

INSPECTION REPORT



For the Property at:
1234 HOME
CENTRAL POINT, OR 97502

Prepared for: EXAMPLE REPORT
Inspection Date: Tuesday, May 16, 2017
Prepared by: Zach Macormic



Apex Home Inspection & Construction
120 Meadowbrook Dr
Central Point, OR 97502
541-821-3473

www.apex-inspector.com
ZMacormic@hotmail.com

SUMMARY

1234 Home, Central Point, OR May 16, 2017

Report No. 1011, v.4

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SUMMARY

ROOFING

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INFRA-RED

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In this summary I note any defects that I feel may be of particular interest to my client. Please read the entire report as there will be more important details in relation to the home.

A home inspection analyzes hundreds of features from all systems of a home. My focus is on functional items, and I pay particular attention to those components that are expensive to correct, or may create a significant safety problem in the home. As I look for these major items, I will come across some lesser items as well. As a courtesy, those are documented for you. However, please do not misinterpret this as an exhaustive list of all minor defects in the home. That is not the intent of the home inspection.

My inspection philosophy separates components that are functional from those that are not. Where components are found to be functional, no recommendations will be offered. Where defects are noted, I will recommend improvements with a time frame. In some cases, components may be functional but clearly near the end of their life cycle. Those circumstances are included in the report as well.

While a home inspection does not address issues such as code compliance and building permits, I encourage you to have someone search the history of the home with the local building department to determine whether all appropriate permits have been applied for and signed off. Your legal advisers may be able to help with this.

[Priority Maintenance Items](#)

Roofing

SLOPED ROOFING \ Asphalt shingles

Condition: • Leak

Implication(s): A Leak was found just past the entrance into the attic on the right. It appears to be a considerable leak and was dripping at the time of inspection. The insulation was wet and the the water appears to be flowing down into the wall below. The garage has a noticeable wet spot in the middle of the wall. I recommend having a professional roofer patch the roof immediately to prevent damage to the interior of the home and possible mold problems.

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1. Leak



2. Leak

Condition: • Leak

A leak was found in the garage coming from the skylight. This appears to be from skylight flashing failure. I recommend re-flashing the skylight to prevent any further water penetration.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Garage Skylight

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3.

SLOPED ROOF FLASHINGS \ Chimney flashings

Condition: • Cap flashing too short

Chimney flashing and step flashing do not overlap. This will allow possible water penetration behind the step flashing and down into the attic space. I recommend having it properly flashed by a qualified roofer.

Implication(s): Chance of water damage to contents, finishes and/or structure

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4. Cap flashing too short



5. Evidence of past leakage under chimney

SLOPED ROOF FLASHINGS \ Drip edge flashings

Condition: • Missing

I noted no drip edges on the eave of the roof. While it is common for a roof to not have a drip edge, no drip edge allows the eventual rotting of the sub-roofing material. There are several areas on the perimeter of the home where I noted have some evidence of rot because of this. I recommend installation of a drip edge to prevent further deterioration by a qualified roofer.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Entire Perimeter of Home

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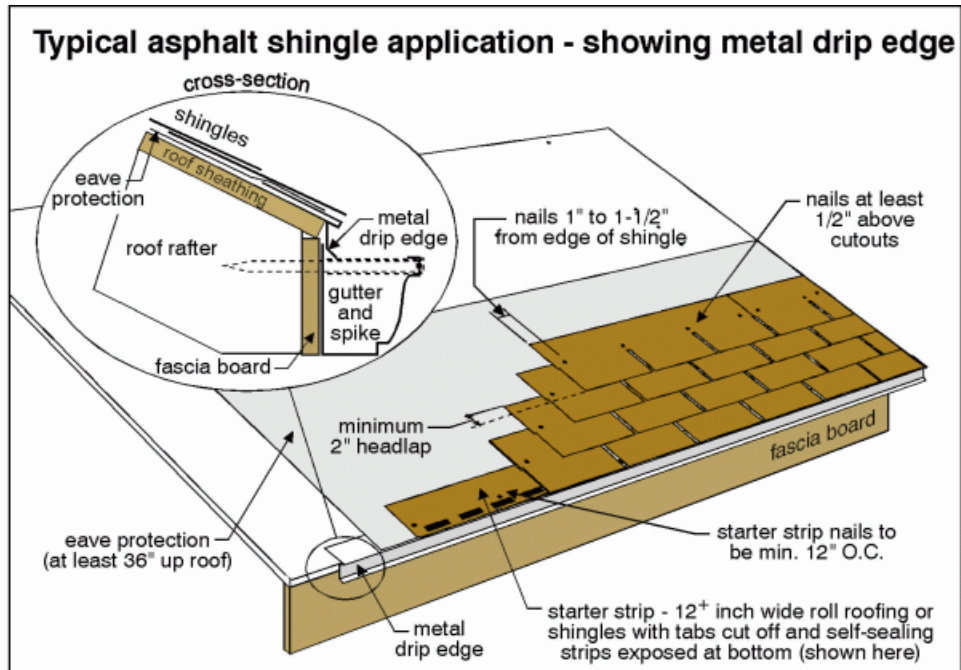
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6. Missing drip edge flashing

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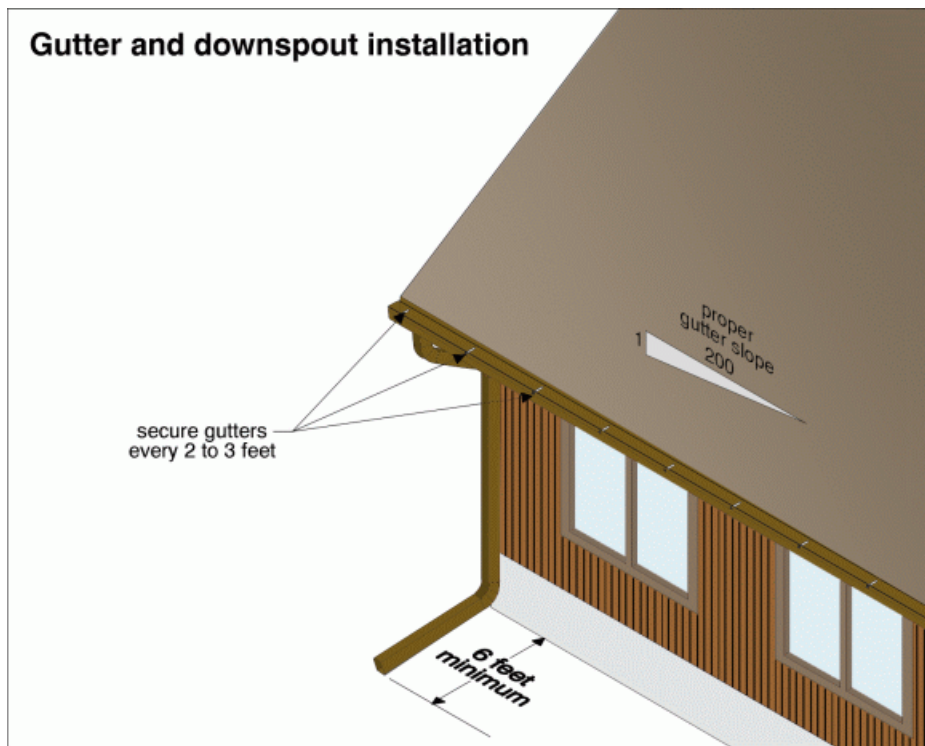
Exterior

ROOF DRAINAGE \ Downspouts

Condition: • Downspouts discharge too close to building

Gutters discharge too close to the house. This can invite water under the house and can lead to mold, rot, and soil deterioration. I recommend discharging downspout in a manner that prevents it from intruding under the home. This is the leading cause of the standing water under the home in my opinion.

Implication(s): Chance of water damage to contents, finishes and/or structure



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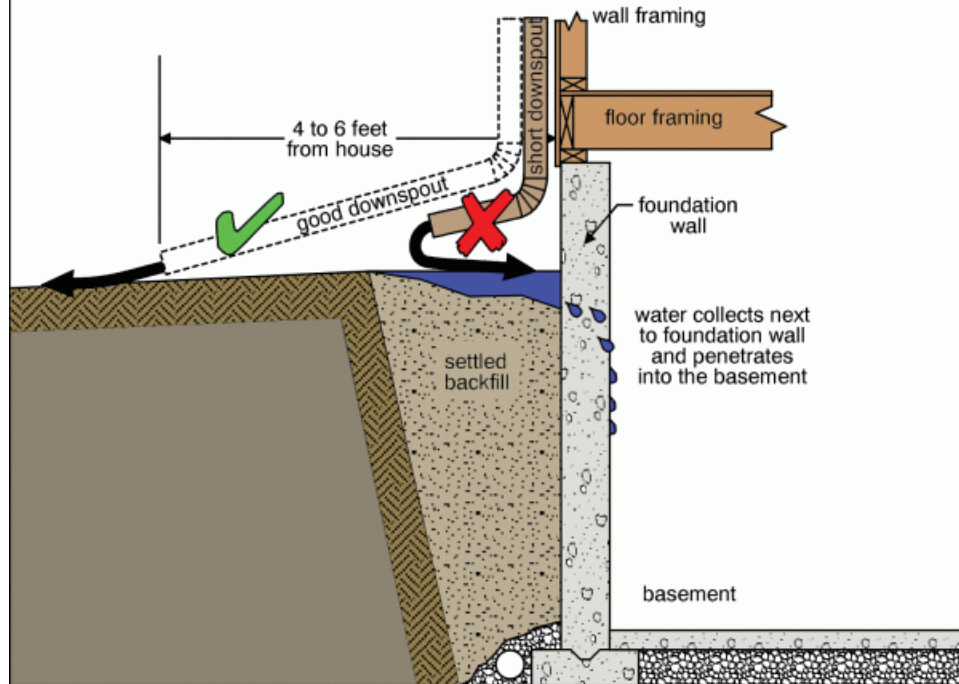
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Downspout extension too short



7. Downspouts end too close to building



8. Downspouts end too close to building

WALLS \ Plywood, hardboard, and OSB

Condition: • Rot or insect damage

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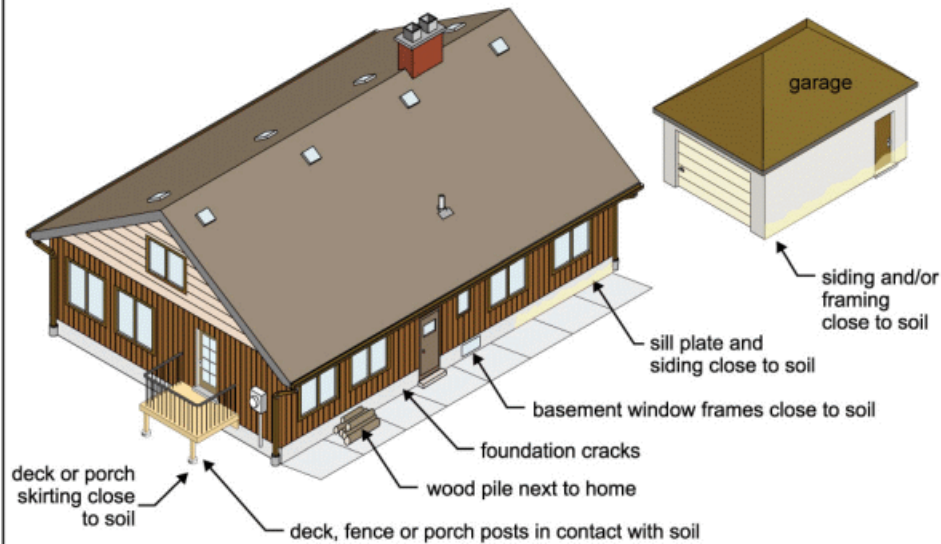
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SITE INFO

The North side of the detached storage room is severely deteriorated. This is due to improper roofing installation which allowed water to drip down the wall and rot the particle board away. This is the cause of the water intrusion and mold inside inside the storage room. I recommend consulting a qualified contractor for proper remedy.

Location: North Side of Storage Room

Inspecting for subterranean termites – exterior



9. Rot damage

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Structure

General

- The entry way has some obvious settling. The ceiling is cracked substantially and the door reveal shows about a 1/2" variance. From North to South, the floor drops about 1.5" in about 3 feet.

Location: Entry



10. 1.5" lower on the west side of entry.



11. Crack above fireplace

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12. Crack and door reveal

FOUNDATIONS \ General

Condition: • Settled

Implication(s): Chance of structural movement



13. Settled



14. Garage Man Door

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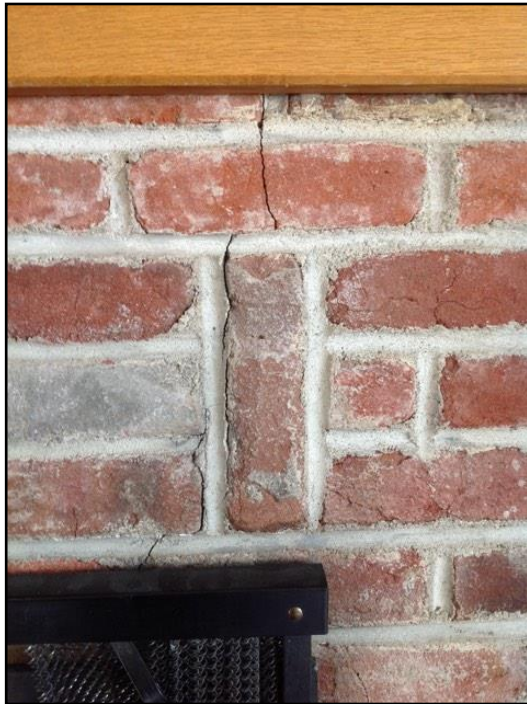
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15. Fireplace



16. Settled



17. Footing movement and standing water

Condition: • Cracked

Crack in corner and standing water.

Implication(s): Chance of water damage to contents, finishes and/or structure | Weakened structure

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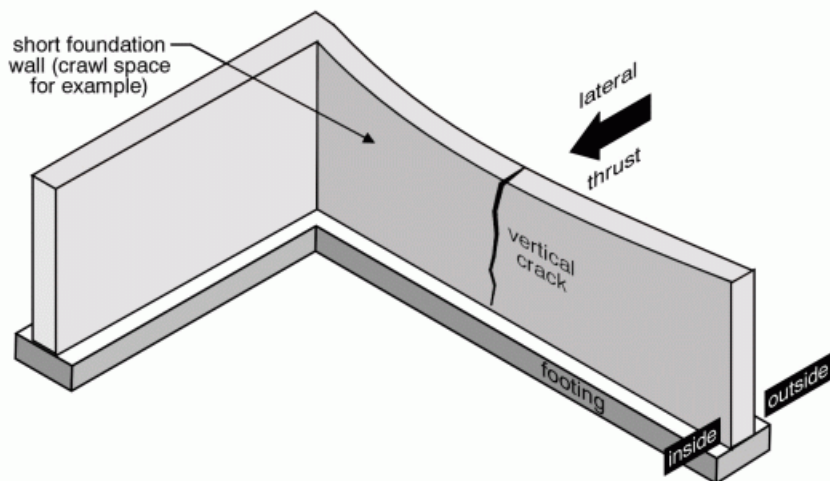
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Vertical foundation cracks



in short foundation walls, horizontal forces can also cause vertical cracks (typically at the midpoint of the walls)



18. Cracked



19. Typical minor cracks

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20. Typical minor cracks



21. Cracked



22. Cracked



23. Cracked

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24. Cracked



25. Cracked

FOUNDATIONS \ Performance opinion

Condition: • Suspect

The foundation shows many signs of obvious settling. The foundation appears to have been poured directly on top of expansive soil. The 60 years of the soil expanding and contracting over the seasons has caused several substantial cracks throughout the foundation by allowing the foundation to sink. Water has been allowed to exist under the home, this allows the soil to be soft and expand. I recommend prevention of water intrusion into the crawlspace and installation of a sump pump as soon as possible.

I recommend further consultation from a qualified foundation expert to discuss severity and remedy.

Implication(s): Chance of structural movement

Electrical

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • Ungrounded

All the outlets I found in the home are ungrounded. This is a normal construction practice for the time this home was built, however I recommend a qualified electrician replace the recepticals with Ground Fault Circuit Interrupter outlets to prevent a possible shock hazard.

Implication(s): Electric shock

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Condition: • No GFCI/GFI (Ground Fault Circuit Interrupter)

No GFCI outlets were noted in the kitchen or Bathrooms. Current building codes mandate that kitchens and bathrooms be protected by GFCI receptacles. I highly recommend Ground Fault Circuit Interrupters be installed by a qualified electrician to prevent possible electric shock.

Implication(s): Electric shock

Location: Kitchen and Bathroom

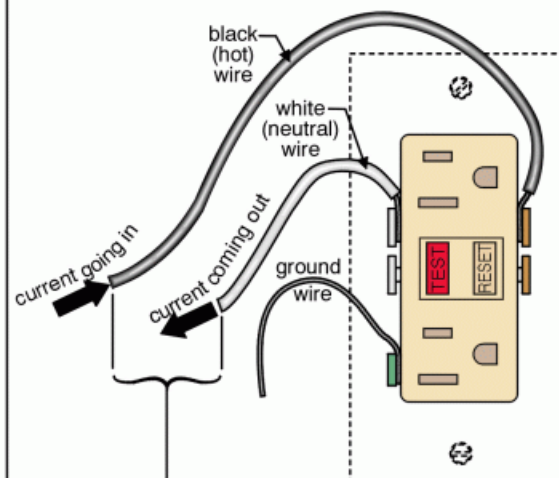
Ground fault interrupter

the GFI circuitry within the outlet checks constantly for a difference between the current in the black and white wires

if there is a difference (even as little as 5 milliamps), there is a current leak (possibly through your body) and the GFI shuts down the receptacle and other receptacles downstream

note:

if the GFI is in the panel, the entire circuit will be shut down



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27. No GFCI Outlet in Kitchen

DISTRIBUTION SYSTEM \ Smoke detectors

Condition: • Inoperative

I found one smoke alarm in the hallway and it was not functional. Current code mandates that one smoke alarm be installed in each bedroom, immediately outside of sleeping areas, and in the main living space. I recommend proper smoke alarm installation to help guard against a fire hazard.

Implication(s): Fire hazard

Heating

OIL FURNACE \ Primary controller

Condition: • Inoperative

Oil furnace was not functioning when inspected. An indicator light was flashing that it was in Lockout mode. Power was live to it and the thermostat shows the heat to be on. This may be caused by low oil in the tank. I recommend filling with new oil and testing again. If that doesn't work, I recommend consulting a professional heating and air technician.

Implication(s): No heat for building

Location: Garage

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28. Inoperative



29. Inoperative

Insulation and Ventilation

ATTIC/ROOF \ Roof vents

Condition: • Missing

I noted to turbine style vents that were on the roof but not installed in their respective roof vents. I recommend proper re-installation to allow proper airflow to reduce energy costs and moisture.

Implication(s): Chance of condensation damage to finishes and/or structure

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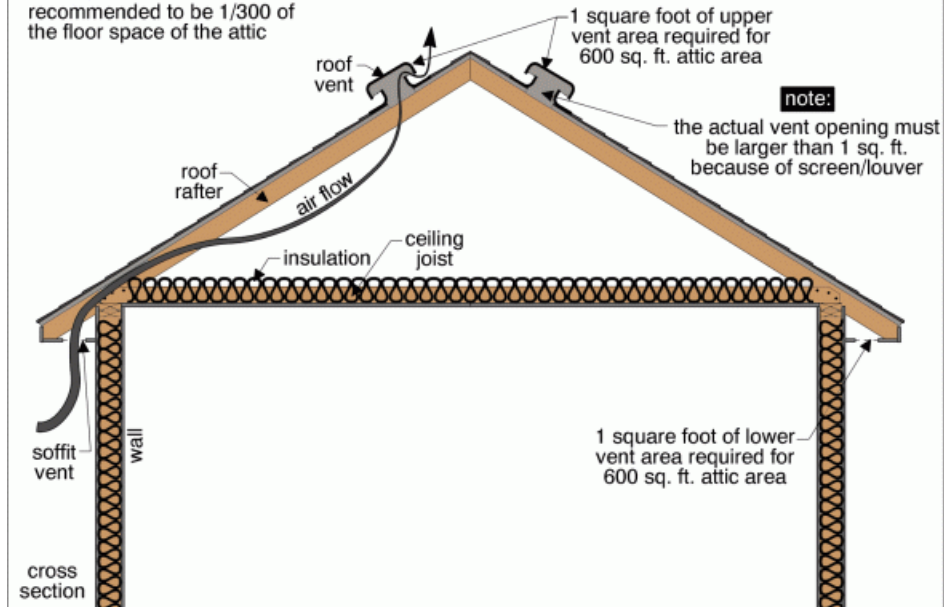
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Recommended amount of attic ventilation

the total vent area is often recommended to be 1/300 of the floor space of the attic



30. Missing Vents

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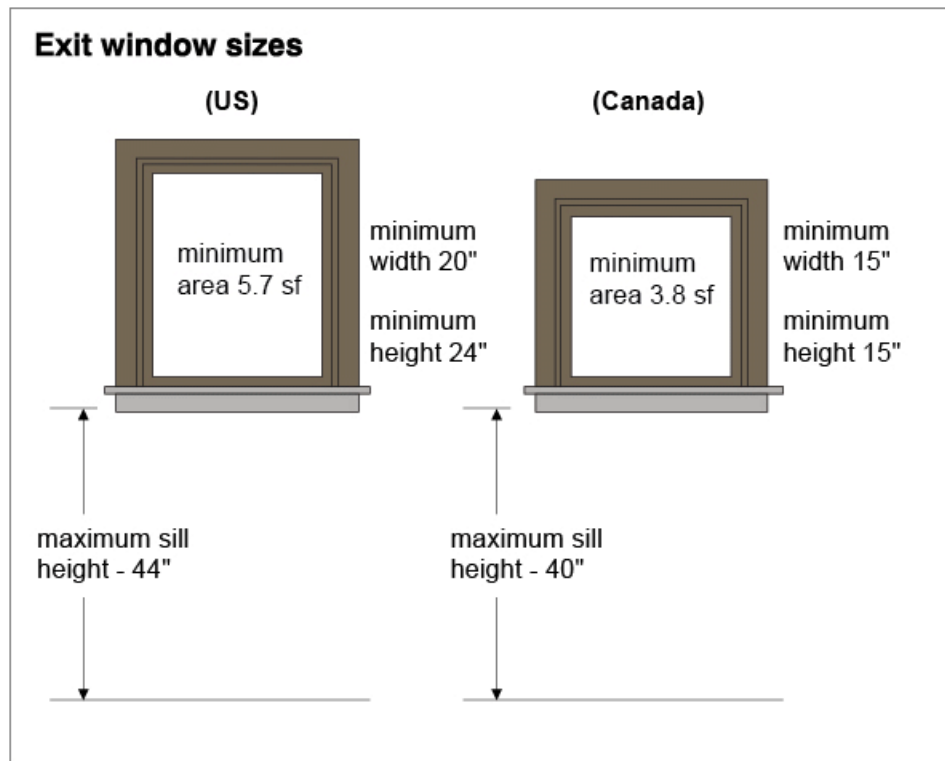
Interior

WINDOWS \ Means of egress/escape

Condition: • Too small

The South West bedroom and West bedroom do not meet current egress code for emergency exits. Current code requires egress in each bedroom. Code mandates the window be a maximum of 44" off the floor and the window shall have 5.7sqft of space to climb through. I recommend the installation of windows that meet egress to prevent a safety hazard.

Implication(s): Restricted emergency exits



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31. Window height is too small



32. Sill is too high for egress



33. Window width

CRAWLSPACE \ Wet crawlspace - evidence

Condition: • Water on floor

I noted standing water in the crawlspace. The entire floor was wet and muddy at the time of the inspection. The majority

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of the water pooled up at the South West corner of the home. I highly recommend the installation of a sump pump to remove the excessive water intrusion.

Implication(s): Chance of water damage to contents, finishes and/or structure



34. Settled

DESCRIPTION OF REPORT

The report that follows includes a description of the systems and components in the house as well as any limitations that may have restricted my inspection. The most important part of the report is the Recommendations section. It is here that I identify any defects in the home and suggest improvements.

LIMITING FACTORS

The inspection is performed by a generalist, and in some cases, I will recommend specialists to further investigate conditions that I have identified. This is very similar to the doctor who is a general practitioner, identifying a physical condition and recommending further testing by a specialist.

Home inspectors have a limited amount of time on site. Market conditions and inspection fees dictate that inspections typically run about three hours. As a result, there will be things that are not picked up by inspectors. We ask that you understand and accept this. The inspection provides great value, and adds considerably to your understanding of the home. But it is not an insurance policy with a one-time only premium, no exclusions, no deductible and no limits.

A home inspection does not include an examination for pests, rot or wood destroying insects. There are specialists available who can provide these services.

Please read the report carefully, and feel free to ask any questions that you may have of the inspector. Again, I will remind you that a home inspection addresses visually accessible components of the home, and does not include destructive testing. I will operate mechanical systems with normal homeowner controls. Where there are many systems

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of a similar type and a home, I inspect a representative sample. For example, I do not inspect every electrical outlet, every piece of siding or every brick or every window.

As you read the report, I encourage you to contact us with any questions about the report or the home.

http://www.discoverhorizon.com/hrb/PDFS_2011/HRB_11_Life_Cycles_2011.pdf

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Description

General: • The Bonus room on the East side of the home has a roof built on top of a roof to allow for better drainage. It appears to be poorly constructed and I recommend keeping a watchful eye on it or improving it.



35.

The home is considered to face : • South

Sloped roofing material: • Composition shingles

Probability of leakage: • Medium

Limitations

Inspection performed: • By walking on roof

Recommendations

SLOPED ROOFING \ Asphalt shingles

1. Condition: • Leak

Implication(s): A Leak was found just past the entrance into the attic on the right. It appears to be a considerable leak and was dripping at the time of inspection. The insulation was wet and the the water appears to be flowing down into the wall below. The garage has a noticeable wet spot in the middle of the wall. I recommend having a professional roofer patch the roof immediately to prevent damage to the interior of the home and possible mold problems.

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36. Leak



37. Leak

2. Condition: • Leak

A leak was found in the garage coming from the skylight. This appears to be from skylight flashing failure. I recommend re-flashing the skylight to prevent any further water penetration.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Garage Skylight

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3. Condition: • Near end of life expectancy

Implication(s): Chance of water damage to contents, finishes and/or structure

4. Condition: • Multiple layers

Implication(s): Shortened life expectancy of material

5. Condition: • Debris/moss

I noted extensive moss growth on the west side of the roof. This moss growth prevents proper drainage and shortens the life of the roof. I recommend the moss be removed by a qualified person to prevent further deterioration. This condition may be noted by an appraiser.

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39. Moss Growth

SLOPED ROOFING \ Roll roofing

6. Condition: • Leak

I noted a leak coming from the middle of the carport. I recommend having it fixed by a qualified roofer to prevent further water penetration.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: carport roofing

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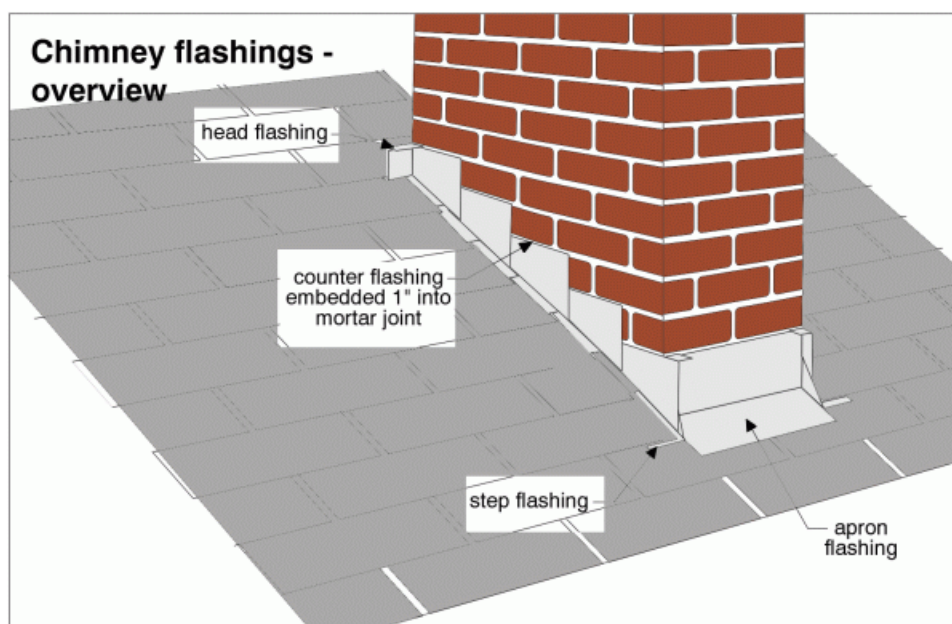
40. Leak

SLOPED ROOF FLASHINGS \ Chimney flashings

7. Condition: • Missing top, bottom, side flashings

The upper side of the chimney flashing is installed improperly. It has been flashed using a piece of tar paper and it needs a material capable of withstanding the elements for long term use. I recommend having a qualified roofer install new flashing properly.

Implication(s): Chance of water damage to contents, finishes and/or structure



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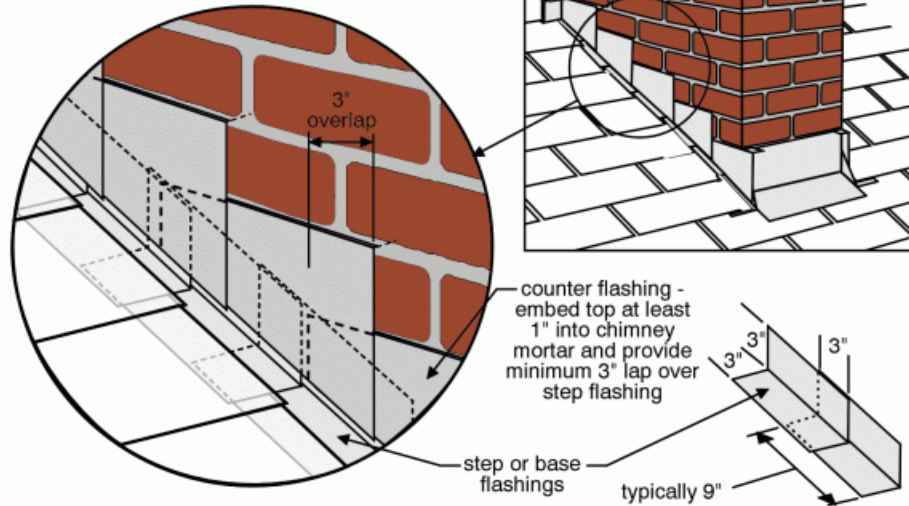
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Chimney flashings - side flashing detail



41. Missing top, bottom, side flashings

8. Condition: • Cap flashing too short

Chimney flashing and step flashing do not overlap. This will allow possible water penetration behind the step flashing and down into the attic space. I recommend having it properly flashed by a qualified roofer.

Implication(s): Chance of water damage to contents, finishes and/or structure

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42. Cap flashing too short



43. Evidence of past leakage under chimney

SLOPED ROOF FLASHINGS \ Roof/wall flashings

9. Condition: • Leak

The bonus room room shows signs of leaking under the eave where the corners meet. I believe this is due to improper flashing. I recommend consulting a qualified roofer to correct this.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: East Exterior

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44. Leak

SLOPED ROOF FLASHINGS \ Drip edge flashings

10. Condition: • Missing

I noted no drip edges on the eave of the roof. While it is common for a roof to not have a drip edge, no drip edge allows the eventual rotting of the sub-roofing material. There are several areas on the perimeter of the home where I noted have some evidence of rot because of this. I recommend installation of a drip edge to prevent further deterioration by a qualified roofer.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Entire Perimeter of Home

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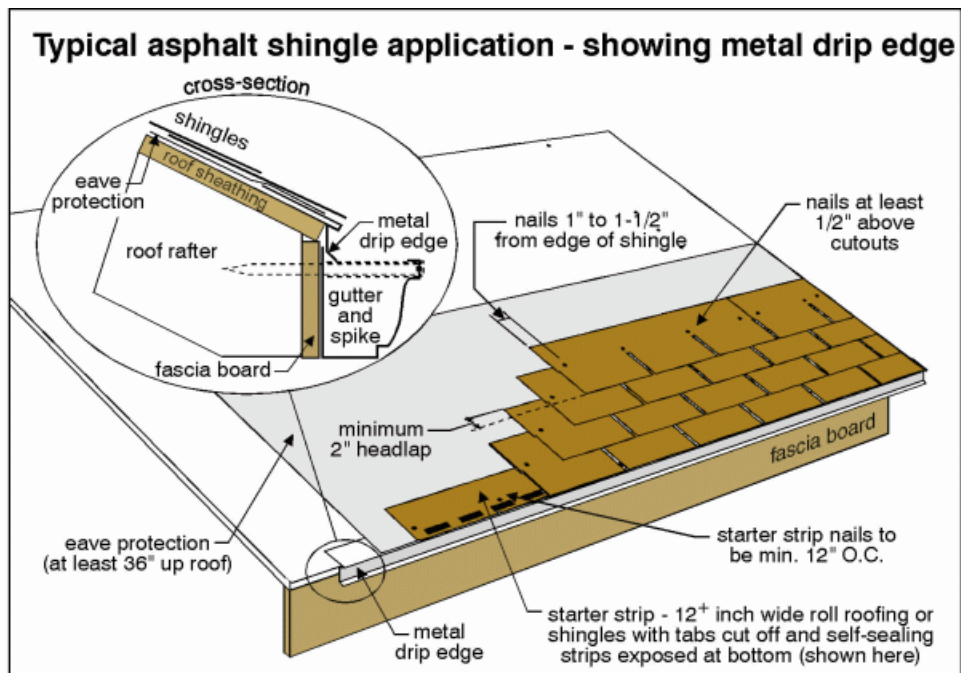
INTERIOR

APPLIANCES

INFRA-RED

MOLD

SITE INFO



45. Missing drip edge flashing

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INFRA-RED

MOLD

SITE INFO

Description

Gutter & downspout material: • Aluminum
Gutter & downspout type: • Eave mounted
Gutter & downspout discharge: • Above grade
Downspout discharge: • Above grade
Lot slope: • Away from building • Towards building
Soffit and fascia: • Enclosed Soffit
Soffit and fascia: • Wood
Wall surfaces and trim: • Wood Lap Siding
Driveway: • Gravel
Garage: • Single Car

Limitations

General: • Exterior of home was fully inspected

Recommendations

ROOF DRAINAGE \ Gutters

11. Condition: • Clogged

Much of the gutters were full of leaves. I recommend cleaning them to allow properer water drainage.

