem.

## Descriptions

**General:** • The interior of the home is in good condition overall. • Many interior components have been updated

**Major wall and ceiling finishes:** • [Plaster/drywall](#) • [Paneling](#)

**Windows:** • [Fixed](#) • [Sliders](#) • [Casement](#) • Good conditional overall. All windows tested were functional.

**Glazing:** • [Double](#)

**Exterior doors - type/material:** • Hinged

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • All Interior issues have POTENTIAL worst-case implications such as damage to contents, structure and/or finishes, and personal safety.

**Condition:** • Typical minor flaws were noted on floors, walls and ceilings. These cosmetic issues reflect normal wear and tear. This can include worn or cracked flooring and blemishes on wall/ceilings

### RECOMMENDATIONS \ Overview

**Condition:** • During our inspection, we look for evidence of basement moisture intrusion. We did not observe standing water or evidence of active moisture intrusion in visible areas on this particular day.

### BASEMENT \ Leakage

**Condition:** • \*\*\*FOR FUTURE REFERENCE\*\*\* GENERAL ADVICE FOR ALL HOMES IF BASEMENT LEAKAGE IS EVER OBSERVED

Basement Leakage 4-step method. Almost every basement (and crawlspace) leaks under the right conditions. Based on a one-time visit, it is impossible to know how often or severe leaks may be. While we look for evidence of past leakage during our inspection, this is often not a good indicator of current conditions. Exterior conditions such as poorly performing gutters and downspouts, and ground sloping down toward the house often cause basement leakage problems. To summarize, wet basement issues can be addressed in 4 steps: 1. First, ensure gutters and downspouts carry roof run-off away from the home. (relatively low cost) 2. If problems persist, slope the ground (including walks, patios and driveways) to direct water away from the home. (Low cost if done by homeowner. Higher cost if done by contractor or if driveways, patios and expensive landscaping are disturbed.) 3. If the problem is not resolved and the foundation is poured concrete, seal any leaking cracks and form-tie holes from the inside. (A typical cost is \$500 to \$600 per crack or \$300 per hole.) 4. As a last resort, dampproof the exterior of the foundation, provide a drainage membrane and add/repair perimeter drainage tile. (High cost)

### BASEMENT \ Wet basements - corrective action noted

**Condition:** • [Drainage membrane](#)

Interior drainage system observed in visible areas and sump installed at basement. These water management systems are a valuable improvement measure for a home of this age.

**Location:** Various foundation

**Task:** For Your Information



27. Drainage membrane at interior

## **BASEMENT \ Wet basements - vulnerability**

**Condition:** • Typical of many homes with stone, brick, or block foundations, some moisture can be expected from time to time and is not unusual. Exterior grading and water management improvements are generally effective at reducing basement moisture. A dehumidifier can also be used to keep humidity levels down.

## **REGULAR MAINTENANCE \ Comments \ Additional**

**Condition:** • Ongoing care to maintain finishes, function, and overall interior condition:

- Register not well secured - Second floor over stairwell

**Location:** Various

**Task:** Repair/Replace/Improve

**Time:** Regular maintenance / Routine upkeep

## **Inspection Methods and Limitations**

**General:** • Up until about 1985, Asbestos was used in a multitude of building materials including but not limited to: Insulation on hydronic piping, attic insulation, flooring and ceiling tiles, stucco / stipple ceilings, glue, insulation around heating ducts and registers, plaster and so on. Identification of asbestos is outside the scope of a home inspection. If you have concerns about asbestos, consult with a professional environmental company that specializes with asbestos lab testing. If you plan to remove/disturb any building material, testing for asbestos is recommended beforehand.

