



# YOUR INSPECTION REPORT

*Inspection, Education, Knowledge.*

PREPARED BY:  
ADAM HANNAN



FOR THE PROPERTY AT:  
245 Indian Grove  
Toronto, ON M6P 2H4

PREPARED FOR:  
GILLIAN RITCHIE

INSPECTION DATE:  
Friday, September 8, 2023

## TIP

THE  
INSPECTION  
PROFESSIONALS

THE INSPECTION PROFESSIONALS, INC.  
3120 Rutherford Rd.  
Concord, ON L4K 0B2

416-725-5568  
HST# 89249 4501 RT0001

[www.inspectionpros.ca](http://www.inspectionpros.ca)  
[adam@inspectionpros.ca](mailto:adam@inspectionpros.ca)



# TIP

**THE  
INSPECTION  
PROFESSIONALS**

September 12, 2023

Dear Gillian Ritchie,

RE: Report No. 7267, v.3  
245 Indian Grove  
Toronto, ON  
M6P 2H4

Thank you for choosing The Inspection Professionals to perform your Property Inspection. You can navigate the report by clicking the tabs at the top of each page. The Reference tab includes a 500-page Reference Library.

The Inspection Professionals (TIP) is a certified multi-inspector award-winning company founded by Adam Hannan. Since 2006, Adam has performed thousands of residential and commercial inspections and has become a respected expert in his field. Adam has a passion for education and has been an inspection instructor teaching at Community Colleges and Universities since 2009.

Adam is a member of the International Association of Certified Home Inspectors (CPI # NACHI07020704)

"We inspect every home as if we were buying it for ourselves. We care about our clients and we strive to exceed expectations. We offer a professional unbiased opinion of the current performance of the home regardless of who we are working for."

-Adam

#### BUYERS -

An Onsite Review is an essential component to a complete home inspection. In order to more thoroughly familiarize yourself with the property and our findings, please book an Onsite Review at your convenience by calling (416) 725-5568. Once we have completed the Onsite Review, we will transfer the inspection report to the buyer. The fee for this service is only \$295. A full phone report review is also available.

Sincerely,

ADAM HANNAN  
on behalf of  
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# SUMMARY

245 Indian Grove, Toronto, ON September 8, 2023

Report No. 7267, v.3

[www.inspectionpros.ca](http://www.inspectionpros.ca)

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## HIGHLIGHTS:

This solid century-old masonry home on stone foundations is in very good condition overall as compared to homes of similar age and style.

The home has undergone several professional renovations and updates in many areas which include various bathrooms and basement. The basement has been professionally finished and interior foundations are reported to have an interior water management system in place.

The electrical system features a 200-amp electrical service with copper wiring and substantially updated wiring throughout. The heating system features a premium high-efficient boiler with customized hydronic manifold distribution system.

As is typical for homes of this age, there is a mix of newer and older systems and components.

This Summary outlines some of the potentially short-term significant issues from a cost standpoint. This section is provided as a COURTESY ONLY and cannot be considered a substitute for reading the entire report. Please read the complete document.

It is not possible for a home inspector to predict the future. It would be advisable to annually budget between 0.5% to 1% of the value of the home for unforeseen repairs and maintenance. This would hold true for any house that you were considering.

Things will wear out, break down, and fail without warning. This is a fact of home ownership.

We adhere to the CAHPI Standards of Practice which can be viewed here:

CAHPI\_2012\_Standards\_of\_Practice\_verf-aug\_22\_final\_ver041519.pdf

NOTE: ALL ELECTRICAL ISSUES ARE CONSIDERED PRIORITY ITEMS

NOTE: FOR BALLPARK COSTS THE TERM 'MINOR' REFERS TO COSTS UNDER \$1000

NOTE: FOR DIRECTIONAL PURPOSES USED THROUGHOUT THE REPORT, THE "FRONT" OF THE HOUSE IS REFERENCED AS FACING THE FRONT DOOR FROM THE EXTERIOR.

During a home inspection we inspect all visible systems and components. There are literally hundreds of potential minor issues found in every home, new and old. The inspection is not a technical audit on every minor flaw or deficiency. A technical audit can be performed at an additional cost. The focus of this inspection was to identify MAJOR issues with major systems and components. To simplify and give you a better understanding of what is considered a major issue, the inspection can generally be categorized as follows:

- 1)OBSERVABLE STRUCTURAL DEFECTS
- 2)OBSERVABLE WATER LEAKAGE/DAMAGE Roof, Plumbing, and basement moisture intrusion.
- 3)OBSERVABLE ELECTRICAL DEFECTS
- 4)LIFESPAN SYSTEMS- Roof Covering, Heating System, Cooling System, Windows

Disclaimer / Note to prospective buyers: This inspection report was performed for our client(s) as named on the report.

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We take no responsibility or hold no liability until an onsite review is purchased by the buyer and an onsite review is performed by our company and our inspection agreement of limitations and liability are signed. By accepting the information in this report without our onsite review, you are waiving all rights.

For Ballpark costs of various home components, please click here:

<http://www.inspectionlibrary.com/costs.htm>

## Interior

### WINDOWS \ General notes

**Condition:** • We noted windows of varying ages. We typically recommend immediate replacement of older windows when inoperative or leaky windows are found. Replacement of old functioning windows are discretionary. At some point, you may wish to upgrade for ease-of-operation, cosmetics, and energy efficiency. Costs can vary widely and are approximately \$60 - \$100 per sq ft. installed.

\*\*\*A wide range of manufacture dates were noted ranging from 1990 to 1999 to unknown ages of old single hung windows.

**Location:** Various

**Task:** Upgrade

**Time:** As Needed / Discretionary

**Cost:** Major \$60 - \$100 per square foot

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a home inspection. These may have to be adjusted based on the findings of specialists.

<http://www.inspectionlibrary.com/wtgw.htm>



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## Descriptions

### Sloped roofing material:

- [Asphalt shingles](#)



1. Asphalt shingles



2. Asphalt shingles

**Approximate age:** • Last third of lifespan

**Typical life expectancy:** • 20-25 years

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • All Roofing issues have POTENTIAL worst-case implications such as damage to contents, structure and/or finishes.

### SLOPED ROOFING \ Asphalt shingles

**Condition:** • Aging

This type of asphalt shingle, often sold as a 25-year shingle will typically last around 18-20 years in Canadian climates. The current roof is nearing the end of its lifespan and is aging with typical wear - Minor cracks, granule loss, small tears and discoloration. Inspect annually and plan to replace within the next few years.

**Location:** Throughout Exterior Roof

**Task:** Inspect annually and Replace within next few years based on roofing contractor recommendation

**Cost:** Major when time to replace - consult specialist

## Inspection Methods and Limitations

**General:** • Most roofs are susceptible to ice damming under the right weather conditions. This is where ice forms at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather

**Inspection performed:** • With binoculars from the ground • With a drone

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## Descriptions

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout discharge: • [Above grade](#)

Lot slope: • [Away from building](#) • [Towards building](#) • [Flat](#)

Wall surfaces and trim: • [Vinyl siding](#)

Wall surfaces - masonry: • [Brick](#)

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • All Exterior issues have POTENTIAL worst-case implications such as damage to contents, structure and/or finishes, and personal safety.