Implication(s): Chance of water damage to contents, finishes and/or structure

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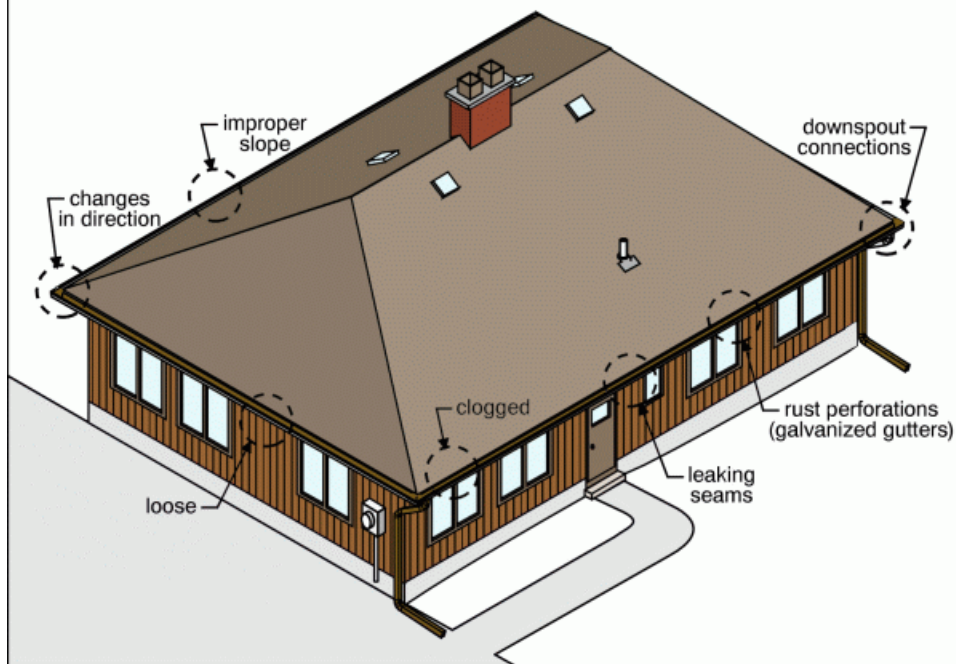
APPLIANCES

INFRA-RED

MOLD

SITE INFO

Gutters - common reasons for leakage



46. Clogged Gutters

12. Condition: • Discharge onto roof

The gutter over the carport has a failed connection which allows excessive water onto the carport roof. I recommend

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SITE INFO

re-installing the drain pipe for proper water drainage.

Implication(s): Material deterioration



47. Discharging onto roof

ROOF DRAINAGE \ Downspouts

13. Condition: • Downspouts discharge too close to building

Gutters discharge too close to the house. This can invite water under the house and can lead to mold, rot, and soil deterioration. I recommend discharging downspout in a manner that prevents it from intruding under the home. This is the leading cause of the standing water under the home in my opinion.

Implication(s): Chance of water damage to contents, finishes and/or structure

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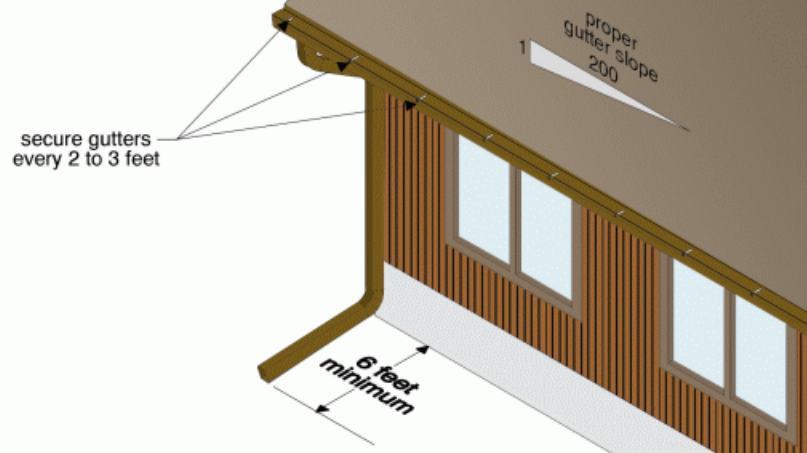
APPLIANCES

INFRA-RED

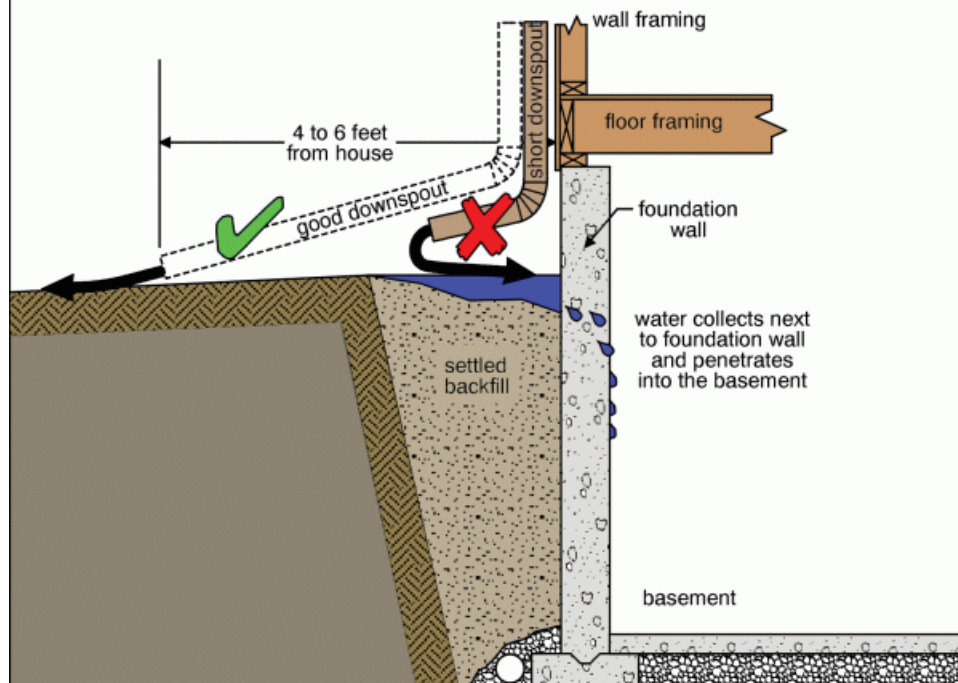
MOLD

SITE INFO

Gutter and downspout installation



Downspout extension too short



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48. Downspouts end too close to building



49. Downspouts end too close to building

WALLS \ Wood siding

14. Condition: • Too close to grade

Landscaping grade is touching the siding and will eventually cause the siding to rot. A 6" gap between siding and landscaping is recommended to prevent deterioration.

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration | Rot | Insect damage

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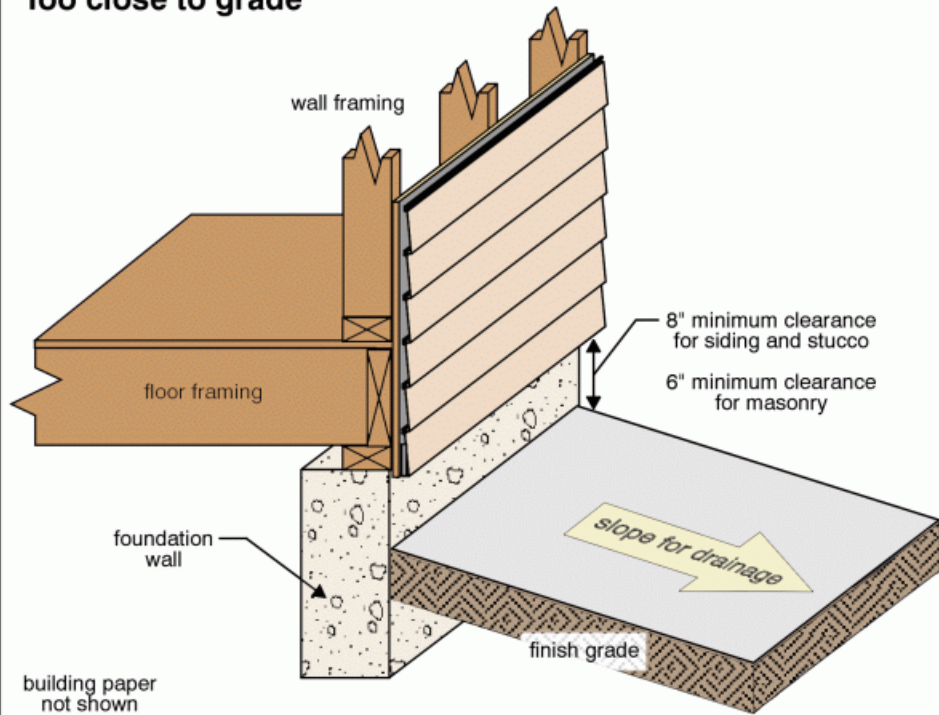
APPLIANCES

INFRA-RED

MOLD

SITE INFO

Too close to grade



50. Too close to grade



51. Siding too close to grade

WALLS \ Plywood, hardboard, and OSB

15. Condition: • Rot or insect damage

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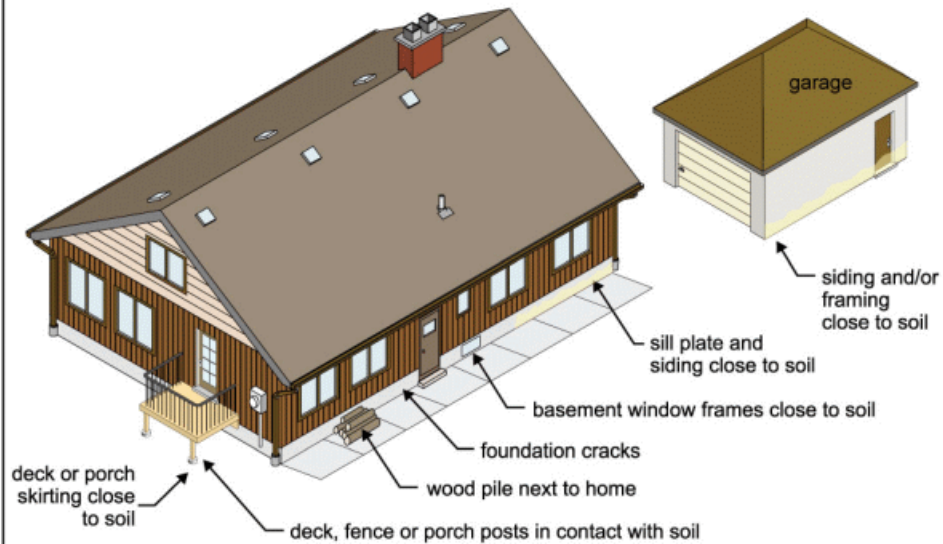
MOLD

SITE INFO

The North side of the detached storage room is severely deteriorated. This is due to improper roofing installation which allowed water to drip down the wall and rot the particle board away. This is the cause of the water intrusion and mold inside inside the storage room. I recommend consulting a qualified contractor for proper remedy.

Location: North Side of Storage Room

Inspecting for subterranean termites – exterior



52. Rot damage

STRUCTURE

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MOLD

SITE INFO

Description

General: • Cracks above garage man door

Configuration: • Crawlspace

Foundation material: • Poured concrete

Floor construction: • Joists • Wood beams

Exterior wall construction: • Wood frame

Roof and ceiling framing: • Rafters/roof joists • Skip sheathing

Limitations

Inspection limited/prevented by: • Crawlspace Inspection limited by mud/standing Water

Attic/roof space: • Fully Inspected

Crawlspace: • Entered but access was limited

Percent of foundation not visible:

• 40 %

I was unable to crawl the entire crawlspace due to severe mud and standing water

Recommendations

General

16. • The entry way has some obvious settling. The ceiling is cracked substantially and the door reveal shows about a 1/2" variance. From North to South, the floor drops about 1.5" in about 3 feet.

Location: Entry

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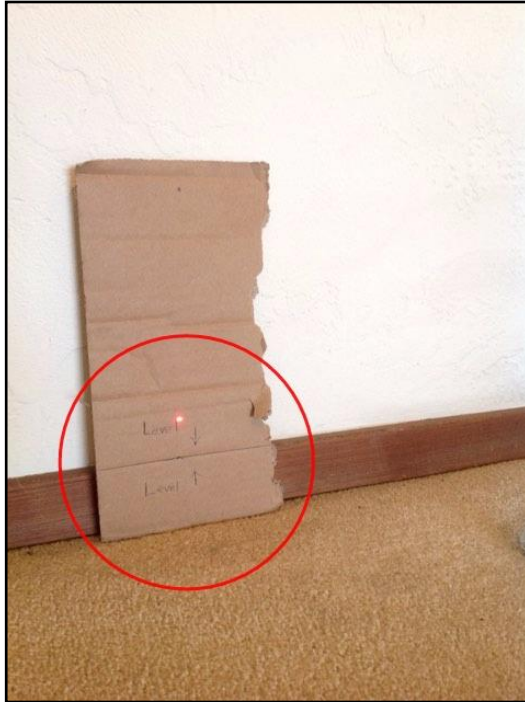
INTERIOR

APPLIANCES

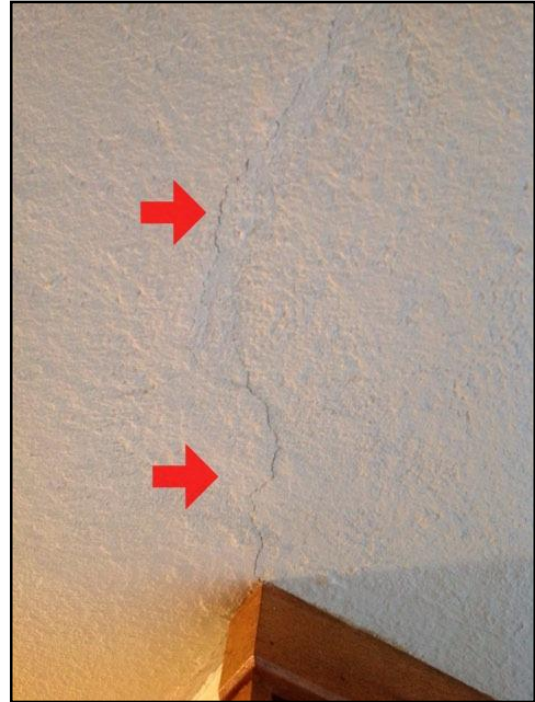
INFRA-RED

MOLD

SITE INFO



53. 1.5" lower on the west side of entry.



54. Crack above fireplace



55. Crack and door reveal

17. • I noted some evidence of past rodent activity. I did not see any evidence of wood boring pests or current rodent activity.

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SITE INFO



56. Evidence of past rodent activity

18. • Besides where there was no drip edge on the eaves, I did not find any wood rot on the main residence.

FOUNDATIONS \ General

19. Condition: • Expansive Soil Found



57.



58. Expansive Soil - large crack found under home

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59. Evidence of movement - gap

20. Condition: • Settled

Implication(s): Chance of structural movement



60. Settled



61. Garage Man Door

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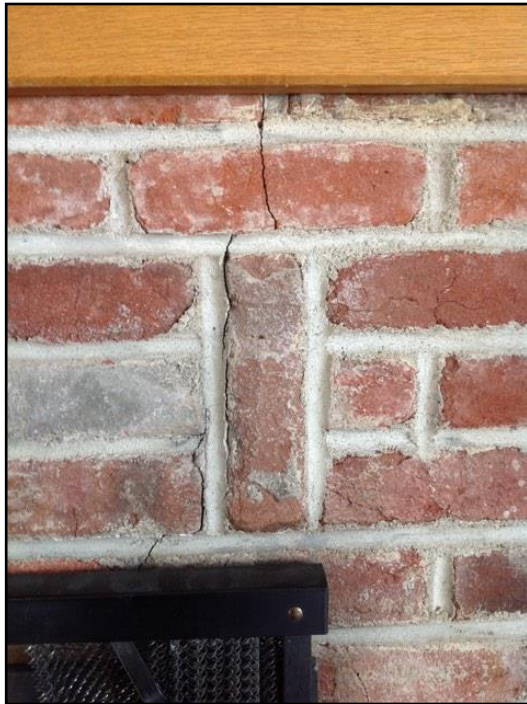
INTERIOR

APPLIANCES

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MOLD

SITE INFO



62. Fireplace



63. Settled



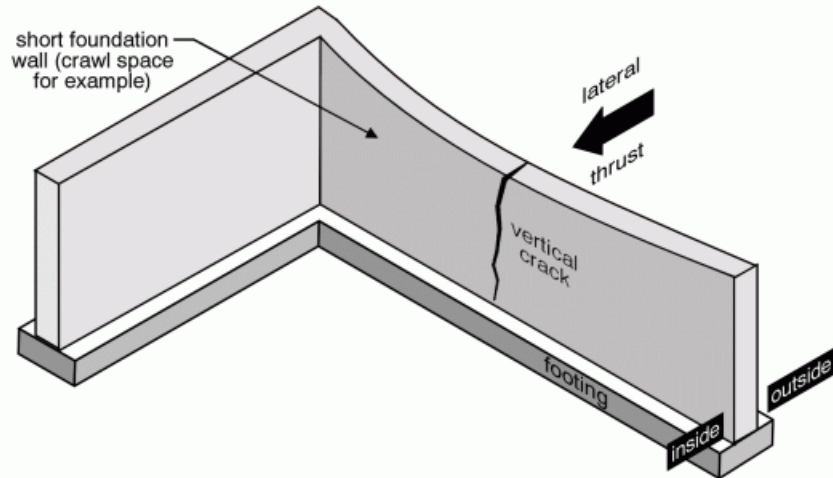
64. Footing movement and standing water

21. Condition: • Cracked

Crack in corner and standing water.

Implication(s): Chance of water damage to contents, finishes and/or structure | Weakened structure

Vertical foundation cracks



in short foundation walls, horizontal forces can also cause vertical cracks (typically at the midpoint of the walls)



65. Cracked



66. Typical minor cracks

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67. Typical minor cracks



68. Cracked



69. Cracked



70. Cracked

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71. Cracked



72. Cracked

FOUNDATIONS \ Performance opinion

22. Condition: • Suspect

The foundation shows many signs of obvious settling. The foundation appears to have been poured directly on top of expansive soil. The 60 years of the soil expanding and contracting over the seasons has caused several substantial cracks throughout the foundation by allowing the foundation to sink. Water has been allowed to exist under the home, this allows the soil to be soft and expand. I recommend prevention of water intrusion into the crawlspace and installation of a sump pump as soon as possible.

I recommend further consultation from a qualified foundation expert to discuss severity and remedy.

Implication(s): Chance of structural movement

23. Condition: • Further evaluation required

Implication(s): Chance of structural movement

ROOF FRAMING \ Knee walls/purlins

24. Condition: • Purlins sagging

This purlin is over span, though it does not appear to be excessively deflected. I recommend adding another support in the middle, to help guard against roof sagging.

Implication(s): Weakened structure | Chance of structural movement

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73. Purlins sagging

25. Condition: • Poor connections

Poor purlin connection does not adequately transfer roof load. I recommend having a qualified builder re-install the purlin support correctly. This support may allow the roof to sag if not fixed.

Implication(s): Weakened structure | Chance of structural movement

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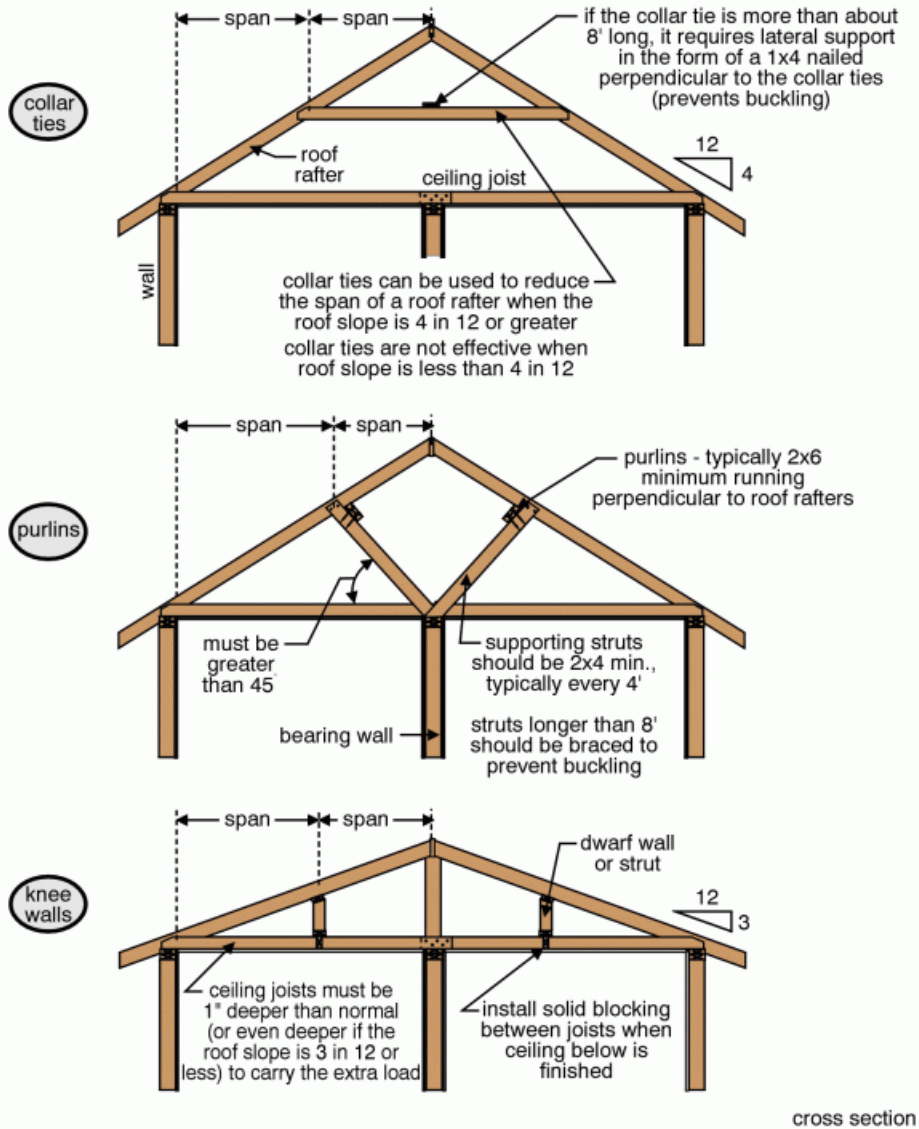
APPLIANCES

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Methods of reducing rafter spans



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74. Poor connections

Description

Service entrance cable and location: • Overhead aluminum

Service size: • 200 Amps (240 Volts)

Main disconnect/service box rating: • 200 Amps

Main disconnect/service box type and location: • Breakers -exterior wall

System grounding material and type:

- Not visible

I found two copper wires buried for a ground. One of the grounds is coming from the main service box. I assume a grounding rod has been driven deep into the soil, but I couldn't verify this.



75. Copper - ground rods

Number of circuits installed:

- 12

ELECTRICAL

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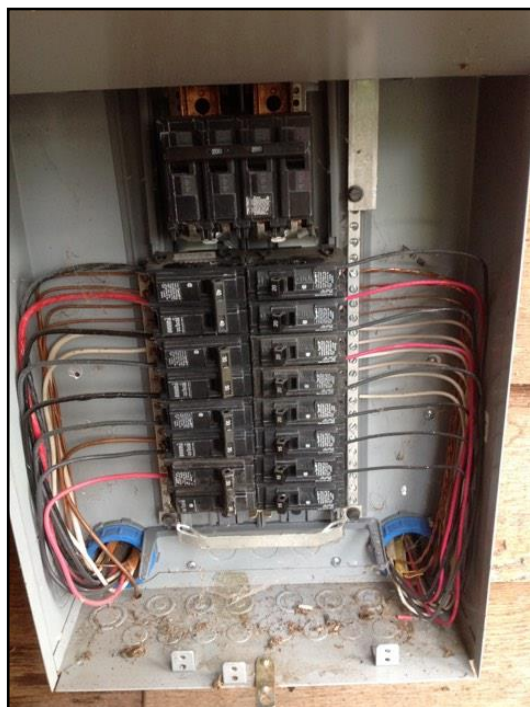
INTERIOR

APPLIANCES

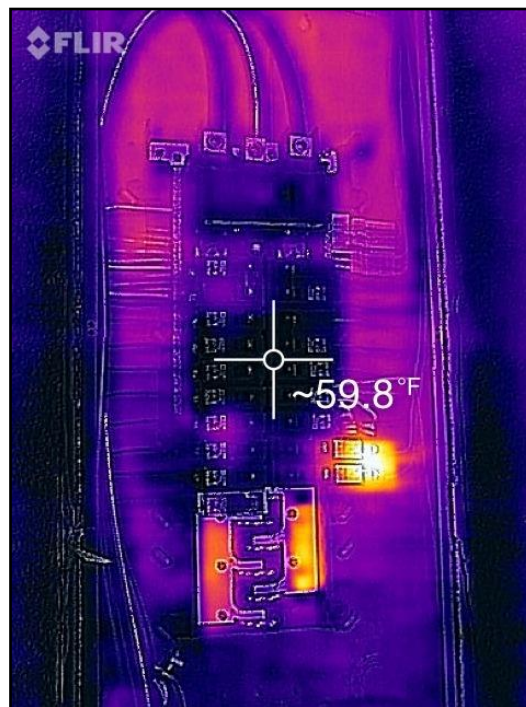
INFRA-RED

MOLD

SITE INFO



76. Circuits



77. Infrared view - circuits not overheating

Distribution wire material and type: • Copper - non-metallic sheathed

Type and number of outlets (receptacles):

• Ungrounded - typical

All outlets in the home are ungrounded.

Smoke detectors: • Non-Functional

Smoke detectors: • Present

Carbon monoxide (CO) detectors: • Functional

Carbon monoxide (CO) detectors:

• Present

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78. Present

Limitations

Panel covers: • Removed

System ground: • Found

System ground: • Quality of ground not determined

Recommendations

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

26. Condition: • Circuits not labeled

Implication(s): Nuisance

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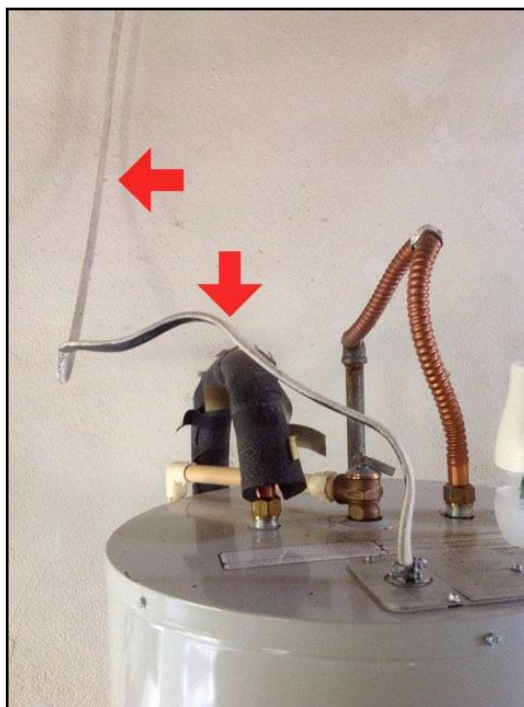
79. Circuits not labeled

DISTRIBUTION SYSTEM \ Wiring - damaged or exposed

27. Condition: • Exposed on walls or ceilings

I recommend this electrical wire to the water heater be protected by an approved conduit to prevent possible damage and consequently electric shock.

Implication(s): Electric shock



80. Exposed on walls or ceilings

DISTRIBUTION SYSTEM \ Outlets (receptacles)

28. Condition: • Ungrounded

All the outlets I found in the home are ungrounded. This is a normal construction practice for the time this home was built, however I recommend a qualified electrician replace the recepticals with Ground Fault Circuit Interrupter outlets to prevent a possible shock hazard.

Implication(s): Electric shock



81.

29. Condition: • No GFCI/GFI (Ground Fault Circuit Interrupter)

No GFCI outlets were noted in the kitchen or Bathrooms. Current building codes mandate that kitchens and bathrooms be protected by GFCI receptacles. I highly recommend Ground Fault Circuit Interrupters be installed by a qualified electrician to prevent possible electric shock.

Implication(s): Electric shock

Location: Kitchen and Bathroom

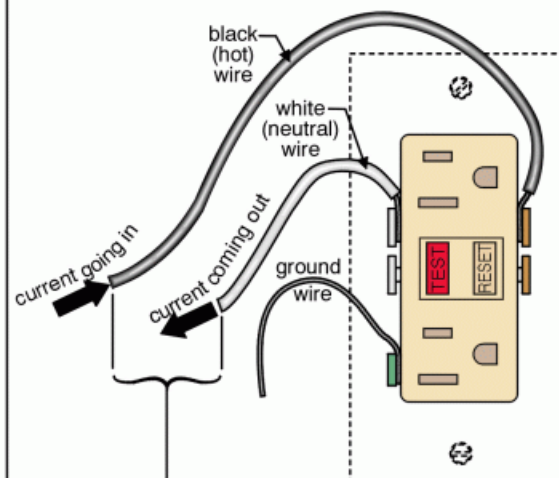
Ground fault interrupter

the GFI circuitry within the outlet checks constantly for a difference between the current in the black and white wires

if there is a difference (even as little as 5 milliamps), there is a current leak (possibly through your body) and the GFI shuts down the receptacle and other receptacles downstream

note:

if the GFI is in the panel, the entire circuit will be shut down





82. No GFCI Outlet in Kitchen

DISTRIBUTION SYSTEM \ Cover plates

30. Condition: • Missing

I noted an electrical box that was missing its cover plate. I recommend installing a new plate to prevent electric shock and a possible fire hazard.

Implication(s): Electric shock

Location: Attic



83. Missing cover

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DISTRIBUTION SYSTEM \ Smoke detectors

31. Condition: • Inoperative

I found one smoke alarm in the hallway and it was not functional. Current code mandates that one smoke alarm be installed in each bedroom, immediately outside of sleeping areas, and in the main living space. I recommend proper smoke alarm installation to help guard against a fire hazard.

Implication(s): Fire hazard

DISTRIBUTION SYSTEM \ Carbon monoxide (CO) detectors

32. Condition: • Inadequate

I noted no carbon monoxide detectors in the home. Current Code mandates that CO2 detectors be installed within 15 feet of all sleeping rooms. I recommend moving the detector to comply with this to guard against possible CO2 hazards. This condition may be noted by an appraiser.

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SITE INFO

Description

System type: • Non-Functional

System type:

• Furnace



84. Furnace

• Fireplace

Fuel/energy source: • Oil

Heat distribution: • Ducts and registers

Fireplace/stove: • Wood-burning fireplace - not in service

Limitations

Inspection prevented/limited by: • System was inoperative

Safety devices: • Not tested as part of a building inspection

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Recommendations

OIL FURNACE \ Primary controller

33. Condition: • Inoperative

Oil furnace was not functioning when inspected. An indicator light was flashing that it was in Lockout mode. Power was live to it and the thermostat shows the heat to be on. This may be caused by low oil in the tank. I recommend filling with new oil and testing again. If that doesn't work, I recommend consulting a professional heating and air technician.

Implication(s): No heat for building

Location: Garage



85. Inoperative



86. Inoperative

FIREPLACE \ General

34. Condition: • Inspect chimney, and sweep, if needed before using

The chimney appears to not have been used in a while. Before the next use, I highly recommend having a professional inspect the flu for safety and proper use.

Implication(s): Fire hazard

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87. *Wood-burning fireplace - not in service*

COOLING & HEAT PUMP

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SITE INFO

Description

Air conditioning type: • Window Style Air Conditioner

Air conditioning type: • Window Unit was tested for functionality and works



88.



89. Window Unit

Air conditioning type: • Home does not have whole house air conditioning

Supply temperature: • 55°

Recommendations

General

35. • No Recommendations

INSULATION AND VENTILATION

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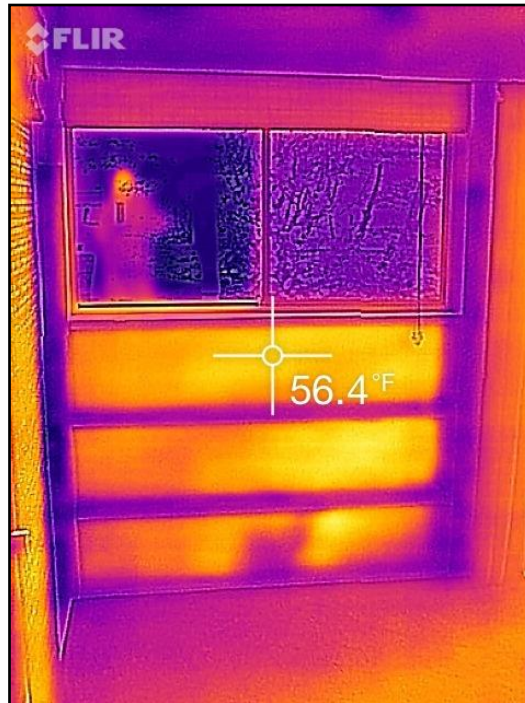
MOLD

SITE INFO

Description

General: • Infrared Camera View

Note: Add on Room appears to have very thin walls with no insulation.



90. Infrared Camera View

Attic/roof insulation material: • Vermiculite

Attic/roof ventilation: • Roof vent

Wall insulation material: • Not visible

Floor above basement/crawlspace insulation material: • No Crawlspace Insulation

Floor above basement/crawlspace air/vapor barrier: • None found

Crawlspace ventilation: • Foundation Vents

Limitations

Attic inspection performed: • Attic Fully Inspected

Crawlspace inspection performed: • By entering space, but access was limited

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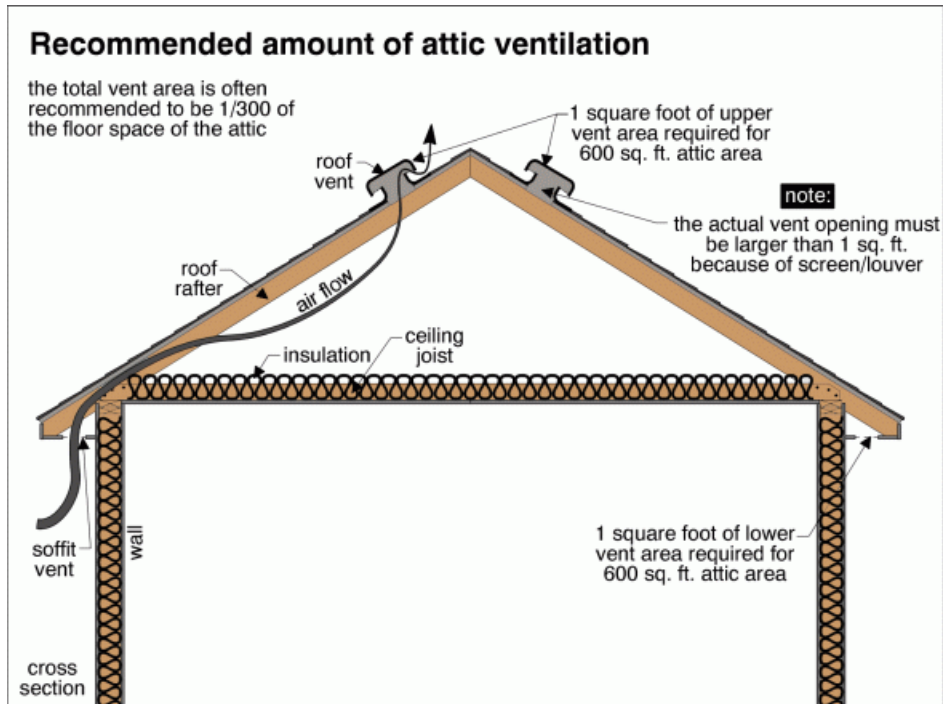
Recommendations

ATTIC/ROOF \ Roof vents

36. Condition: • Missing

I noted to turbine style vents that were on the roof but not installed in their respective roof vents. I recommend proper re-installation to allow proper airflow to reduce energy costs and moisture.

Implication(s): Chance of condensation damage to finishes and/or structure



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91. Missing Vents

FOUNDATION \ Crawlspace ventilation

37. Condition: • Inadequate

I found good ventilation on the West and South side of home but none where found on the East and North side of home. I noted excessive moisture in the crawlspace. I recommend proper installation of more vents to allow the crawlspace to dry out.

Implication(s): Chance of condensation damage to finishes and/or structure

FOUNDATION \ Crawlspace floor

38. Condition: • No vapor barrier

I noted there was not a vapor barrier installed in the crawlspace. This can allow excess moisture in the crawlspace and invite mold and rot to form. I recommend installing a 6mil plastic vapor barrier through the crawlspace to help prevent damage to the structure due to moisture. This condition may be noted by an FHA appraiser.

Implication(s): Chance of condensation damage to finishes and/or structure

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SITE INFO



92. No vapor barrier

Description

General: • All sinks, tubs, and showers were found to have proper drainage.

General: • No leaks under cabinets found

General: • All plumbing fixtures tested and work

Water supply source: • Public

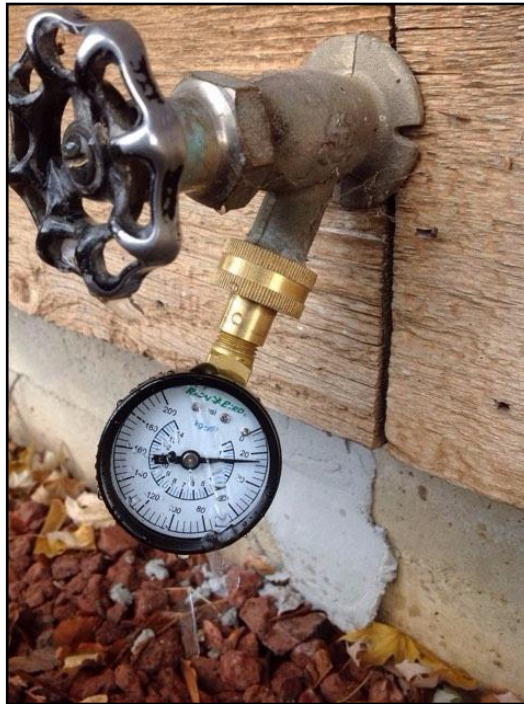
Service piping into building: • Galvanized steel

Supply piping in building: • Galvanized steel

Water flow and pressure:

- Functional
- Below average

I found the water pressure to be about only 27psi. This is well below average, I recommend having a qualified plumber evaluate the condition and recommend a possible remedy.



93. Only 27 PSI

Water heater type: • Tested and Works

PLUMBING

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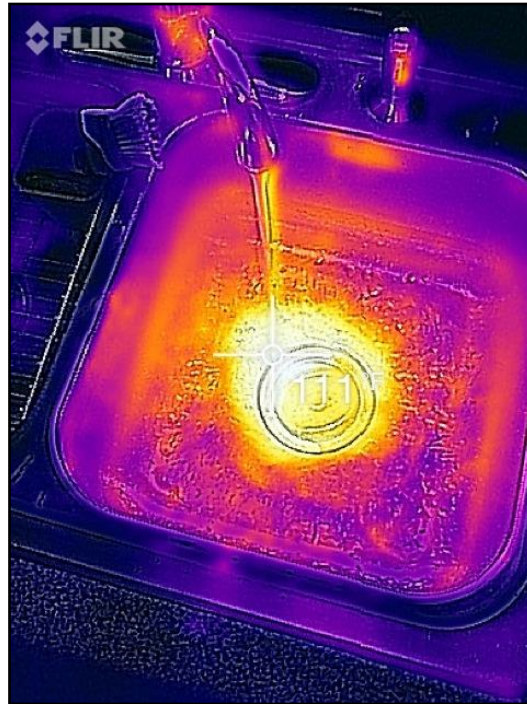
INTERIOR

APPLIANCES

INFRA-RED

MOLD

SITE INFO



94.

Water heater type: • Conventional

Water heater fuel/energy source: • Electric

Water heater manufacturer:

• Bradford White

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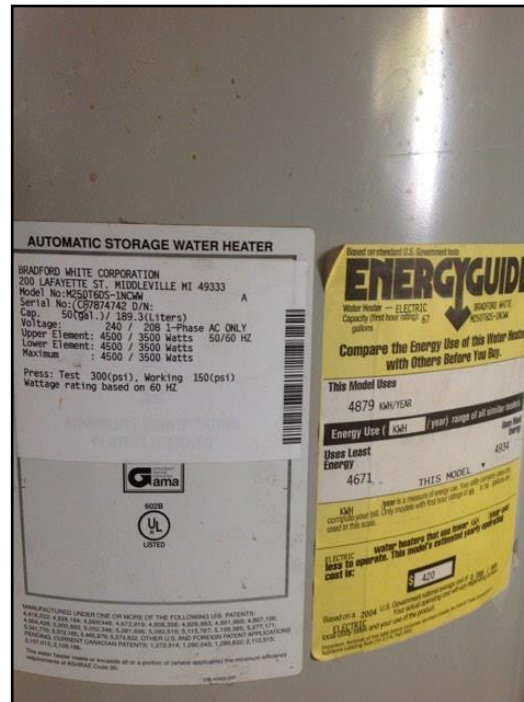
INTERIOR

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INFRA-RED

MOLD

SITE INFO



95. Bradford White

Tank capacity: • 50 gallons

Waste and vent piping in building: • Cast Iron

Gas piping: • No gas piping was found.

Limitations

Items excluded from a building inspection: • Septic system • Isolating/relief valves & main shut-off valve • Concealed plumbing

Recommendations

General

39. • The garage toilet was found to be non functional. The tank has been wired shut. I recommend further evaluation to determine the reasoning for this.

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MOLD

SITE INFO

Description

Major floor finishes: • Carpet • Hardwood

Major wall and ceiling finishes: • Plaster/drywall

Windows: • Wood • Aluminum

Glazing: • Single

Exterior doors - type/material: • All doors were found to be functional

Exterior doors - type/material:

• Solid wood

• Garage door - metal

All safety mechanisms were found to be functional

Doors: • Inspected

Oven type: • Conventional

Oven fuel: • Electricity

Range fuel: • Electricity

Appliances: • No dishwasher, sink disposal, or microwave were found.

Appliances: • Refrigerator • Range hood

Laundry facilities: • No gas piping

Laundry facilities: • Hot/cold water supply • 240-Volt outlet • Waste standpipe

Kitchen ventilation: • Range hood

Bathroom ventilation: • None

Inventory Garage Door Opener: • Works • Safety devices worked as intended

Inventory Range: • Works

Inventory Range: • GE

Inventory Refrigerator: • Works

Limitations

Not included as part of a building inspection: • Washing Machine • Clothes Dryer

Recommendations

WALLS \ Plaster or drywall

40. Condition: • Damaged

Walls are damaged behind washer.

Implication(s): Damage or physical injury due to falling materials

Location: Garage

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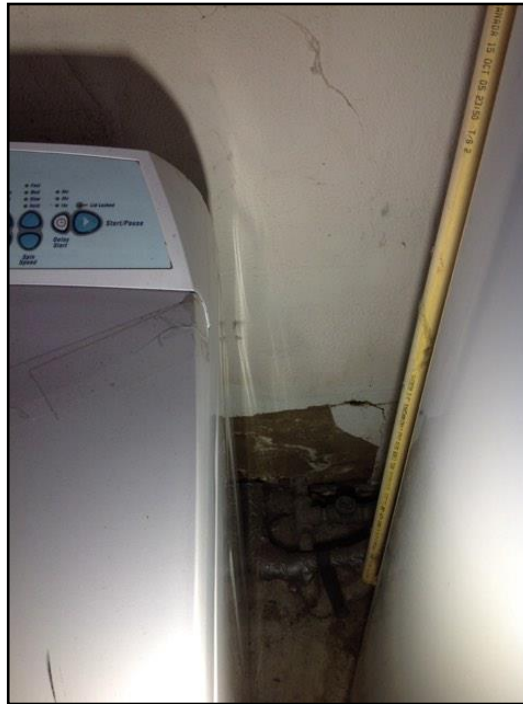
INTERIOR

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MOLD

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96. *Damaged*

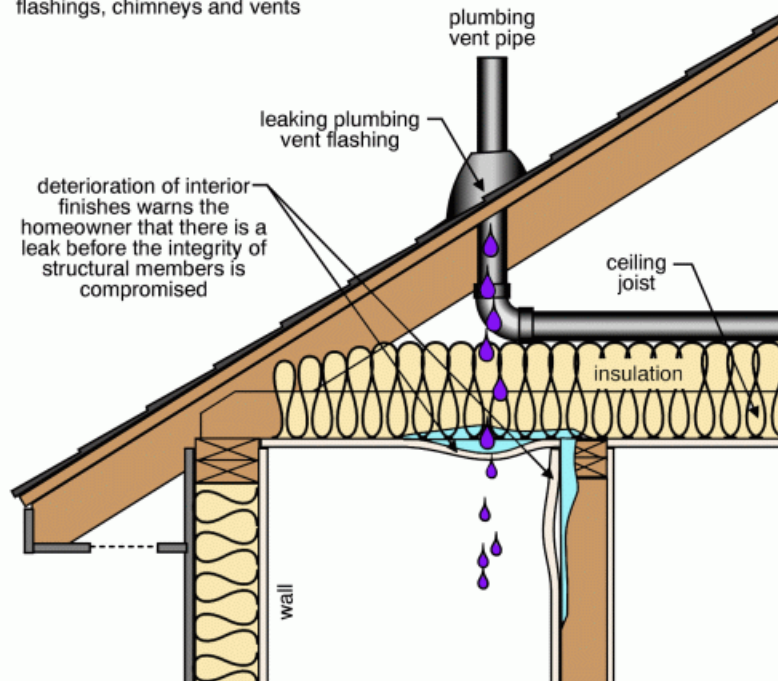
41. Condition: • Water damage

Possible water damage inside bedroom closet. Does not feel wet to touch.

Location: South East Bedroom

Common locations for water damage

water damage to walls is common below windows, bathrooms, roof flashings, chimneys and vents



97. Water damage

WINDOWS \ Glass (glazing)

42. Condition: • Cracked

The South window in the bonus room has a crack at the bottom of the window.

Implication(s): Physical injury

Location: Bonus Room



98. Cracked

WINDOWS \ Means of egress/escape

43. Condition: • Too small

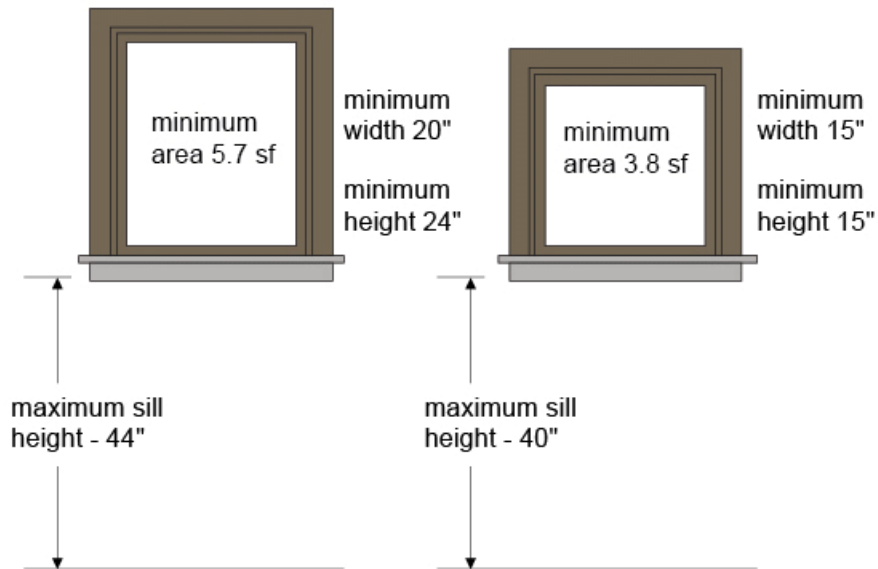
The South West bedroom and West bedroom do not meet current egress code for emergency exits. Current code requires egress in each bedroom. Code mandates the window be a maximum of 44" off the floor and the window shall have 5.7sqft of space to climb through. I recommend the installation of windows that meet egress to prevent a safety hazard.

Implication(s): Restricted emergency exits

Exit window sizes

(US)

(Canada)



99. Window height is too small



100. Sill is too high for egress

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101. Window width

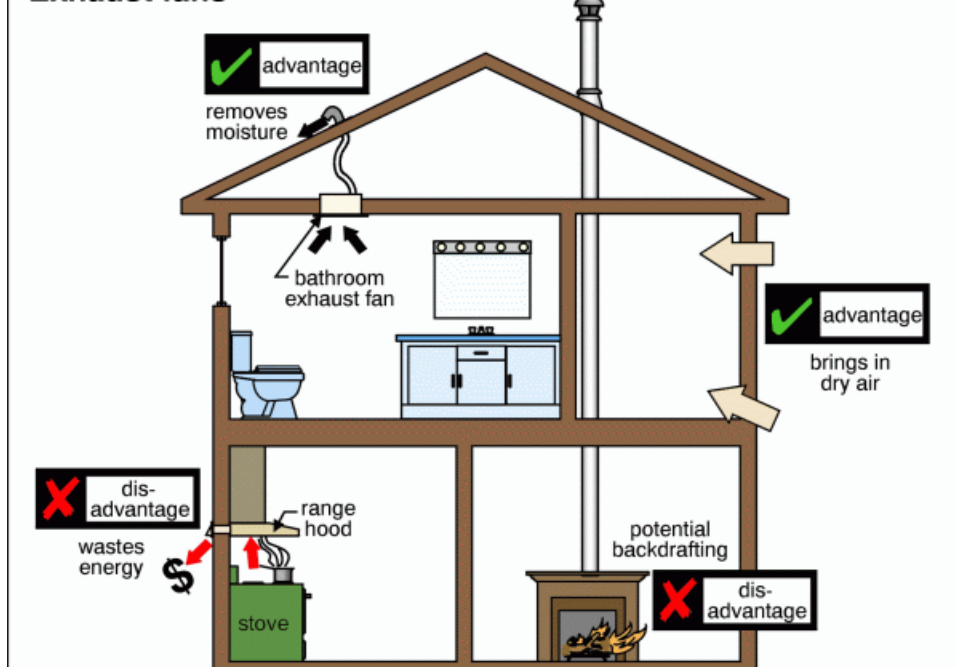
EXHAUST FANS \ General

44. Condition: • Missing

I found no exhaust system for the bathroom. I recommend the installation of a ventilation fan in the bathroom to prevent moisture intrusion into the home.

Implication(s): Chance of condensation damage to finishes and/or structure

Exhaust fans



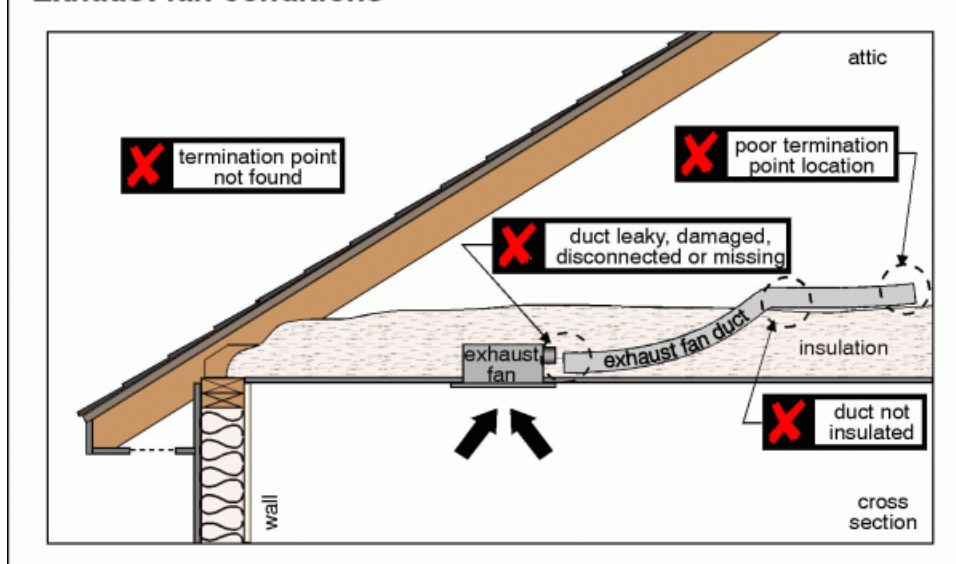
EXHAUST FANS \ Kitchen range exhaust system

45. Condition: • Not vented to exterior

Kitchen vent is directed into the attic space. I recommend proper venting to the outside of the home.

Implication(s): Chance of condensation damage to finishes and/or structure

Exhaust fan conditions



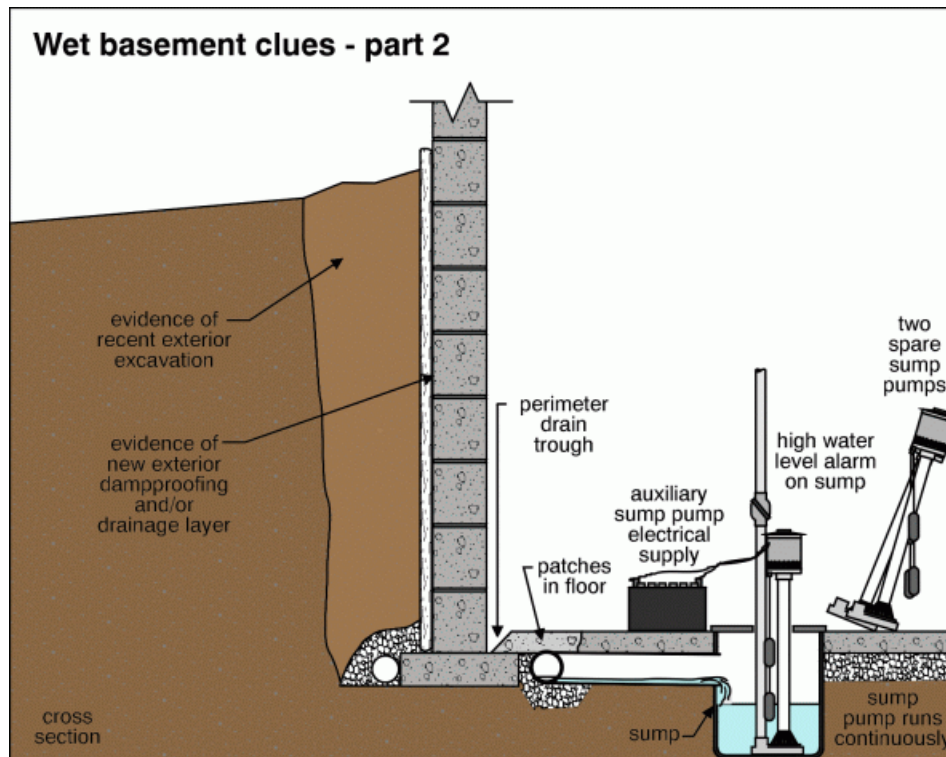


102. Not vented to exterior

CRAWLSPACE \ Wet crawlspace - evidence

46. Condition: • Dampness on floor or walls

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration



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47. Condition: • Water on floor

I noted standing water in the crawlspace. The entire floor was wet and muddy at the time of the inspection. The majority of the water pooled up at the South West corner of the home. I highly recommend the installation of a sump pump to remove the excessive water intrusion.

Implication(s): Chance of water damage to contents, finishes and/or structure



103. Settled

APPLIANCES \ Doorbell

48. Condition: • Inoperative

The doorbell was found to not be functional

Implication(s): Equipment inoperative

APPLIANCES

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SITE INFO

Description

Range: • Anti-Tip device not installed. • Tested and is Functional

Refrigerator: • No water supply • Works

Dishwasher: • Tested by running full wash cycle. • Completed wash cycle and did not leak

Microwave oven: • Tested and works

Waste disposal: • Not present

Doorbell: • Inoperative

Limitations

General: • No Limitations

Recommendations

General

49. • No Recommendations

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SITE INFO

Limitations

General: • No Limitations

Recommendations

General

50. • No Recommendations

MOLD

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MOLD

SITE INFO

Description

General: • I performed a visual inspection for mold as I explored all areas of the home and did not note any visible signs of mold.

Insulation / Ventilation: • Crawl space Vapor barrier not present

Limitations

General: • No limitations

Recommendations

General

51. • Although I found no visual evidence of mold, I noted an inadequate amount of ventilation in the crawlspace, along with no vapor barrier and standing water. These conditions will invite mold to exist. I recommend the installation of more crawlspace vents and vapor barrier to help moisture dissipate from the crawlspace.

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MOLD

SITE INFO

Description

Weather: • Clear

Approximate temperature: • 66°

Attendees: • Buyer • Buyer's Agent

Occupancy: • The home was vacant during the inspection. • The home was unfurnished during the inspection.

Utilities: • All utilities were on during the inspection.

Approximate inspection Start time: • The inspection started at 9:00 a.m.

Approximate inspection End time: • The inspection ended at Noon.

Building type: • Detached home

END OF REPORT