**Inspection limited/prevented by:** • Storage/furnishings • New finishes/paint • Storage in closets and cabinets / cupboards

**Not included as part of a building inspection:** • Carbon monoxide alarms (detectors), security systems, central vacuum • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any

**Cosmetics:** • No comment offered on cosmetic finishes

**Appliances:** • Appliances are not inspected as part of a building inspection • Appliances are not moved during an inspection

# INTERIOR

682 Windermere Avenue, Toronto, ON September 19, 2025

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**Percent of foundation not visible:** • 90 %

**Basement leakage:** • Storage in basement limited inspection • Basement leakage is common. Most basements will experience leakage at some point. We cannot predict future occurrence or extent of basement leakage • Monitor the basement for leaks in the Spring.



## MORE INFO

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## Descriptions

**GOOD ADVICE FOR ALL HOMEOWNERS:** • The following items apply to all homes and explain how to prevent and correct some common problems.

**Roof Leaks:** • Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced.

**Annual Roof Maintenance:** • We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of your roof.

**Ice Dams on Roofs:** • [Most roofs are susceptible to ice dams under the right weather conditions. This is where ice forms](#) at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather.

**Maintaining the Exterior of Your Home:** • Regular maintenance includes painting and caulking of all exterior wood. • To manage water drainage around the exterior, ensure that grading (ground) is maintained with a positive slope away from the home and extend any downspouts away from walls and all building components.

**Insulation Amounts - Current Standards:** • Attic current standards as of 2016 is R-60

**Reduce Air Leaks:** • Insulation is not effective if air (and the heat that goes with it) can escape from the home. Caulking and weather-stripping help control air leakage, improving comfort while reducing energy consumption and costs. Air leakage control improvements are inexpensive and provide a high return on investment.

**Bathtub and Shower Maintenance:** • Caulking and grout in bathtubs and showers should be checked every six months and improved as necessary to prevent leakage and damage behind wall surfaces.

**Basement/Crawlspace Leakage:** • Almost every basement (and crawlspace) leaks under the right conditions.

**Standards of Practice:** • [This document sets out what a professional home inspection should include, and guides the](#) activities of our inspectors.

This inspection was performed in accordance with the most recent CAHPI Standards of Practice. Click the blue link above to view the full document.

**END OF REPORT**

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**This is a copy of our home inspection contract and outlines the terms,  
limitations and conditions of the home inspection**

THIS CONTRACT LIMITS THE LIABILITY OF THE HOME INSPECTION COMPANY AND INSPECTOR.

PLEASE READ CAREFULLY BEFORE SIGNING.

The Inspection of this property is subject to the Limitations and Conditions set out in this Agreement. It is based on a visual examination of the readily accessible features of the building. The Inspection is performed in accordance with the Standards of Practice of the Ontario Association of Home Inspectors. A copy of these Standards is available at <http://www.oahi.com/webdocs/StandardsofPractice-OAHI-Rev.pdf>.

The Home Inspector's report is an opinion of the present condition of the property. The Inspection and report are not a guarantee, warranty or an insurance policy with regards to the property. A Home Inspector cannot predict future deficiencies, intermittent problems or future water leakage.

PLEASE READ THE FOLLOWING PARAGRAPH: Due to the unpredictable nature of basement water leakage, a home inspector cannot predict future basement leakage. Almost all basements will leak at some point so there is a very good chance that it will happen. Basement leakage can occur for any number of reasons - Rainfall, sewer backup, high water tables, lot grading, clogged weeping tiles, gutter and downspout performance, just to name a few. The home inspector and The Inspection Professionals accepts no responsibility or liability for future basement water problems.

The inspection report is for the exclusive use of the client named above. No use of the information by any other party is intended. See item 8 below.

**LIMITATIONS AND CONDITIONS OF THE HOME INSPECTION**

These Limitations and Conditions explain the scope of your Home Inspection. Please read them carefully before signing this Agreement.

The purpose of your Home Inspection is to evaluate the general condition of a property. This includes determining whether systems are still performing their intended functions.

There are limitations to the scope of this Inspection. It provides a general overview of the more obvious repairs that may be needed. It is not intended to be an exhaustive list. The ultimate decision of what to repair or replace is yours. One homeowner may decide that certain conditions require repair or replacement, while another will not.

1. The Home Inspection provides you with a basic overview of the condition of the property. Because your Home Inspector has only a limited amount of time to go through the property, the Inspection is not technically exhaustive. If you have concerns about any of the conditions noted, please consult the text that is referenced in the report.

Some conditions noted, such as foundation cracks or other signs of settling in a house, may either be cosmetic or may indicate a potential structural problem that is beyond the scope of the Home Inspection.

If you are concerned about any conditions noted in the report, we strongly recommend that you consult a qualified licensed contractor or engineering specialist. These professionals can provide a more detailed analysis of any conditions noted in the report at an additional cost.

2. A Home Inspection does not include identifying defects that are hidden behind walls, floors or ceilings. This includes wiring, structure, plumbing and insulation that is hidden or inaccessible.

Some intermittent conditions may not be obvious on a Home Inspection because they only happen under certain circumstances. As an example, your Home Inspector may not discover leaks that occur only during certain weather conditions or when a specific tap or appliance is being used in everyday life.

Home Inspectors will not find conditions that may only be visible when storage or furniture is moved. Inspectors do not remove wall coverings, including wallpaper, or lift flooring, including carpet to look underneath.

A Home Inspection is a sampling exercise with respect to house components that are numerous, such as bricks, windows and electrical receptacles. As a result, some conditions that are visible may go un-reported.

3. The Inspection does not include hazardous materials that may be in or behind the walls, floors or ceilings of the property, whether visible or not. This includes building materials that are now suspected of posing a risk to health such as phenol-formaldehyde and urea-formaldehyde based products, fiberglass insulation and vermiculite insulation. The Inspector does not identify asbestos roofing, siding, wall, ceiling or floor finishes, insulation or fire proofing. We do not look for lead or other toxic metals in such things as pipes, paint or window coverings.

The Inspection does not deal with environmental hazards such as the past use of insecticides, fungicides, herbicide's or pesticides. The Inspector does not look for, or comment on, the past use of chemical termite treatments in or around the property.

4. We are not responsible for and do not comment on the quality of air in a building. The Inspector does not try to determine if there are irritants, pollutants, contaminants, or toxic materials in or around the building. The Inspection does not include spores, fungus, mold or mildew including that which may be concealed behind walls or under floors, for example. You should note that whenever there is water damage, there is a possibility that visible or concealed mold or mildew may be present unseen behind a wall, floor or ceiling.

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If anyone in the home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens.

5. Your Home Inspector does not look for, and is not responsible for, fuel oil, septic or gasoline tanks that may be buried on the property. If fuel oil or other storage tanks remain on the property, you may be responsible for their removal and the safe disposal of any contaminated soil. If you suspect there is a buried tank, we strongly recommend that you retain a qualified Environmental Consultant to determine whether this is a potential problem.

6. We will have no liability for any claim or complaint if conditions have been disturbed, altered, repaired, replaced, or otherwise changed before we have had a reasonable period of time to investigate.

7. The Client understands and agrees to be bound by each and every provision of this contract. The Client has the authority to bind any other family members or other interested parties to this Contract.

8. REPORT IS FOR OUR CLIENT ONLY. The inspection report is for the exclusive use of the client named herein. The client may provide the report to prospective buyers, at their own discretion. Potential buyers are required to obtain their own Onsite Review with The Inspection Professionals if they intend to rely on this report. The Inspection Professionals will not be responsible for the use of or reliance upon this Report by any third party without an Onsite Review and transfer of report to client after they have agreed to our inspection agreement.

9. The liability of the Home Inspector (and the Home Inspection Company) arising out of this Inspection and Report, for any cause of action whatsoever, whether in contract or in negligence, is limited to a refund of the fees that you have been charged for this inspection



The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS