

# INSPECTION REPORT



For the Property at:  
**2222 REAL , St**  
ARLINGTON, VA 22207

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Prepared for: TIM TAYLOR  
Inspection Date: Monday, May 8, 2017  
Prepared by: Johnny Short



Commonwealth Home Services  
6916 Harvey Rd  
Manassas, VA 20112  
703 375-9193

[www.commonwealthhomeservices.com](http://www.commonwealthhomeservices.com)  
[johnpshortjr@gmail.com](mailto:johnpshortjr@gmail.com)

Looking out for you and your interests.



July 13, 2017

Dear Tim Taylor,

RE: Report No. 1013, v.4  
2222 Real , St  
Arlington, VA  
22207

Thank you for choosing Commonwealth Home Services to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice ASHI. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thank you very much for choosing us to perform your home inspection.

Sincerely,

Johnny Short  
on behalf of  
Commonwealth Home Services

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# SUMMARY

2222 Real , Arlington, VA May 8, 2017

Report No. 1013, v.4

[www.commonwealthhomeservices.com](http://www.commonwealthhomeservices.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

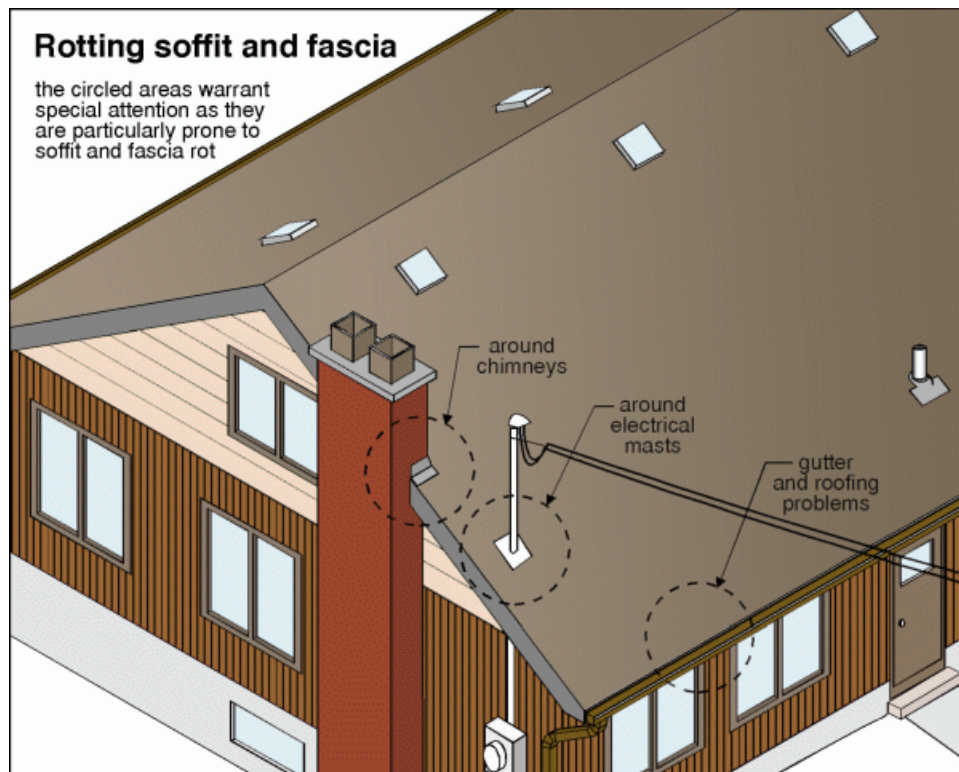
## Exterior

### WALLS \ Soffits and fascia

**Condition:** • Loose or missing pieces

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Chance of pests entering building

**Location:** Right Side



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*Loose or missing pieces*

## WALLS \ Brick, stone and concrete

**Condition:** • Cracked

Step cracks in mortar joints

**Implication(s):** Chance of water entering building | Weakened structure | Chance of movement

**Location:** Front



*Cracked*

## PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Handrails and guards

**Condition:** • Loose railing cap

**Location:** Front

## LANDSCAPING \ General

**Condition:** • Planters and gardens against walls

**Implication(s):** Chance of water entering building | Chance of damage to structure | Chance of structural movement

**Location:** Right Side



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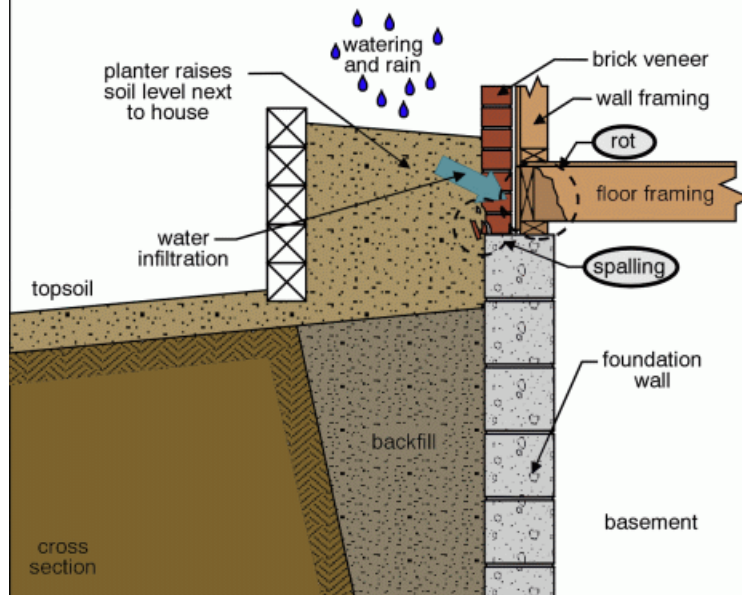
COOLING

INSULATION

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INTERIOR

## Watch for planters or gardens against walls



*Planters and gardens against walls*

## Electrical

### DISTRIBUTION SYSTEM \ Outlets (receptacles)

**Condition:** • Ungrounded

**Implication(s):** Electric shock

**Location:** First Floor Living Room

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*Ungrounded*

**Condition:** • Loose

**Implication(s):** Electric shock | Fire hazard

**Location:** Left Side Basement



*Loose*

**Condition:** • No GFCI/GFI (Ground Fault Circuit Interrupter)

Less then 6' from kitchen sink

**Implication(s):** Electric shock

**Location:** First Floor Kitchen

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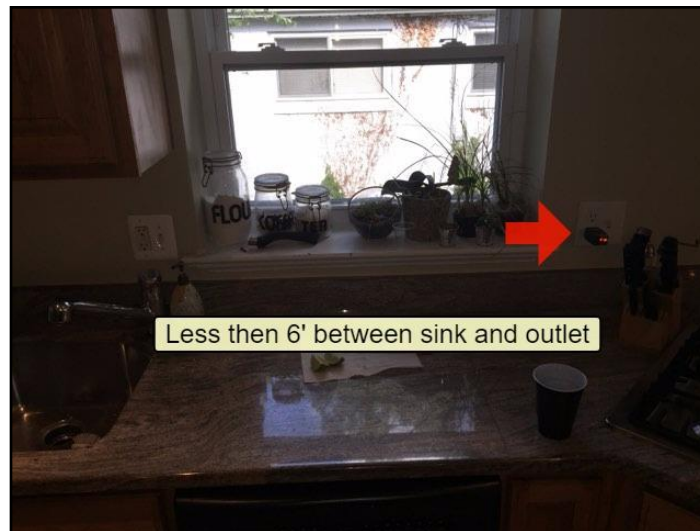
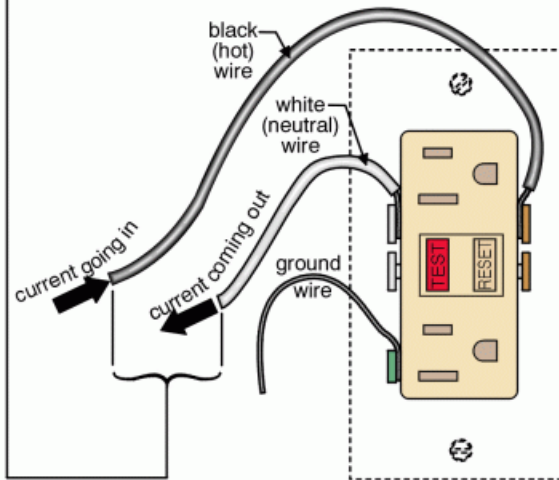
## Ground fault interrupter

the GFI circuitry within the outlet checks constantly for a difference between the current in the black and white wires

if there is a difference (even as little as 5 milliamps), there is a current leak (possibly through your body) and the GFI shuts down the receptacle and other receptacles downstream

### note:

if the GFI is in the panel, the entire circuit will be shut down



No GFCI/GFI (Ground Fault Circuit...

## DISTRIBUTION SYSTEM \ Cover plates

**Condition:** • Missing

**Implication(s):** Electric shock

**Location:** Basement Utility Room

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*Missing*

**Condition:** • Missing

**Implication(s):** Electric shock

**Location:** Basement



*Missing*

## Heating

### GAS FURNACE \ Mid- and high-efficiency gas furnace

**Condition:** • Poor vent location, arrangement

Hi efficient gas furnace exhausting directly on air cooled AC unit

**Implication(s):** Equipment not operating properly | Equipment inoperative | Hazardous combustion products entering home

**Location:** Left Side Exterior



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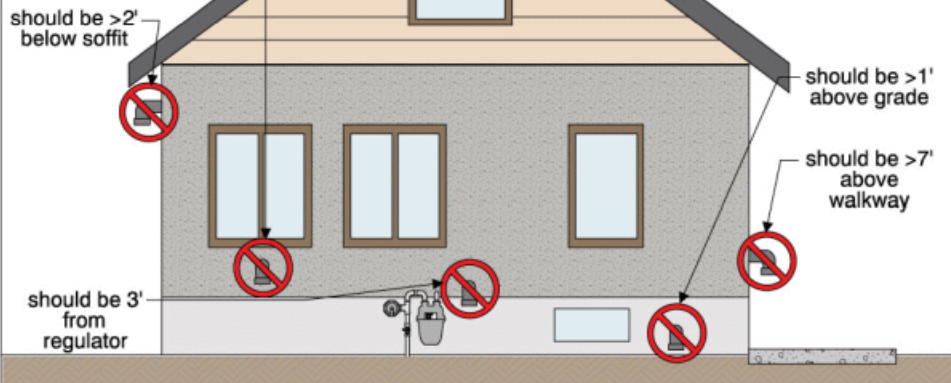
## Improper sidewall vent locations - mid- & high-efficiency furnaces

- numbers vary in some areas and circumstances
- check local rules

mid-efficiency:  
should be 4' below or  
beside doors, windows,  
or air inlets, and 1' above  
high-efficiency:  
1' window clearance  
(3' if >100,000 BTU)

### other improper locations:

- should be 3' to 6' from  
combustion air inlet for  
other appliance
- should be 1' clearance  
under veranda, porch,  
deck or balcony
- shouldn't discharge at  
inside corner formed by  
two outside walls



Poor vent location, arrangement

## Insulation and Ventilation

### ATTIC/ROOF \ Insulation

**Condition:** • Gaps or voids

**Implication(s):** Increased heating and cooling costs | Reduced comfort

**Location:** Attic Throughout

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*Gaps or voids*

**Condition:** • Gaps or voids

**Implication(s):** Increased heating and cooling costs | Reduced comfort

**Location:** Attic



*Gaps or voids*

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## Interior

### CEILINGS \ General

**Condition:** • Cracks

**Implication(s):** Damage or physical injury due to falling materials

**Location:** First Floor Living Room



*Cracks*

### DOORS \ Hardware

**Condition:** • Inoperable

Broken storm door shock holder

**Implication(s):** System inoperative or difficult to operate

**Location:** First Floor Kitchen



*Inoperable*

**Condition:** • Inoperable

**Implication(s):** System inoperative or difficult to operate



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**Location:** First Floor Living Room



*Inoperable*

## STAIRS \ Handrails and guards

**Condition:** • Stair rails should have downward movement opening closed off to prevent snagging of clothes

**Location:** Kitchen



This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)



# ROOFING

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## Description

**Sloped roofing material:** • Asphalt shingles

## Limitations

**Inspection performed:** • With binoculars from the ground

# EXTERIOR

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## Description

**Gutter & downspout material:** • Galvanized steel

**Gutter & downspout discharge:** • Above grade

**Downspout discharge:** • Above grade

**Lot slope:** • Towards building

**Wall surfaces - masonry:** • Brick

**Wall surfaces and trim:** • Vinyl siding

**Soffit and fascia:** • Vinyl

**Driveway:** • Concrete

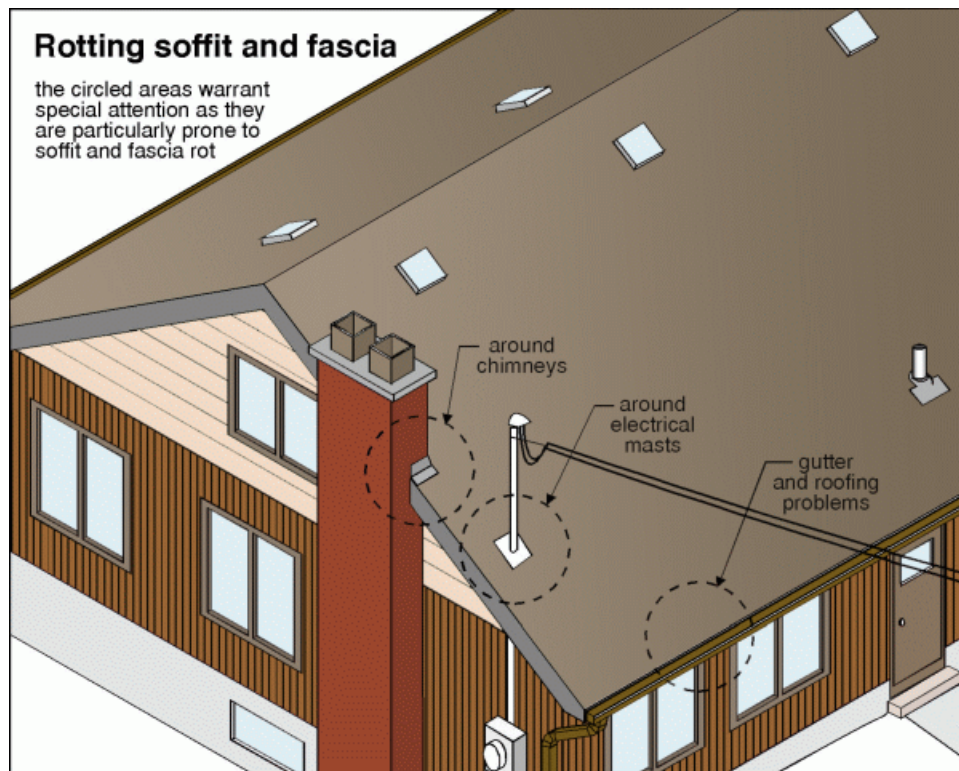
## Recommendations

### WALLS \ Soffits and fascia

**1. Condition:** • Loose or missing pieces

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Chance of pests entering building

**Location:** Right Side



# EXTERIOR

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*Loose or missing pieces*

## WALLS \ Brick, stone and concrete

### **2. Condition:** • Cracked

Step cracks in mortar joints

**Implication(s):** Chance of water entering building | Weakened structure | Chance of movement

**Location:** Front



*Cracked*

## PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Handrails and guards

### **3. Condition:** • Loose railing cap

**Location:** Front

## LANDSCAPING \ General

### **4. Condition:** • Planters and gardens against walls

**Implication(s):** Chance of water entering building | Chance of damage to structure | Chance of structural movement

**Location:** Right Side

# EXTERIOR

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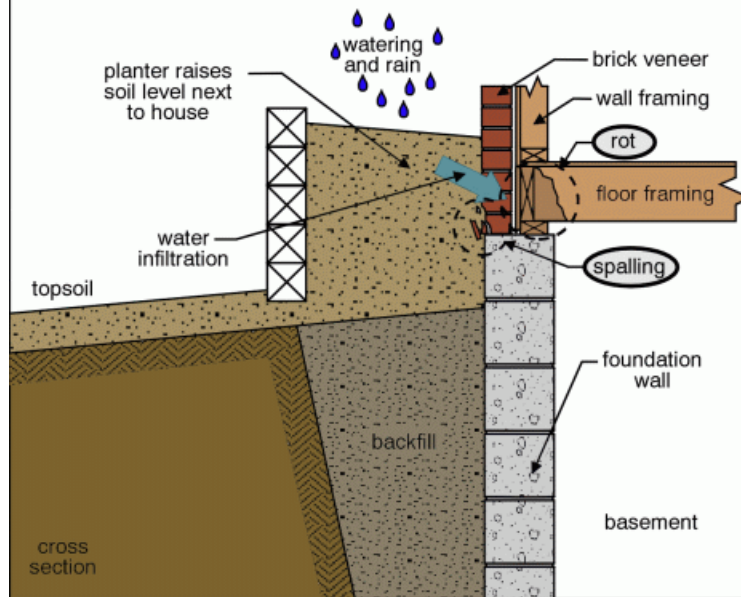
COOLING

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## Watch for planters or gardens against walls



*Planters and gardens against walls*



# STRUCTURE

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## Description

**Configuration:** • Basement

**Foundation material:** • Masonry block

**Floor construction:** • Joists

**Exterior wall construction:** • Wood frame / Brick veneer

**Roof and ceiling framing:** • Rafters

## Description

**Service entrance cable and location:** • Overhead aluminum

**Service size:** • 100 Amps (240 Volts)

**Main disconnect/service box rating:** • 150 Amps

**Main disconnect/service box type and location:**

• Breakers - basement

Basement



*Breakers - basement*

**System grounding material and type:** • Copper - water pipe

**Distribution wire material and type:** • Copper - non-metallic sheathed • Copper - metallic sheathed

**Type and number of outlets (receptacles):** • Grounded - upgraded

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • GFCI - bathroom • GFCI - kitchen • No AFCI

**Smoke detectors:** • None noted

**Carbon monoxide (CO) detectors:** • None noted

## Limitations

**System ground:** • Continuity not verified

## Recommendations

### DISTRIBUTION SYSTEM \ Outlets (receptacles)

**5. Condition:** • Ungrounded

**Implication(s):** Electric shock

**Location:** First Floor Living Room



*Ungrounded*

**6. Condition:** • Loose

**Implication(s):** Electric shock | Fire hazard

**Location:** Left Side Basement



*Loose*

**7. Condition:** • No GFCI/GFI (Ground Fault Circuit Interrupter)

Less then 6' from kitchen sink

**Implication(s):** Electric shock

**Location:** First Floor Kitchen

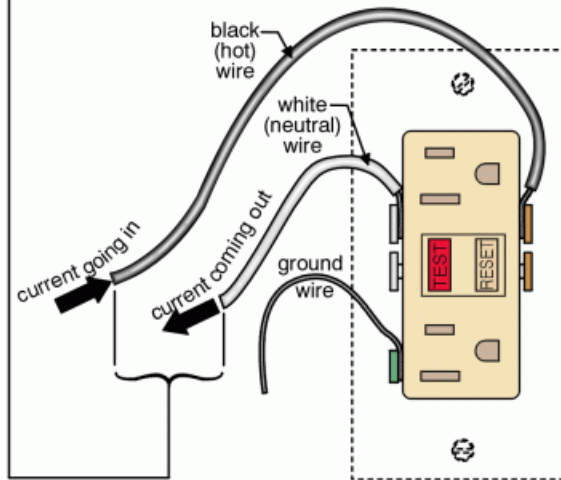
### Ground fault interrupter

the GFI circuitry within the outlet checks constantly for a difference between the current in the black and white wires

if there is a difference (even as little as 5 milliamps), there is a current leak (possibly through your body) and the GFI shuts down the receptacle and other receptacles downstream

**note:**

if the GFI is in the panel, the entire circuit will be shut down



No GFCI/GFI (Ground Fault Circuit...

### DISTRIBUTION SYSTEM \ Cover plates

8. Condition: • Missing

Implication(s): Electric shock

Location: Basement Utility Room





*Missing*

**9. Condition:** • Missing

**Implication(s):** Electric shock

**Location:** Basement



*Missing*

# HEATING

2222 Real , Arlington, VA May 8, 2017

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SUMMARY

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## Description

**System type:** • Furnace

**Fuel/energy source:** • Gas

**Heat distribution:** • Ducts and registers

**Approximate capacity:** • 80,000 BTU/hr

**Efficiency:** • High-efficiency

**Exhaust venting method:** • Direct vent

**Approximate age:** • 11 years

**Main fuel shut off at:** • Basement

**Chimney/vent:** • Masonry

**Chimney liner:** • Clay

**Combustion air source:** • Interior of building

## Limitations

**Safety devices:** • Not tested as part of a building inspection

**Heat loss calculations:** • Not done as part of a building inspection

**Heat exchanger:** • Not visible

## Recommendations

### GAS FURNACE \ Mid- and high-efficiency gas furnace

**10. Condition:** • Poor vent location, arrangement

Hi efficient gas furnace exhausting directly on air cooled AC unit

**Implication(s):** Equipment not operating properly | Equipment inoperative | Hazardous combustion products entering home

**Location:** Left Side Exterior

## Improper sidewall vent locations - mid- & high-efficiency furnaces

- numbers vary in some areas and circumstances
- check local rules

mid-efficiency:  
should be 4' below or  
beside doors, windows,  
or air inlets, and 1' above

high-efficiency:  
1' window clearance  
(3' if >100,000 BTU)

should be >2'  
below soffit

should be 3'  
from  
regulator

### other improper locations:

- should be 3' to 6' from  
combustion air inlet for  
other appliance
- should be 1' clearance  
under veranda, porch,  
deck or balcony
- shouldn't discharge at  
inside corner formed by  
two outside walls

should be >1'  
above grade

should be >7'  
above  
walkway



Poor vent location, arrangement

# COOLING & HEAT PUMP

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## Description

**Air conditioning type:** • Air cooled

**Manufacturer:** • American Standard

**Cooling capacity:** • 2.5 Tons

**Compressor type:** • Electric

**Compressor approximate age:** • 12 years

**Typical life expectancy:** • 10 to 15 years

**Refrigerant Type:** • R-22

## Limitations

**Inspection limited/prevented by:** • The AC unit could not be tested due to external temperatures. Temperatures must be above 65 degrees for the 24 hour period prior to the inspection to allow the AC to be turned without damaging the unit



# INSULATION AND VENTILATION

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## Description

**Attic/roof insulation material:** • Glass fiber • Cellulose

**Attic/roof insulation amount/value:** • R-20

**Attic/roof air/vapor barrier:** • None found

**Attic/roof ventilation:** • Soffit vent • Gable vent • Ridge vent • Power ventilator

## Limitations

**Air/vapor barrier system:** • Continuity not verified

**Mechanical ventilation effectiveness:** • Not verified

## Recommendations

### ATTIC/ROOF \ Insulation

**11. Condition:** • Gaps or voids

**Implication(s):** Increased heating and cooling costs | Reduced comfort

**Location:** Attic Throughout



*Gaps or voids*

**12. Condition:** • Gaps or voids

**Implication(s):** Increased heating and cooling costs | Reduced comfort

**Location:** Attic

# INSULATION AND VENTILATION

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*Gaps or voids*

# PLUMBING

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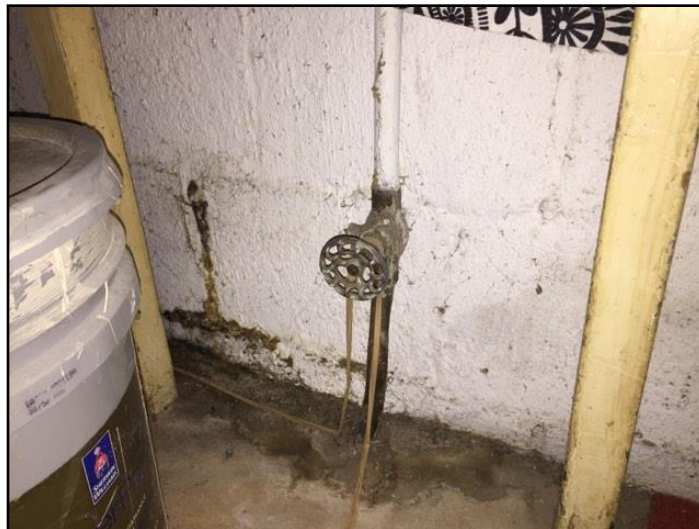
**Water supply source:** • Public

**Service piping into building:** • Copper

**Supply piping in building:** • Copper • CPVC (Chlorinated PolyVinylChloride)

**Main water shut off valve at the:**

• Basement



*Basement*

**Water flow and pressure:** • Typical for neighborhood

**Water heater type:** • Conventional • Tank

**Water heater fuel/energy source:** • Gas

**Tank capacity:** • 40 gallons

**Water heater approximate age:** • 23 years

**Typical life expectancy:** • 8 to 12 years

**Water heater failure probability:** • High

**Waste and vent piping in building:** • PVC plastic • Cast Iron

**Gas piping:** • Steel

## Limitations

**Items excluded from a building inspection:** • Isolating/relief valves & main shut-off valve • Concealed plumbing

# INTERIOR

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## Description

**Major floor finishes:** • Hardwood • Laminate • Ceramic

**Windows:** • Single/double hung • Sliders • Vinyl

**Glazing:** • Double

**Exterior doors - type/material:** • Solid wood

**Kitchen ventilation:** • Discharges to exterior

**Bathroom ventilation:** • Exhaust fan

**Laundry room ventilation:** • Clothes dryer vented to exterior

**Counters and cabinets:** • Inspected

## Limitations

**Not included as part of a building inspection:** • Cosmetic issues

## Recommendations

### CEILINGS \ General

**13. Condition:** • Cracks

**Implication(s):** Damage or physical injury due to falling materials

**Location:** First Floor Living Room



Cracks

### DOORS \ Hardware

**14. Condition:** • Inoperable

Broken storm door shock holder

**Implication(s):** System inoperative or difficult to operate

**Location:** First Floor Kitchen



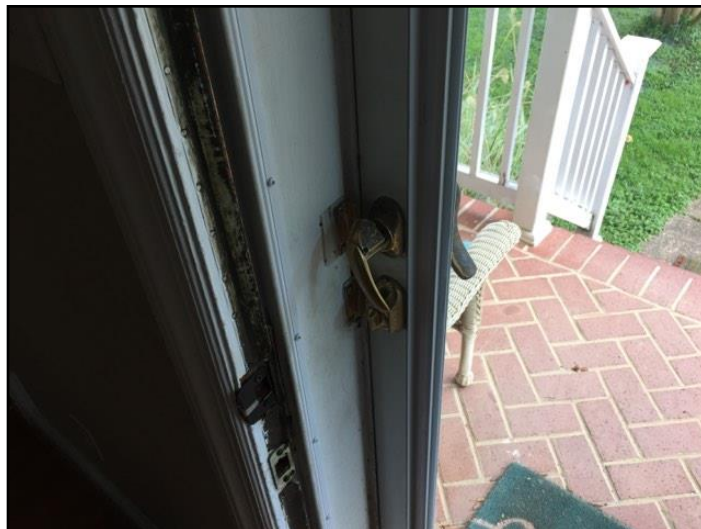


*Inoperable*

**15. Condition:** • Inoperable

**Implication(s):** System inoperative or difficult to operate

**Location:** First Floor Living Room



*Inoperable*

## STAIRS \ Handrails and guards

**16. Condition:** • Stair rails should have downward movement opening closed off to prevent snagging of clothes

**Location:** Kitchen

# INTERIOR

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**END OF REPORT**