### ROOF DRAINAGE \ Gutters

**Condition:** • Damage

Also loose fasteners in some areas

**Location:** Left Exterior

**Task:** Repair / Replace

**Time:** Less than 1 year

**Cost:** Regular maintenance item



3. Damage



4. loose fastener

**Condition:** • [Missing](#)

**Location:** Front Exterior Dormer (both sides)

**Task:** Provide gutters

**Time:** Less than 1 year

**Cost:** \$7-\$15 per linear foot (\$250 minimum)

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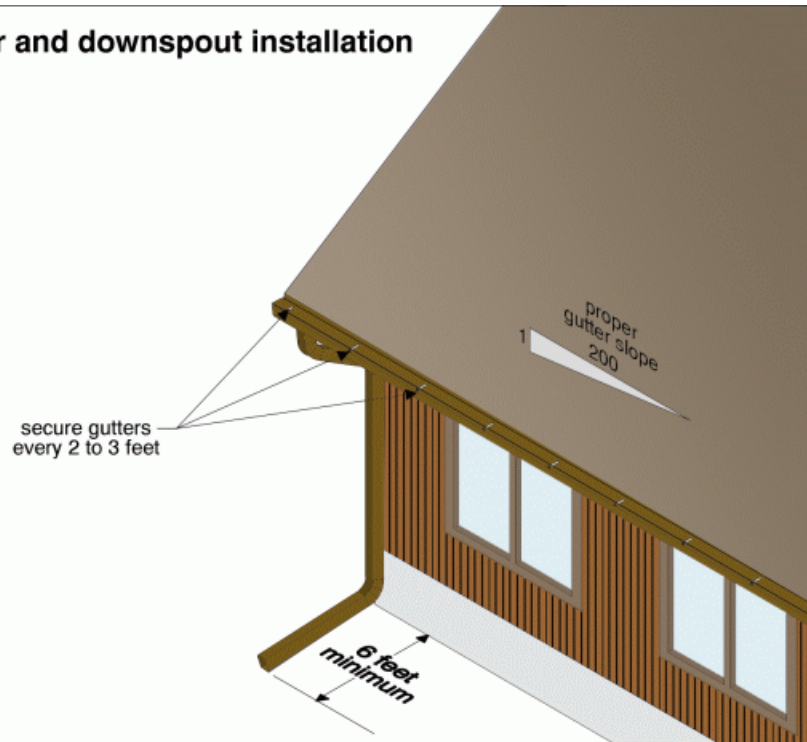
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## Gutter and downspout installation



5. Missing

### ROOF DRAINAGE \ Downspouts

**Condition:** • [Discharge too close to building](#)

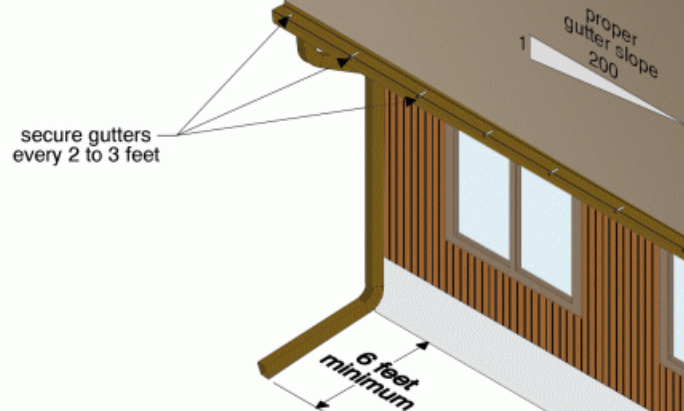
**Location:** Rear Right Exterior

**Task:** Improve

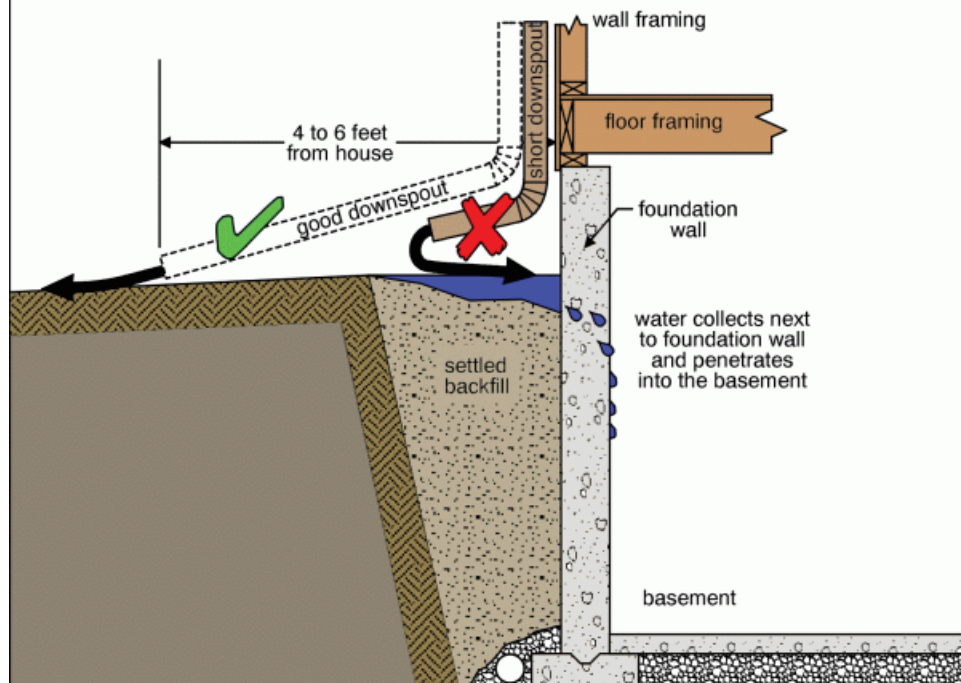
**Time:** Less than 1 year

**Cost:** Minor

## Gutter and downspout installation



## Downspout extension too short





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6. Discharge too close to building

## WALLS \ Flashings and caulking

**Condition:** • Caulking around windows, doors and wall penetrations should be checked regularly for deficiencies and improved as needed.

## WALLS \ Masonry (brick, stone) and concrete

**Condition:** • [Spalling](#)

A few localized spalled bricks were noted as is common with all older homes. Masonry will require routine maintenance from time to time.

**Location:** Various Exterior Columns/Walls

**Task:** Replace / Repair

**Time:** Regular maintenance

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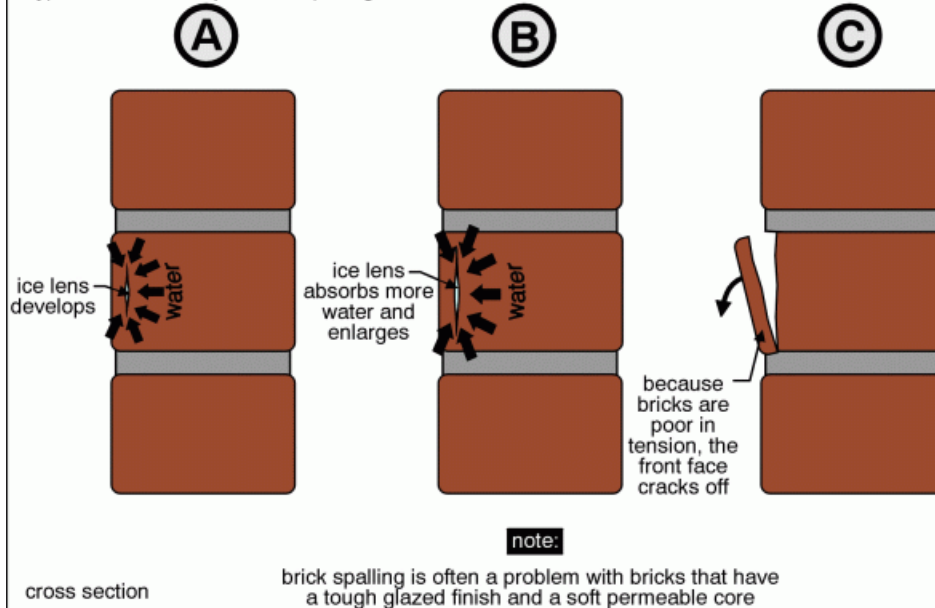
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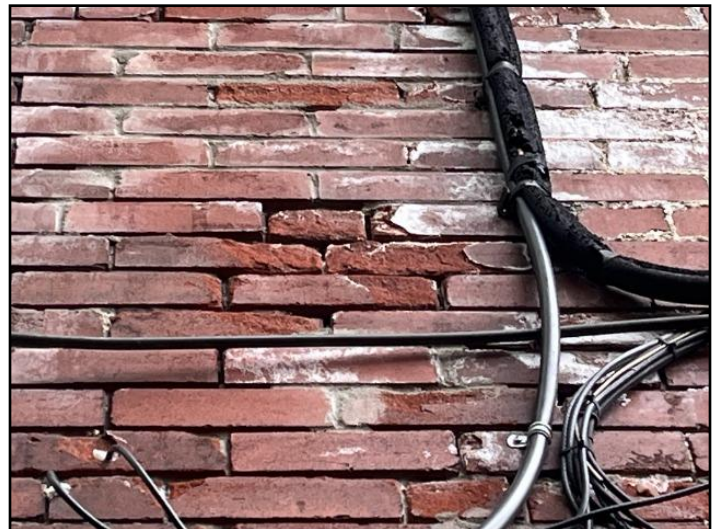
REFERENCE

## Freezing water spalls bricks

freezing temperatures, saturated brick and a susceptible type of brick are required for spalling to occur



7. example



8. Spalling example

Condition: • [Efflorescence](#)

Location: Right Exterior Wall

Task: Clean / Monitor



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9. Efflorescence

**Condition:** • Most masonry walls have small cracks due to shrinkage or minor settlement. These will not be individually noted in the report, unless leakage, building movement or similar problems are noted

## WINDOWS \ General notes

**Condition:** • Paint and Caulking - deteriorated / missing

**Location:** Right Exterior

**Task:** Improve

**Time:** Less than 1 year

**Cost:** Regular maintenance item



10. Paint and Caulking - deteriorated / missing



11. Paint and Caulking - deteriorated / missing

## EXTERIOR GLASS/WINDOWS \ Window well drains

**Condition:** • [Missing](#)

**Location:** Right Exterior

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**Task:** Monitor / Improve

**Time:** If necessary



12. Missing



13. Missing

## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General notes

**Condition:** • Routine maintenance or improvements required at porch components. Here is a sampling:

Porch guardrails are lower than modern standards. Upgrade when practical

Porch guardrail at right is slightly loose. Improve

**Location:** Front Exterior

**Task:** Improve

## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Floors

**Condition:** • Floor boards overhang not supported

**Location:** Rear Deck

**Task:** Improve

**Time:** As required



14.



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## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

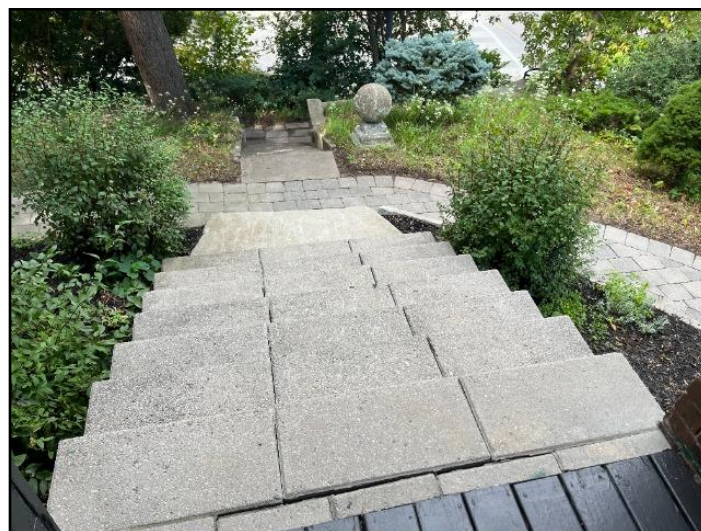
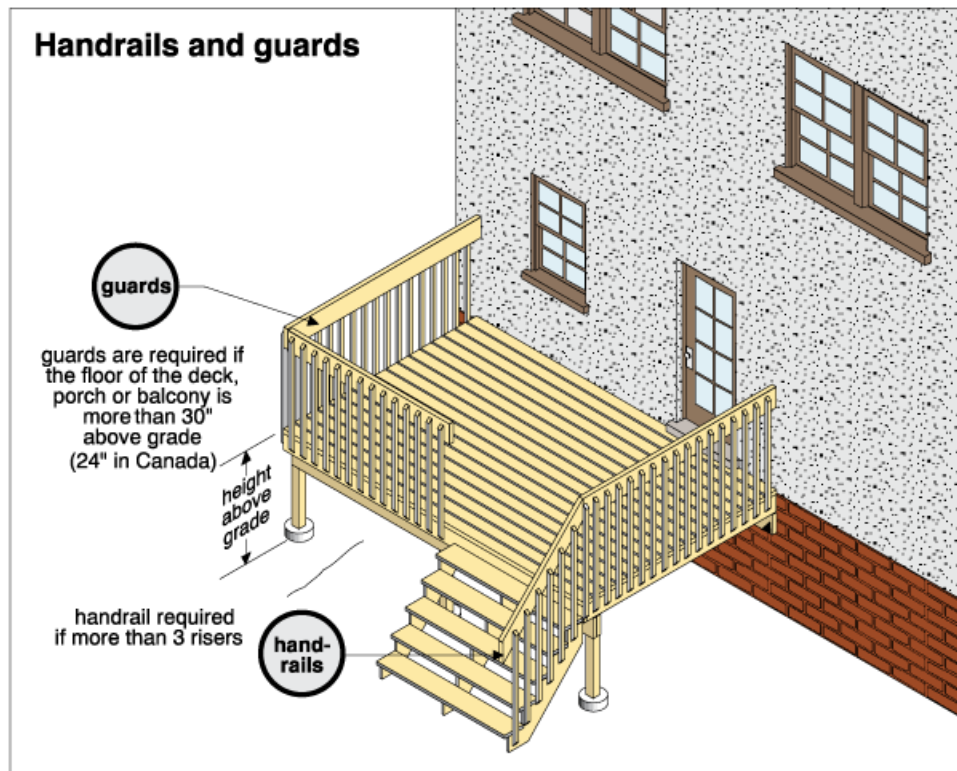
Condition: • [Missing](#)

Location: Front Exterior Staircase

Task: Provide

Time: Less than 1 year

Cost: Minor



15. Missing

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## Condition: • [Loose](#)

Railing fasteners on either side where attached to wall are loose or poorly fastened.

Opening at bottom is too large

Fall hazard.

**Location:** Second Floor Ensuite Bathroom

**Task:** Repair

**Time:** As Soon As Possible



16. Loose



17. opening at bottom too large

## Condition: • [Weak](#)

**Location:** Various Left Exterior Deck Railings

**Task:** Improve - Provide fasteners at bottom of balusters

**Time:** As Soon As Possible

**Cost:** Minor

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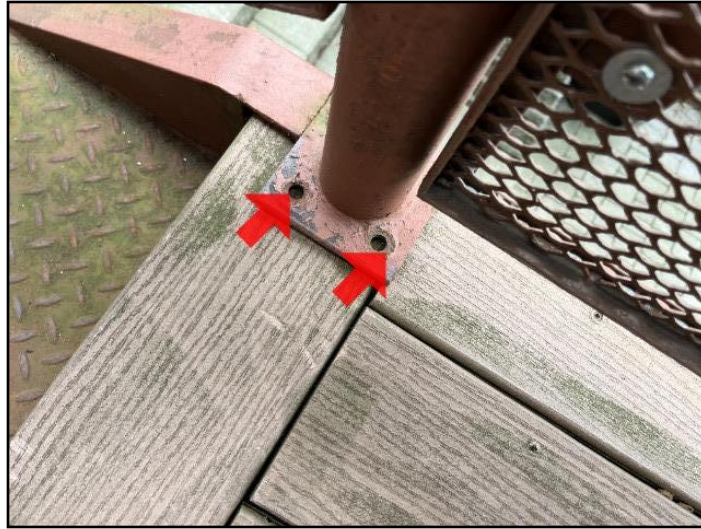
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18. example

## LANDSCAPING \ General notes

**Condition:** • Tree Branch Maintenance

Keep tree branches trimmed back 3 feet from roof line.

**Location:** Various Exterior

**Task:** Improve

**Time:** Ongoing

**Cost:** Regular maintenance item

## LANDSCAPING \ Lot grading

**Condition:** • During rainfall, walk the exterior to view if any water is draining towards the home. Improve these areas as needed

## Inspection Methods and Limitations

**Upper floors inspected from:** • Ground level

**Not included as part of a building inspection:** • Geological and soil conditions • Erosion control, earth stabilization measures



## Descriptions

**Configuration:** • [Basement](#)

**Foundation material:** • [Stone](#)

**Floor construction:** • [Joists](#)

**Exterior wall construction:** • [Masonry](#)

**Roof and ceiling framing:** • Not visible

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • All Structure issues have POTENTIAL worst-case implications such as damage to contents, structure and/or finishes, and personal safety.

### FOUNDATIONS \ General notes

**Condition:** • Typical Minor Cracks - Block, Brick, Stone

Almost all houses with concrete block, brick or stone foundations have minor settlement and/or cracks. Monitor all cracks for movement and nuisance water leakage. Repair cracks only if necessary

**Location:** Various Exterior Wall

**Task:** Monitor / Repair

**Time:** Ongoing / If necessary

### WALLS \ Solid masonry walls

**Condition:** • [Prior repairs](#)

It is common to find a multitude of wall repairs on homes of this age (including prior window removals or new door/window installations)

**Location:** Various Exterior

**Task:** For Your Information



19. example



# STRUCTURE

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## Condition: • [Mortar deteriorating](#)

Repointing / Tuck-Pointing of mortar required. This is COMMON MAINTENANCE for all homes of this age. Overall brick and mortar is in good condition. photos show a sampling

**Location:** Various Exterior Wall and Foundations

**Task:** Repair

**Time:** Ongoing

**Cost:** Regular maintenance item



20. example



21. example



22. example



23. example

## Inspection Methods and Limitations

**Inspection limited/prevented by:** • Finishes, insulation, furnishings and storage conceal structural components.

**Attic/roof space:**

- No access

The small area between the ceiling and roof cannot be viewed during an inspection

**Percent of foundation not visible:** • 95 %

## Descriptions

**Service entrance cable and location:** • [Overhead - cable type not determined](#)

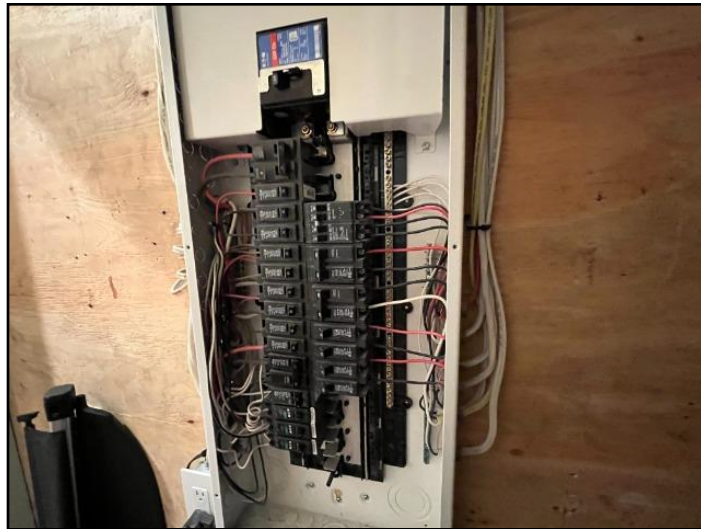
**Service size:** • [200 Amps \(240 Volts\)](#)

**Main disconnect/service box type and location:** • [Breakers - basement](#)

**System grounding material and type:** • [Copper - water pipe](#)

**Distribution panel type and location:**

• [Breakers - basement](#)



24. Breakers - basement

**Distribution panel rating:** • [200 Amps](#)

**Distribution wire (conductor) material and type:** • [Copper - non-metallic sheathed](#)

**Type and number of outlets (receptacles):** • [Grounded - upgraded](#)

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • [GFCI - bathroom and exterior](#)

**Smoke alarms (detectors):** • [Present](#) • Provide New

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • All electrical recommendations are safety issues. POTENTIAL worst-case implications are fire and shock hazards. Treat them as high priority items, and consider the time frame as Immediate, unless otherwise noted.

### SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers

**Condition:** • [No links for multi-wire circuits](#)

Possible missing links. Have electrician confirm if distribution lines (see photo) are multi-wire 240V circuits. Provide handle ties if necessary.

**Location:** Various Basement Panel

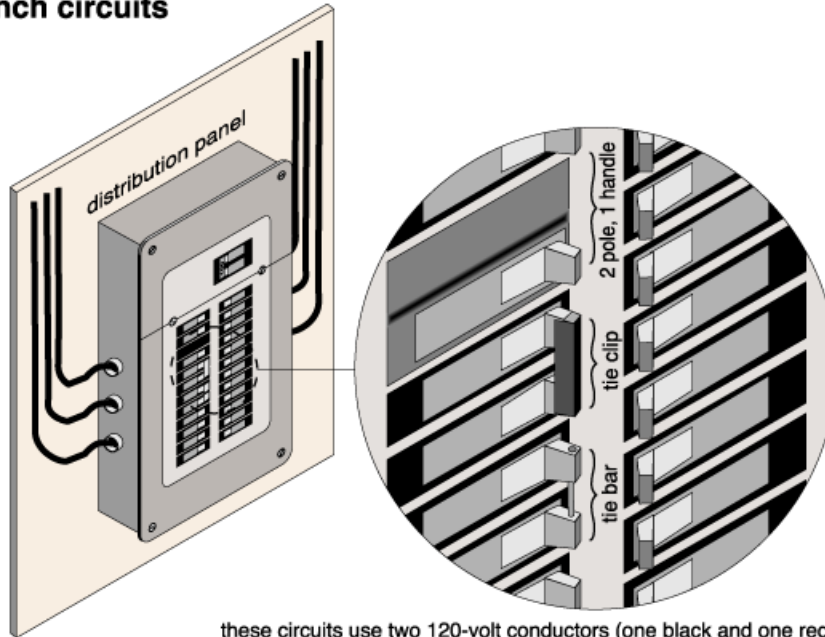
**Task:** Correct



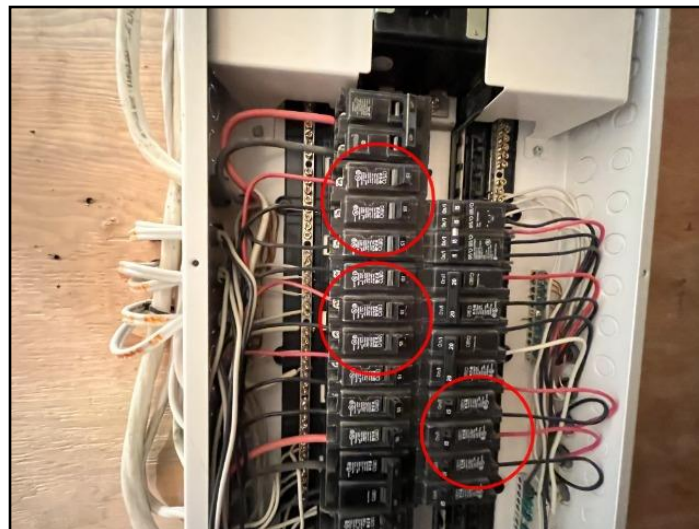
**Time:** Less than 1 year

**Cost:** Minor

## Special circuit breaker for 240-volt and multi-wire branch circuits



these circuits use two 120-volt conductors (one black and one red)  
we need to disconnect both to work on circuit safely  
these special breakers ensure both are turned off



25. No links for multi-wire circuits

## SERVICE BOX, GROUNDING AND PANEL \ Panel wires

**Condition:** • White wires connected to breakers not identified as hot/live/ungrounded  
White wire used as hot wire not marked

**Location:** Basement Panel



**Task:** Correct

**Time:** Less than 1 year

**Cost:** Minor



26. White wires connected to breakers not...

## DISTRIBUTION SYSTEM \ Outlets (receptacles)

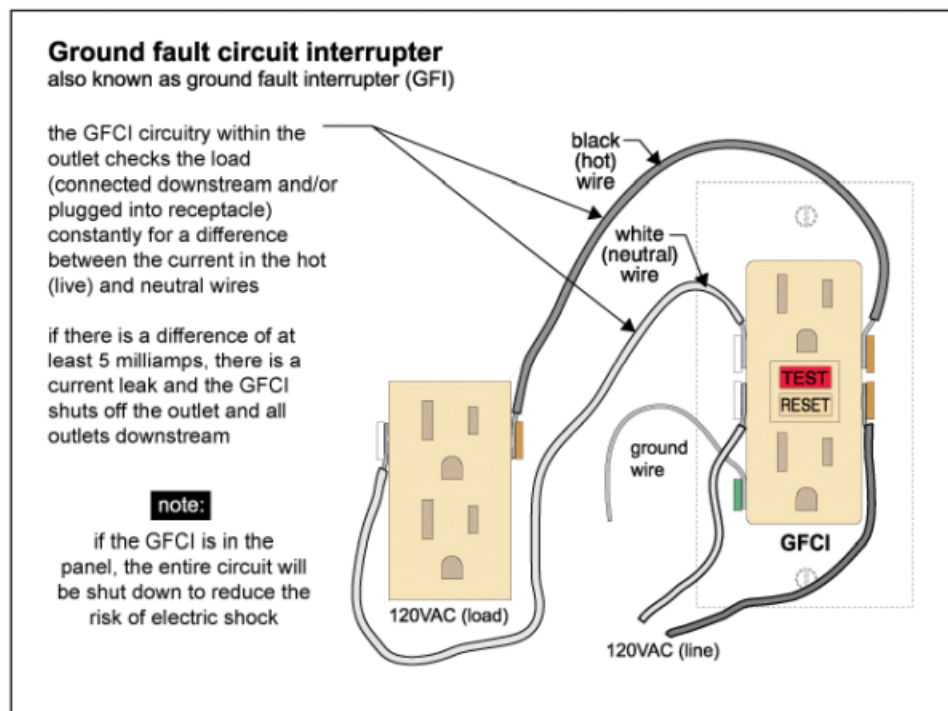
**Condition:** • [GFCI/GFI needed \(Ground Fault Circuit Interrupter\)](#)

**Location:** Rear Exterior Wall and First Floor Powder Room

**Task:** Replace

**Time:** As Soon As Possible

**Cost:** Minor



## DISTRIBUTION SYSTEM \ Lights

**Condition:** • [Damage](#)

**Location:** Left Exterior

**Task:** Replace

**Time:** As Soon As Possible

**Cost:** Minor



27. Damage

## DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

**Condition:** • Smoke and carbon monoxide (CO) detectors should be provided at every floor level of every home. Smoke detectors should be close to sleeping areas, and carbon monoxide detectors should be in any room with a wood-burning stove or fireplace. These devices are not tested as part of a home inspection. Once you take possession of the home, detectors should be tested regularly, and replaced every 10 years. If unsure of the age of a smoke detector, it should be replaced. Smoke detector batteries should be replaced annually.

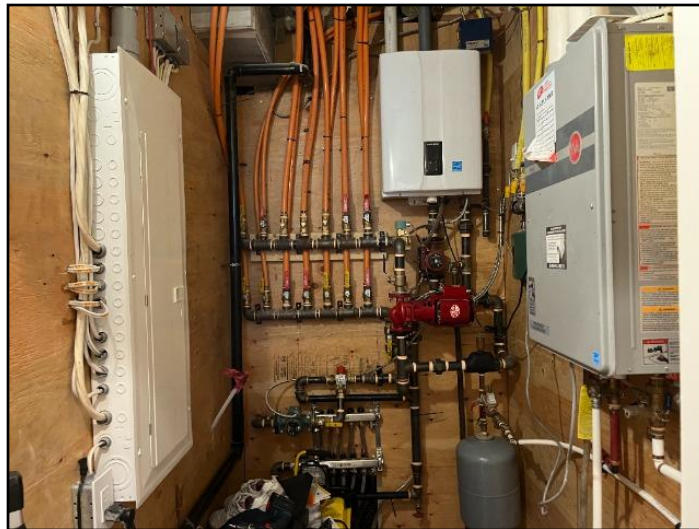
## Inspection Methods and Limitations

**General:** • The electrical system has been upgraded at some point. Knob and Tube wiring was the typical wiring used in homes built prior to 1950. We did not observe any knob and tube during our inspection and all the outlets we tested appeared grounded and in good working order. Sometimes remnants of knob and tube wiring is found during renovations. If found, remove during renovations.

**System ground:** • Quality of ground not determined

## Descriptions

**General:** • Premium boiler with professional custom installation manifolds of both hydronic hot water distribution to radiators and in floor heating.



28. Premium custom installation

**Heating system type:** • [Boiler](#)

**Fuel/energy source:** • [Gas](#)

**Heat distribution:** • [Radiators](#)

**Approximate capacity:** • 150,000 BTU/hr

**Efficiency:** • [High-efficiency](#)

**Approximate age:** • [3 years](#)

**Typical life expectancy:** • Boiler (high-efficiency condensing) 10 to 20 years

**Main fuel shut off at:** • Meter

**Fireplace/stove:** • [Gas fireplace](#)

## Observations and Recommendations

### RECOMMENDATIONS \ Overview

**Condition:** • No heating recommendations are offered as a result of this inspection.

**Condition:** • An annual maintenance program is recommended for heating and cooling systems to optimize safety, efficiency, comfort and durability.

### FIREPLACE \ Gas fireplace or gas logs

**Condition:** • A specialist should be engaged to inspect the gas fireplace prior to using the appliance. There are many manufacturers and many models of these units, with many different installation rules. We also recommend the gas fireplace be covered under a maintenance contract that includes regular service.

# HEATING

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## Inspection Methods and Limitations

**Safety devices:** • Not tested as part of a building inspection

**Heat loss calculations:** • Not done as part of a building inspection

**Heat exchanger:** • Not visible



# COOLING & HEAT PUMP

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## Descriptions

### Air conditioning type:

- [Air cooled](#)
- [Ductless \(Mini split\) system](#)

Two exterior condensers units attached to five interior evaporator units.

Of the five interior units, two can provide strictly air conditioning and three are heat pumps (can provide both air conditioning and heat)

### Cooling capacity:

- [18,000 BTU/hr](#)

Exterior Fujitsu unit

- [30,000 BTU/hr](#)

Exterior Mitsubishi heat pump unit

**Compressor approximate age:** • The exterior Fujitsu unit and two Fujitsu interior units are 2 years old (2021)  
The exterior Mitsubishi unit and three interior Mitsubishi units are 9 years old (2014)

**Typical life expectancy:** • 10 to 15 years

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • In general, air conditioning units have a lifespan of 10-15 years but often last longer with regular servicing.

### AIR CONDITIONING \ Refrigerant lines

**Condition:** • Refrigerant insulation deteriorating or missing in some areas.

**Location:** Right Exterior

**Task:** Provide

**Time:** During annual servicing



29. example

# COOLING & HEAT PUMP

245 Indian Grove, Toronto, ON September 8, 2023

Report No. 7267, v.3

[www.inspectionpros.ca](http://www.inspectionpros.ca)

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## Inspection Methods and Limitations

**Heat gain/loss calculations:** • Not done as part of a building inspection

# INSULATION AND VENTILATION

245 Indian Grove, Toronto, ON September 8, 2023

Report No. 7267, v.3

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## Descriptions

**Attic/roof insulation material:** • Not visible

**Attic/roof insulation amount/value:** • [Not visible](#)

**Attic/roof air/vapor barrier:** • [Not visible](#)

**Attic/roof ventilation:** • [Roof vent](#)

**Foundation wall insulation material:** • Sprayed Foam

## Observations and Recommendations

### RECOMMENDATIONS \ Overview

**Condition:** • No insulation recommendations are offered as a result of this inspection.

## Inspection Methods and Limitations

**Inspection limited/prevented by lack of access to:** • Walls, which were spot checked only

**Attic inspection performed:** • From access hatch

**Roof ventilation system performance:** • Not evaluated

**Air/vapor barrier system:** • Continuity not verified

## Descriptions

**General:** • Several components have been updated

**Service piping into building:** • [Not visible](#)

**Supply piping in building:** • [Copper](#) • PEX (cross-linked Polyethylene)

**Main water shut off valve at the:** • Front of the basement

**Water flow and pressure:** • [Typical for neighborhood](#)

**Water heater type:** • Tankless/On demand

**Water heater fuel/energy source:** • [Gas](#)

**Water heater tank capacity:** • Tankless / Instantaneous

**Water heater approximate age:** • 6 years

**Water heater typical life expectancy:** • 10 to 15 years

**Waste and vent piping in building:** • [Plastic](#)

**Pumps:** • [Solid waste pump \(ejector pump\)](#) • [Sump pump](#)

**Floor drain location:** • Near heating system

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • All Plumbing issues have POTENTIAL worst-case implications of water damage to contents, finishes and/or structure.

### WASTE PLUMBING \ Drain piping - performance

**Condition:** • Sewer backup insurance is recommended for ALL homes

Sewer backup can happen to any home. There are many potential causes and it is prudent for homeowners to have coverage for this.

**Condition:** • GENERAL RECOMMENDATION FOR ALL HOMES BUILT PRIOR TO 1975 - A videoscan of the waste plumbing is recommended to determine whether there are tree roots or other obstructions, and to look for damaged or collapsed pipe. This is common on older properties, especially where there are mature trees nearby. This is a great precautionary measure, although many homeowners wait until there are problems with the drains. The cost may be roughly \$200 to \$400, however many companies will rebate the cost if work is to be completed.

GENERAL RECOMMENDATION FOR ALL HOMES BUILT PRIOR TO 1970

### WASTE PLUMBING \ Sump pump

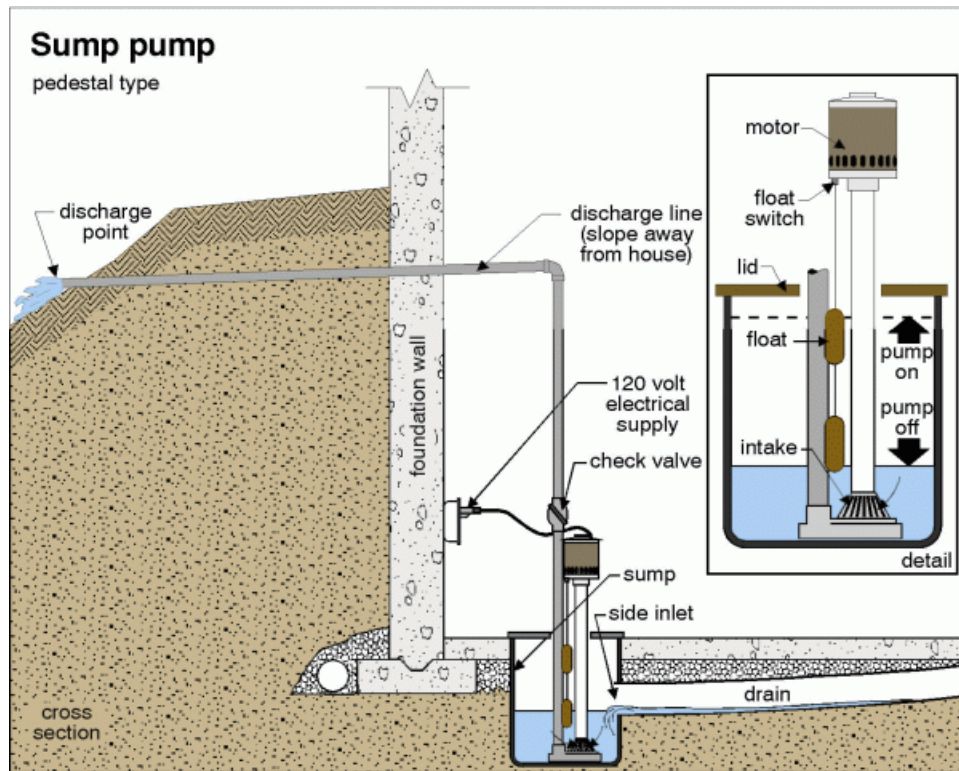
**Condition:** • [Discharges less than 6 feet from home](#)

**Location:** Right Exterior

**Task:** Correct

**Time:** Less than 1 year





30. Discharges less than 6 feet from home

## FIXTURES AND FAUCETS \ Faucet

**Condition:** • Lower than average pressure at kitchen faucet. Possible low flow fixture. Improve if desired.

**Location:** Kitchen

**Task:** Improve

**Time:** Discretionary

## FIXTURES AND FAUCETS \ Toilet

Condition: • [Loose](#)

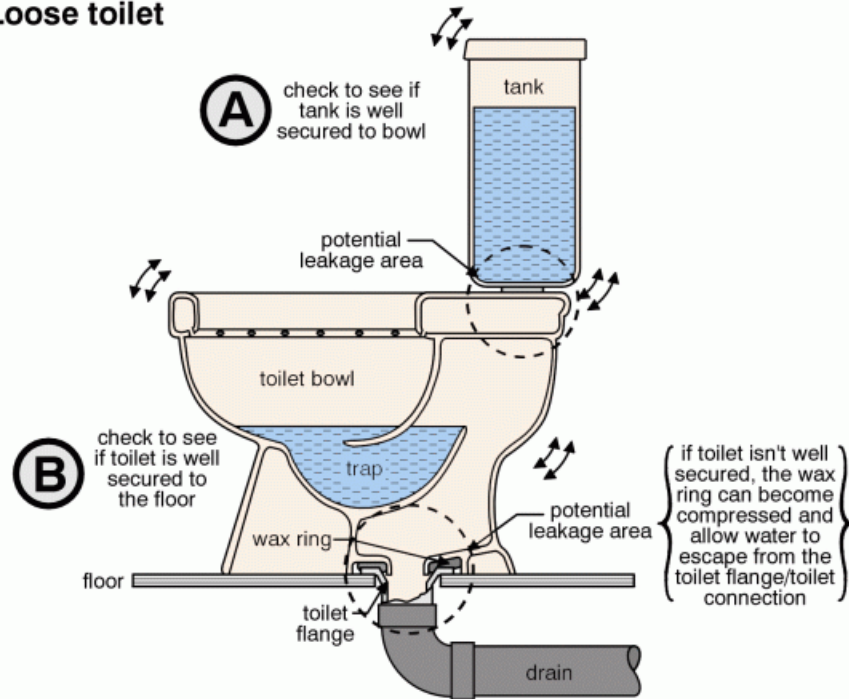
Location: First Floor Powder Room

Task: Correct

Time: As Soon As Possible

Cost: Regular maintenance item

### Loose toilet



## Inspection Methods and Limitations

**Items excluded from a building inspection:** • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Spa • Tub and basin overflows are not tested as part of a home inspection. Leakage at the overflows is a common problem.

## Descriptions

**General:** • Many interior components have been updated

**Major floor finishes:** • [Hardwood](#) • [Ceramic](#)

**Major wall and ceiling finishes:** • [Plaster/drywall](#)

**Windows:** • [Fixed](#) • [Single/double hung](#) • [Casement](#)

**Glazing:** • [Single](#) • [Double](#) • [Primary plus storm](#)

**Exterior doors - type/material:** • Hinged

## Observations and Recommendations

### RECOMMENDATIONS \ General

**Condition:** • All Interior issues have POTENTIAL worst-case implications such as damage to contents, structure and/or finishes, and personal safety.

**Condition:** • Typical minor flaws were noted on floors, walls and ceilings. These cosmetic issues reflect normal wear and tear

### CEILINGS \ General notes

**Condition:** • Water stains

Small stain. Tested with moisture meter and was dry.

**Location:** Second Floor Primary Bedroom

**Task:** For Your Information



31. Water stain



## WALLS \ Plaster or drywall

**Condition:** • [Water damage](#)

Small area is blistered. No stains present and area tested dry.

**Location:** Kitchen above above cabinet

**Task:** Repair

**Time:** As soon as practical



32. Water damage

## WINDOWS \ General notes

**Condition:** • Inoperative

**Location:** Various older single hung windows - Ensuite bedroom and bathroom, kitchen

**Task:** Repair / Replace

**Time:** As soon as practical

**Condition:** • We noted windows of varying ages. We typically recommend immediate replacement of older windows when inoperative or leaky windows are found. Replacement of old functioning windows are discretionary. At some point, you may wish to upgrade for ease-of-operation, cosmetics, and energy efficiency. Costs can vary widely and are approximately \$60 - \$100 per sq ft. installed.

\*\*\*A wide range of manufacture dates were noted ranging from 1990 to 1999 to unknown ages of old single hung windows.

**Location:** Various

**Task:** Upgrade

**Time:** As Needed / Discretionary

**Cost:** Major \$60 - \$100 per square foot

## WINDOWS \ Glass (glazing)

**Condition:** • [Lost seal on double or triple glazing](#)

**Location:** Second Floor Primary Bedroom

**Task:** Replace

**Time:** Discretionary

# INTERIOR

245 Indian Grove, Toronto, ON September 8, 2023

Report No. 7267, v.3

[www.inspectionpros.ca](http://www.inspectionpros.ca)

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**33.** *Lost seal on double or triple glazing*

## STAIRS \ Handrails and guards

**Condition:** • [Missing](#)

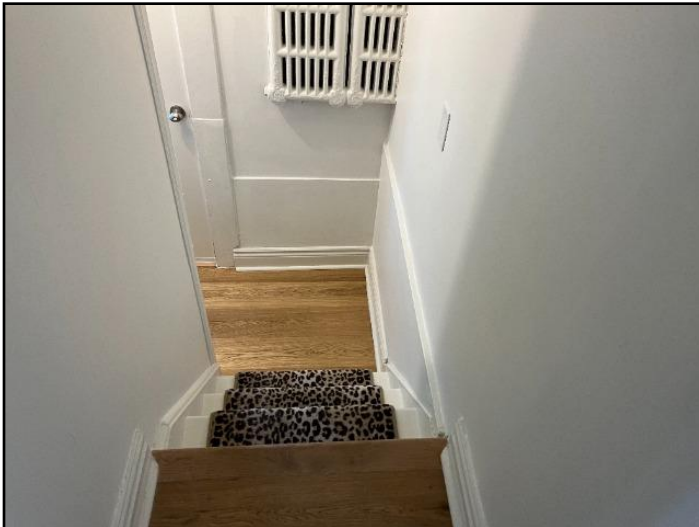
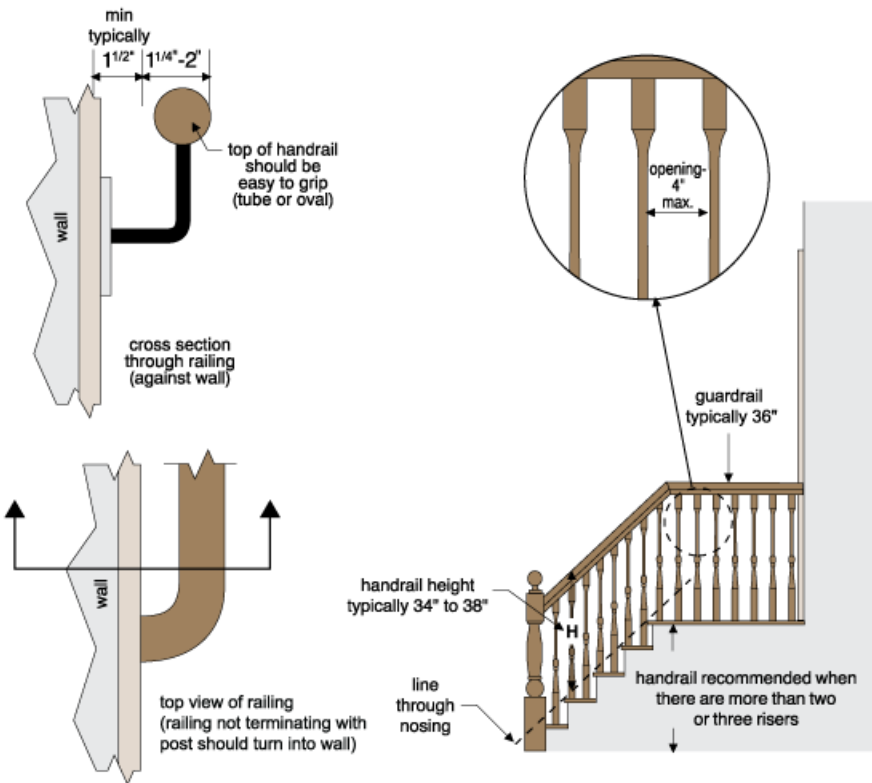
**Location:** Various Staircases

**Task:** Provide

**Time:** Less than 1 year

**Cost:** Minor

## Handrails and guards



34. Missing



35. Missing

## BASEMENT \ Leakage

**Condition:** • \*\*\*FOR FUTURE REFERENCE\*\*\* GENERAL ADVICE FOR ALL HOMES IF BASEMENT LEAKAGE IS EVER OBSERVED



Basement Leakage 4-step method. Almost every basement (and crawlspace) leaks under the right conditions. Based on a one-time visit, it is impossible to know how often or severe leaks may be. While we look for evidence of past leakage during our inspection, this is often not a good indicator of current conditions. Exterior conditions such as poorly performing gutters and downspouts, and ground sloping down toward the house often cause basement leakage problems. To summarize, wet basement issues can be addressed in 4 steps: 1. First, ensure gutters and downspouts carry roof run-off away from the home. (relatively low cost) 2. If problems persist, slope the ground (including walks, patios and driveways) to direct water away from the home. (Low cost if done by homeowner. Higher cost if done by contractor or if driveways, patios and expensive landscaping are disturbed.) 3. If the problem is not resolved and the foundation is poured concrete, seal any leaking cracks and form-tie holes from the inside. (A typical cost is \$500 to \$600 per crack or \$300 per hole.) 4. As a last resort, dampproof the exterior of the foundation, provide a drainage membrane and add/repair perimeter drainage tile. (High cost)

## **BASEMENT \ Wet basements - corrective action noted**

**Condition:** • [Drainage membrane](#)

Seller reported that water management system (dimple membrane) is present at interior foundation. This is a good preventative upgrade.

## **BASEMENT \ Wet basements - vulnerability**

**Condition:** • Typical of many homes with stone, brick, or block foundations, some moisture can be expected from time to time and is not unusual. Exterior grading and water management improvements are generally effective at reducing basement moisture. A dehumidifier can also be used to keep humidity levels down.

## Inspection Methods and Limitations

**General:** • Up until about 1985, Asbestos was used in a multitude of building materials including but not limited to: Insulation on hydronic piping, attic insulation, flooring and ceiling tiles, stucco / stipple ceilings, glue, insulation around heating ducts and registers, plaster and so on. Identification of asbestos is outside the scope of a home inspection. If you have concerns about asbestos, consult with a professional environmental company that specializes with asbestos lab testing. If you plan to remove/disturb any building material, testing for asbestos is recommended beforehand.

**Inspection limited/prevented by:** • Storage/furnishings • New finishes/paint • Storage in closets and cabinets / cupboards

**Not included as part of a building inspection:** • Carbon monoxide alarms (detectors), security systems, central vacuum • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any

**Cosmetics:** • No comment offered on cosmetic finishes

**Appliances:** • Appliances are not inspected as part of a building inspection • Appliances are not moved during an inspection

**Percent of foundation not visible:** • 95 %

**Basement leakage:** • Storage in basement limited inspection • Basement leakage is common. Most basements will experience leakage at some point. We cannot predict future occurrence or extent of basement leakage • Monitor the basement for leaks in the Spring.

## MORE INFO

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## Descriptions

**Roof Leaks:** • Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced.

**Annual Roof Maintenance:** • We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of your roof.

**Ice Dams on Roofs:** • [Most roofs are susceptible to ice dams under the right weather conditions. This is where ice forms](#) at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather.

**Maintaining the Exterior of Your Home:** • Regular maintenance includes painting and caulking of all exterior wood. • To manage water drainage around the exterior, ensure that grading (ground) is maintained with a positive slope away from the home and extend any downspouts away from walls and all building components. • To assist with water drainage around the home, extend any downspouts away from walls and all building components.

**Heating and Cooling System - Annual Maintenance:** • An annual maintenance agreement that covers parts and labour is recommended for all heating and cooling equipment. Humidifiers and electronic air cleaners should be included in the service agreement. The first service visit should be arranged as soon as possible, preferably before equipment is used. • For boiler/hot water systems, we recommend that any balancing or adjusting of radiator valves be performed by a specialist, due to the risk of leakage. Heating system valves are not operated during a home inspection.

**Reduce Air Leaks:** • Insulation is not effective if air (and the heat that goes with it) can escape from the home. Caulking and weather-stripping help control air leakage, improving comfort while reducing energy consumption and costs. Air leakage control improvements are inexpensive and provide a high return on investment.

**Bathtub and Shower Maintenance:** • Caulking and grout in bathtubs and showers should be checked every six months and improved as necessary to prevent leakage and damage behind wall surfaces.

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**This is a copy of our home inspection contract and outlines the terms,  
limitations and conditions of the home inspection**

THIS CONTRACT LIMITS THE LIABILITY OF THE HOME INSPECTION COMPANY AND INSPECTOR.

PLEASE READ CAREFULLY BEFORE SIGNING.

The Inspection of this property is subject to the Limitations and Conditions set out in this Agreement. It is based on a visual examination of the readily accessible features of the building. The Inspection is performed in accordance with the Standards of Practice of the Ontario Association of Home Inspectors. A copy of these Standards is available at <http://www.oahi.com/webdocs/StandardsofPractice-OAHI-Rev.pdf>.

The Home Inspector's report is an opinion of the present condition of the property. The Inspection and report are not a guarantee, warranty or an insurance policy with regards to the property. A Home Inspector cannot predict future deficiencies, intermittent problems or future water leakage.

PLEASE READ THE FOLLOWING PARAGRAPH: Due to the unpredictable nature of basement water leakage, a home inspector cannot predict future basement leakage. Almost all basements will leak at some point so there is a very good chance that it will happen. Basement leakage can occur for any number of reasons - Rainfall, sewer backup, high water tables, lot grading, clogged weeping tiles, gutter and downspout performance, just to name a few. The home inspector and The Inspection Professionals accepts no responsibility or liability for future basement water problems.

The inspection report is for the exclusive use of the client named above. No use of the information by any other party is intended. See item 8 below.

**LIMITATIONS AND CONDITIONS OF THE HOME INSPECTION**

These Limitations and Conditions explain the scope of your Home Inspection. Please read them carefully before signing this Agreement.

The purpose of your Home Inspection is to evaluate the general condition of a property. This includes determining whether systems are still performing their intended functions.

There are limitations to the scope of this Inspection. It provides a general overview of the more obvious repairs that may be needed. It is not intended to be an exhaustive list. The ultimate decision of what to repair or replace is yours. One homeowner may decide that certain conditions require repair or replacement, while another will not.

1. The Home Inspection provides you with a basic overview of the condition of the property. Because your Home Inspector has only a limited amount of time to go through the property, the Inspection is not technically exhaustive. If you have concerns about any of the conditions noted, please consult the text that is referenced in the report.



Some conditions noted, such as foundation cracks or other signs of settling in a house, may either be cosmetic or may indicate a potential structural problem that is beyond the scope of the Home Inspection.

If you are concerned about any conditions noted in the report, we strongly recommend that you consult a qualified licensed contractor or engineering specialist. These professionals can provide a more detailed analysis of any conditions noted in the report at an additional cost.

2. A Home Inspection does not include identifying defects that are hidden behind walls, floors or ceilings. This includes wiring, structure, plumbing and insulation that is hidden or inaccessible.

Some intermittent conditions may not be obvious on a Home Inspection because they only happen under certain circumstances. As an example, your Home Inspector may not discover leaks that occur only during certain weather conditions or when a specific tap or appliance is being used in everyday life.

Home Inspectors will not find conditions that may only be visible when storage or furniture is moved. Inspectors do not remove wall coverings, including wallpaper, or lift flooring, including carpet to look underneath.

A Home Inspection is a sampling exercise with respect to house components that are numerous, such as bricks, windows and electrical receptacles. As a result, some conditions that are visible may go un-reported.

3. The Inspection does not include hazardous materials that may be in or behind the walls, floors or ceilings of the property, whether visible or not. This includes building materials that are now suspected of posing a risk to health such as phenol-formaldehyde and urea-formaldehyde based products, fiberglass insulation and vermiculite insulation. The Inspector does not identify asbestos roofing, siding, wall, ceiling or floor finishes, insulation or fire proofing. We do not look for lead or other toxic metals in such things as pipes, paint or window coverings.

The Inspection does not deal with environmental hazards such as the past use of insecticides, fungicides, herbicide's or pesticides. The Inspector does not look for, or comment on, the past use of chemical termite treatments in or around the property.

4. We are not responsible for and do not comment on the quality of air in a building. The Inspector does not try to determine if there are irritants, pollutants, contaminants, or toxic materials in or around the building. The Inspection does not include spores, fungus, mold or mildew including that which may be concealed behind walls or under floors, for example. You should note that whenever there is water damage, there is a possibility that visible or concealed mold or mildew may be present unseen behind a wall, floor or ceiling.

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If anyone in the home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens.

5. Your Home Inspector does not look for, and is not responsible for, fuel oil, septic or gasoline tanks that may be buried on the property. If fuel oil or other storage tanks remain on the property, you may be responsible for their removal and the safe disposal of any contaminated soil. If you suspect there is a buried tank, we strongly recommend that you retain a qualified Environmental Consultant to determine whether this is a potential problem.

6. We will have no liability for any claim or complaint if conditions have been disturbed, altered, repaired, replaced, or otherwise changed before we have had a reasonable period of time to investigate.

7. The Client understands and agrees to be bound by each and every provision of this contract. The Client has the authority to bind any other family members or other interested parties to this Contract.

8. REPORT IS FOR OUR CLIENT ONLY. The inspection report is for the exclusive use of the client named herein. The client may provide the report to prospective buyers, at their own discretion. Potential buyers are required to obtain their own Onsite Review with The Inspection Professionals if they intend to rely on this report. The Inspection Professionals will not be responsible for the use of or reliance upon this Report by any third party without an Onsite Review and transfer of report to client after they have agreed to our inspection agreement.

9. The liability of the Home Inspector (and the Home Inspection Company) arising out of this Inspection and Report, for any cause of action whatsoever, whether in contract or in negligence, is limited to a refund of the fees that you have been charged for this inspection

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS