



Your Inspection Report

123 Sell My House Court
Louisville, KY 40204

PREPARED FOR:
GRETA TOPDOLLAR

INSPECTION DATE:
Tuesday, June 5, 2018

PREPARED BY:
Gary Witt



Louisville Home Inspections, LLC
241 Cr-1580D-10
Shepherdsville, KY 40165

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www.louisvillehomeinspect.com
gwitt@louisvillehomeinspect.com



June 11, 2018

Dear Greta Topdollar,

RE: Report No. 1068, v.4
123 Sell My House Court
Louisville, KY
40204

Thank you for choosing Louisville Home Inspections to perform your home inspection. We trust the experience was both helpful and enjoyable.

The purpose of a Pre-Listing home inspection is to recommend any repairs or corrections needed before putting your house on the market. We know many things a potential buyer's inspector may notice. Correcting these issues beforehand will help the transaction go smoother.

Please feel free to contact us with questions about the report or the home itself at any time. Our telephone consulting service is available at no cost to you for as long as you own the home.

Please visit our website at your convenience - www.louisvillehomeinspect.com

Thanks again for allowing us to work with you.

Sincerely,

Gary Witt
on behalf of
Louisville Home Inspections, LLC

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SUMMARY

123 Sell My House Court, Louisville, KY June 5, 2018

Report No. 1068, v.4

www.louisvillehomeinspect.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

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COOLING

INSULATION

PLUMBING

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This Summary outlines potentially significant issues from a cost or safety standpoint. We feel these items should be considered when determining the value of the property.

This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Exterior

EXTERIOR GLASS/WINDOWS \ Glass (glazing)

Condition: • [Cracked](#)

Rear porch window was cracked

Task: Replace cracked glass

Cooling & Heat Pump

AIR CONDITIONING \ Condensate system

Condition: • [Pan leaking](#)

Water was noted on the furnace beneath the A-coil and water was noted on the floor. This may indicate a leak or clogged condensate drain line.

Implication(s): Chance of water damage to contents, finishes and/or structure | Damage to equipment

Task: Have evaluate by a qualified HVAC serviceman

THIS CONCLUDES THE SUMMARY SECTION

The remainder of the report describes each of the home's systems which we divided into Roofing, Exterior, Structure, Electrical, Heating, Cooling, Insulation, Plumbing, and Interior. Within each of the home systems we detail each in three sections called "Descriptions", "Limitations", and "Recommendations". The most important part of the report is the Recommendations section. It is here that we identify any defects and suggest a corrective course of action.

As you read the report, we encourage you to contact us with any questions about the report or the home.

[Home Improvement - ballpark costs](#)

ROOFING

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General: • The home orientation used in this report, Left, Right, Front, Rear, is referenced as viewing the house from the street.

General: • Home buyers want to know the age of the roof. Give them that information if you know it, whether the roof is older or newer, this will allow the buyer to plan for the future.

Sloped roofing material:

- [Asphalt shingles](#)



1. Asphalt shingles



2. Asphalt shingles

Sloped roof flashing material: • Aluminum

Approximate age: • 13 years

Limitations

Inspection performed: • With high zoom camera

Inspection performed: • By walking on roof

Age determined by: • Reported by seller

Recommendations

SLOPED ROOFING \ Asphalt shingles

1. **Condition:** • [Exposed fasteners](#)

Several roofing nails were exposed

Implication(s): Chance of water damage to contents, finishes and/or structure

Task: Cover nail heads with a dab of roofing tar or caulk

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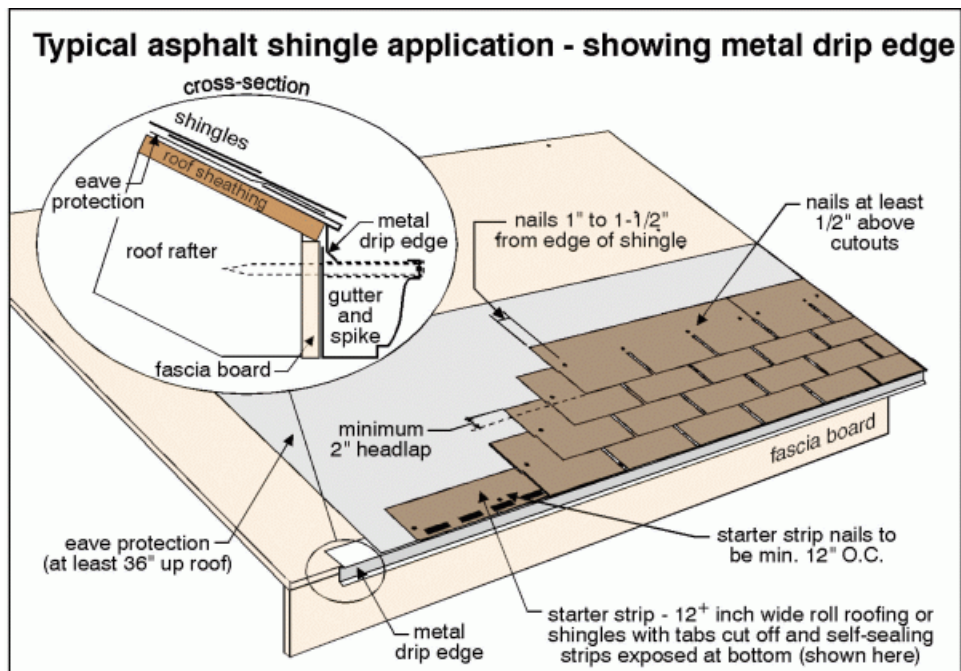
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3. Exposed fasteners



4. Exposed fasteners

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Description

General: • One of the most common items a home inspector will check when inspecting the exterior of the home will be the homes drainage. It is critical the home has a functional gutter and downspout systems along with site drainage capable to adequately direct water away from the house's foundation. The inspector will look for vegetation growing against the house as well. Pruning any shrubs or trees so they don't touch the siding is recommended. Also, watch for trip hazards in the walkways, such as large cracks or steps that are too tall or too low. Check that any guardrails and handrails are secure.

Gutter & downspout material: • [Aluminum](#)

Downspout discharge: • [Above grade](#)

Lot slope: • [Away from building](#)

Soffit and fascia: • Vinyl soffit and aluminum fascia

Wall surfaces and trim: • [Brick](#)

Driveway: • Concrete

Porch: • Concrete

Exterior steps: • Concrete

Limitations

Inspection limited/prevented by: • Car/storage in garage

Recommendations

ROOF DRAINAGE \ Downspouts

2. Condition: • [Discharge too close to building](#)

Soil/gravel wash-out beneath splash block noted

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Rear right side of house

Task: Adjust splash block and add fill dirt as needed to divert drainage further away from the house

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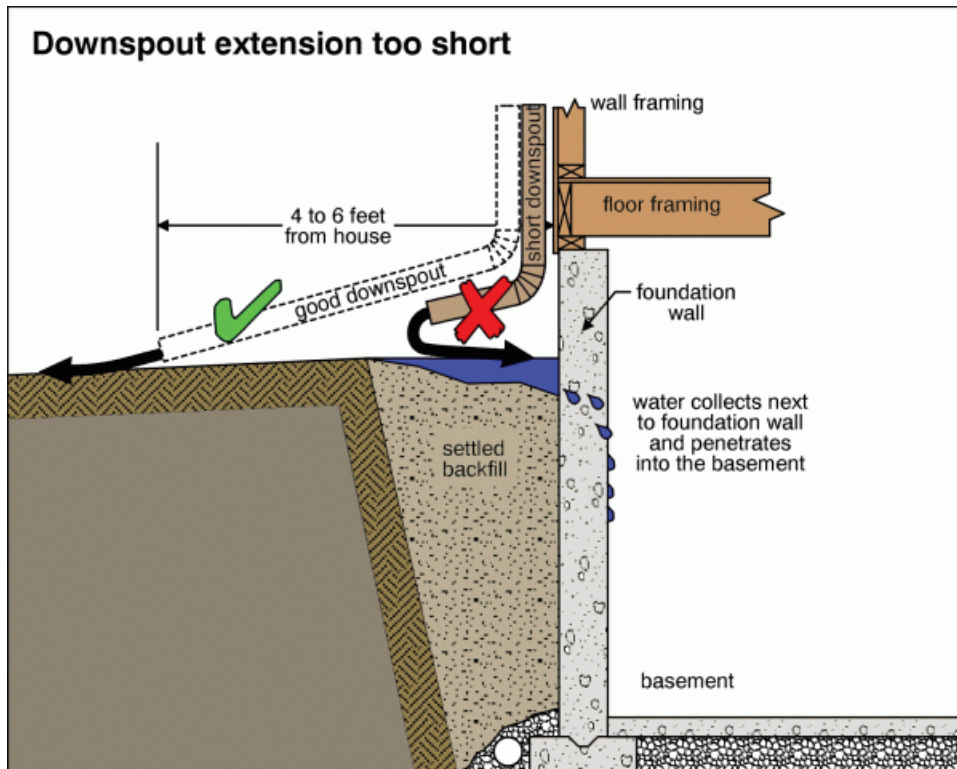
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5. Wash-out beneath splash block

EXTERIOR GLASS/WINDOWS \ Glass (glazing)

3. Condition: • [Cracked](#)

Rear porch window was cracked

Task: Replace cracked glass

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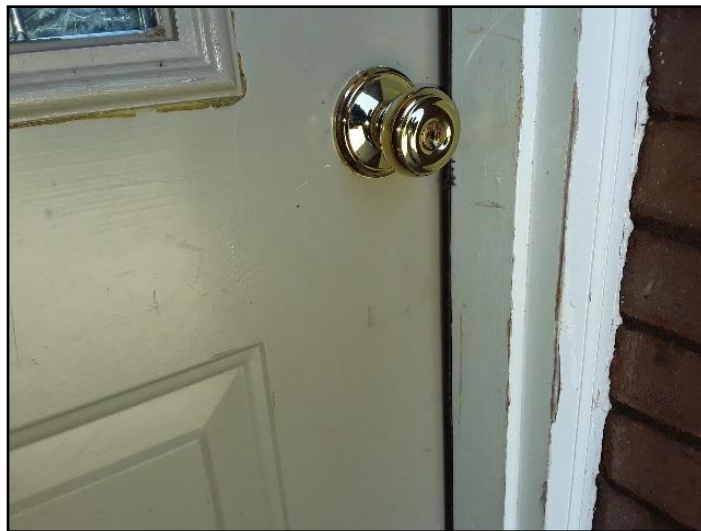
6. Cracked window

DOORS \ Exterior trim

4. Condition: • [Paint or stain needed](#)

Small paint chips were noted on the front door and trim. A fresh coat of paint on the front door will help make a good first impression.

Task: Paint door and trim as needed



7. Paint or stain needed

LANDSCAPING \ General

5. Condition: • [Trees or shrubs too close to building](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Chance of pests entering building | Material deterioration

Location: Rear and right side of house

Task: Trim back shrubs from house

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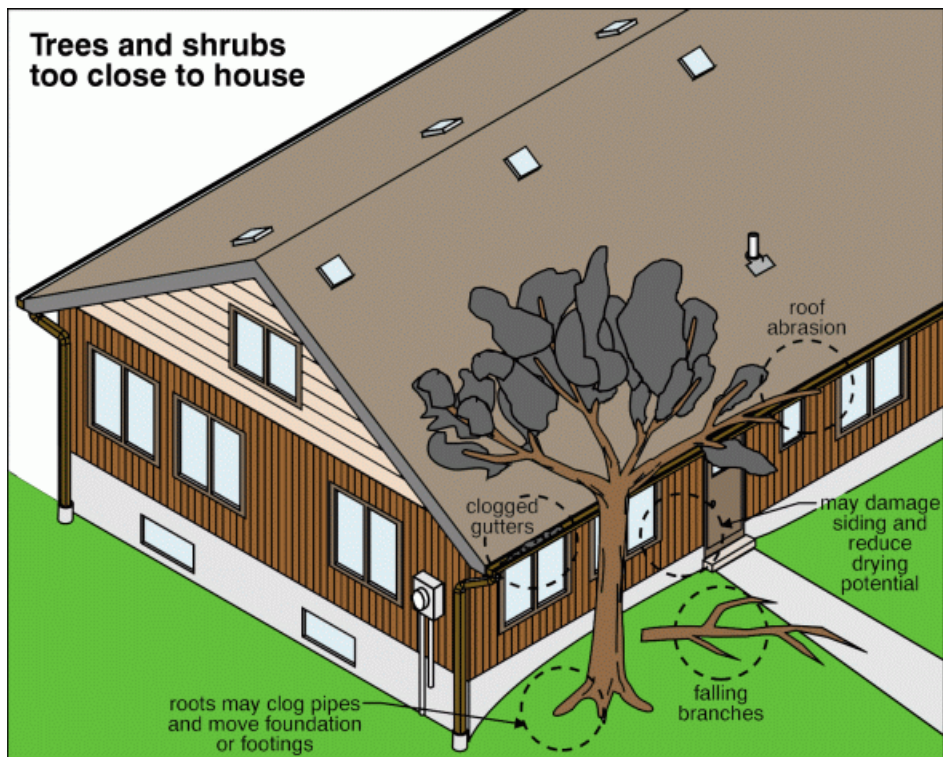
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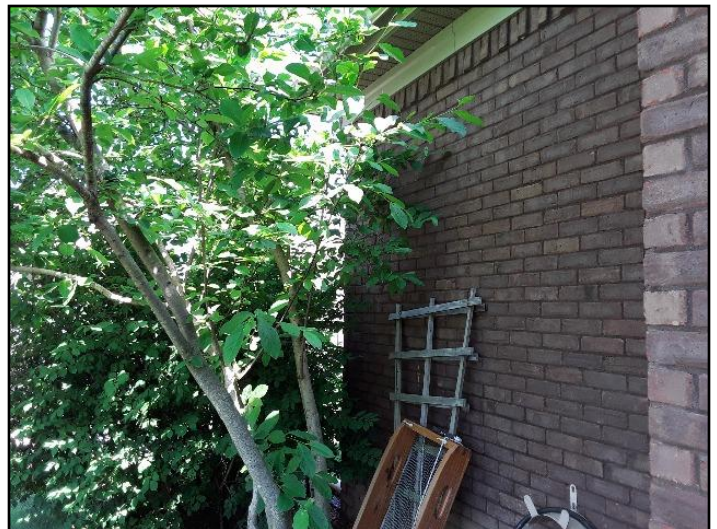
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8. Trees or shrubs too close to building



9. Trees or shrubs too close to building

GARAGE \ Vehicle doors

6. Condition: • Damage

Torn door weather strip

Location: Garage vehicle door

Task: Replace weather strip

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10. *Damaged weather strip*

STRUCTURE

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Description

Configuration: • [Basement](#)

Foundation material: • [Poured concrete](#)

Floor construction: • [Joists](#)

Exterior wall construction: • Not visible

Roof and ceiling framing: • Joists, rafters, and collar ties

Limitations

Inspection limited/prevented by: • Ceiling, wall and floor coverings

Attic/roof space: • Entered but access was limited

Percent of foundation not visible: • 70 %

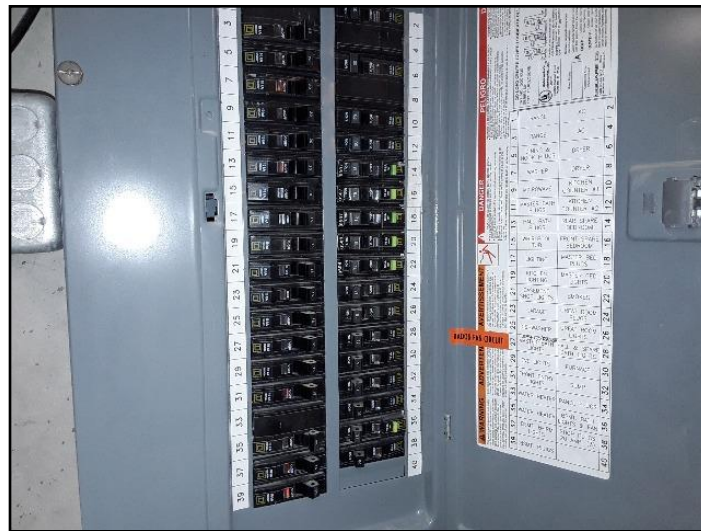
Description

General: • In preparation for a electrical system inspection, make sure there is access to the panel box. There should be 3 feet of clear space in front of the box. Relocated storage items if present. The house will be expected to have GFCI (Ground Fault Circuit Interrupter) outlets in the kitchen and baths at the minimum. GFCI's may be recommended outside and in the garage and within 6' from a water source (such as a laundry sink). Make sure you are not using extension cords for permanent wiring. This includes the power to your garage door opener. Smoke detectors are required on every floor level and all bedrooms. CO detector are required if the house has gas appliances or an attached garage.

Service entrance cable and location: • [Underground aluminum](#)

Service size: • [200 Amps \(240 Volts\)](#)

Main disconnect/service box type and location: • Breakers - Basement wall



11. Breakers - Basement wall

Distribution wire material and type: • [Copper - non-metallic sheathed](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom and exterior](#) • [GFCI - kitchen](#)

Smoke detectors: • Present in all sleeping areas • Smoke detector were not tested • Present on each habitable floor level

Carbon monoxide (CO) detectors: • None noted

Limitations

System ground: • Quality of ground not determined

Circuit labels: • The accuracy of the circuit index (labels) was not verified.

Recommendations

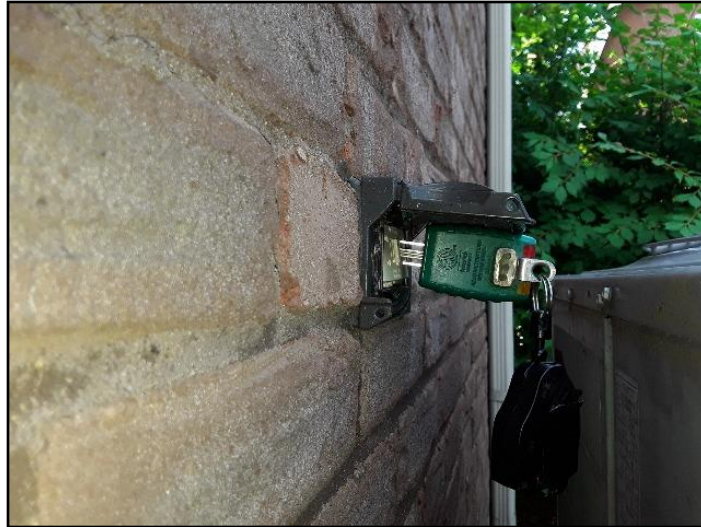
DISTRIBUTION SYSTEM \ Outlets (receptacles)

7. Condition: • [Damage](#)

Receptacle installed incorrectly in the outlet box making it unusable.

Location: Exterior GFCI by A/C unit

Task: Repair or replace receptacle



12. Damage

8. Condition: • [Inoperative](#)

Implication(s): Equipment inoperative

Location: Front side of garage exterior

Task: Repair or replace



13. Inoperative

DISTRIBUTION SYSTEM \ Smoke detectors

9. Condition: • [Inoperative](#)

Backup battery missing

Implication(s): Fire hazard

Location: Basement

Task: Install 10 year backup battery



14. *The backup battery has been removed*

HEATING

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Description

General: • Knowing the age of the furnace is beneficial to a potential buyers. If you've had the unit serviced within the last year, let them know. And check to see that your filter has been recently changed.

System type: • [Furnace](#) • [Heat pump](#)

Fuel/energy source: • [Gas](#)

Furnace manufacturer:

• Rheem

Model number: RGRA-09EZAJS *Serial number:* EJ5D707F300411867



15. Gas furnace



16. Heat supply temp 115 deg



17. Heat return temp 78 deg

Efficiency: • [High-efficiency](#)

Exhaust venting method: • [Forced draft](#)

HEATING

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Approximate age: • [13 years](#)

Main fuel shut off at: • Exterior wall

Temperature difference: • 35°

Exhaust pipe (vent connector): • PVC plastic

Fireplace/stove: • [Factory-built](#)

Chimney/vent: • [Metal](#) • Sidewall venting

Limitations

Fireplace/wood stove:

- Turned off

The gas fireplace pilot light was not lite so the fireplace was not tested



18. Fireplace turned off

Recommendations

RECOMMENDATIONS \ Overview

10. Condition: • We recommend having the heating and cooling system cleaned, evaluated, and serviced by a qualified HVAC service contractor on any existing system soon after moving in.

COOLING & HEAT PUMP

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Description

General: • Knowing the age of the A/C is beneficial for a potential buyers. If you've had the unit serviced within the last year, let them know.

Air conditioning type: • [Air cooled](#)

Heat pump type: • [Air source](#)

Manufacturer:

• Carrier



19. Carrier

Compressor approximate age: • 9 years

Limitations

Heat pump only tested in: • Cooling mode

System data plate: • Age determined by the sellers disclosure sheet

System data plate: • Not found

Recommendations

AIR CONDITIONING \ Condensate system

11. Condition: • [Pan leaking](#)

Water was noted on the furnace beneath the A-coil and water was noted on the floor. This may indicate a leak or clogged condensate drain line.

Implication(s): Chance of water damage to contents, finishes and/or structure | Damage to equipment

Task: Have evaluate by a qualified HVAC serviceman

COOLING & HEAT PUMP

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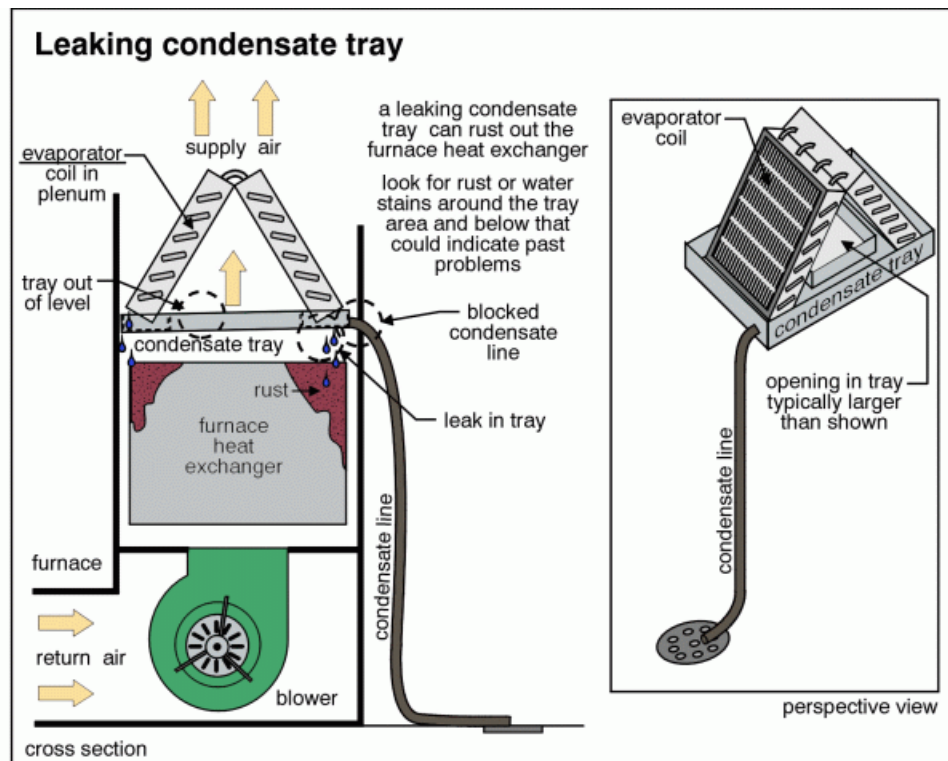
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20. Pan leaking

HEAT PUMP \ Outdoor coil

12. Condition: • [Poor location](#)

The A/C compressor unit was too close the the house. Recommended distance is 18" minimum.

Implication(s): Reduced system life expectancy | Increased cooling costs | Reduced comfort

Task: It would not be practical to move this unit, but when this unit is eventually replaced, install the new one further out.

COOLING & HEAT PUMP

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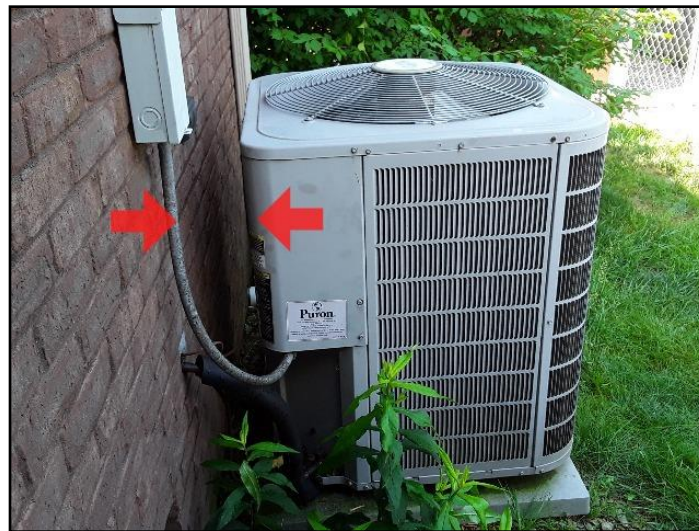
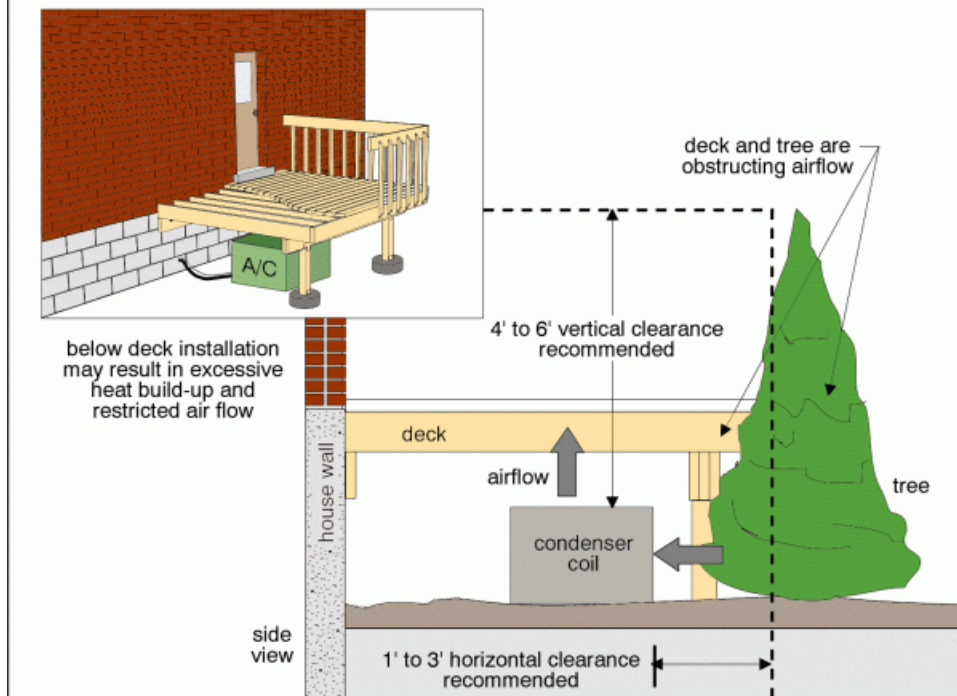
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Condenser coil location requirements



21. Too close to house

INSULATION AND VENTILATION

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Description

General: • A radon mitigation system was installed in the house.



22. Radon manometer U-tube



23. Radon in-line exhaust fan in the attic

Attic/roof insulation material:

- [Glass fiber](#)



24. Glass fiber



25. Glass fiber

Attic/roof insulation amount/value: • [R-40](#) • 12 inches

Attic/roof air/vapor barrier: • [None found](#)

Attic/roof ventilation: • [Soffit vent](#) • [Ridge vent](#)

Foundation wall insulation material: • None

Floor above basement/crawlspace insulation material: • None found

INSULATION AND VENTILATION

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Limitations

General: • Radon system evaluation is not part of a standard home inspection

Attic inspection performed: • By entering attic, but access was limited

Description

General: • Our inspection of the plumbing system included a visual examination to determine defects, excessive wear, leakage and general state of repair. Plumbing leaks can be present but not evident in the course of the normal inspection. A sewer lateral test to determine the condition of the underground sewer lines is beyond the scope of this inspection.

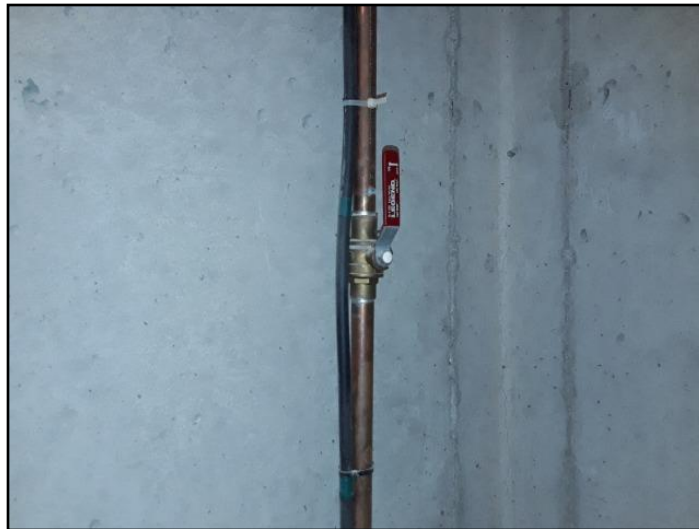
Water supply source: • Public

Service piping into building: • [Copper](#)

Supply piping in building: • [Copper](#)

Main water shut off valve at the:

- Front of the basement



26. Water main shut-off valve

Water flow and pressure: • [Above average](#)

Water heater type: • [Conventional](#)

Water heater fuel/energy source: • [Electric](#)

Water heater exhaust venting method: • Direct vent

Water heater manufacturer:

- A.O. Smith

Model number: ECT 66 200 *Serial number:* H05A084826

PLUMBING

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27. Electric water heater

Tank capacity: • 66 gallons

Water heater approximate age: • 13 years

Water heater location: • Basement

Pumps: • [Solid waste pump \(ejector pump\)](#) • [Sump pump](#)

Floor drain location: • None

Gas piping: • Steel

Main fuel shut off valve at the: • Exterior

Exterior hose bibb (outdoor faucet): • Present • Frost free

Limitations

General: • Sump pump had been sealed due to the radon mitigation system and therefore not tested. The sewer ejector pump did operate.

PLUMBING

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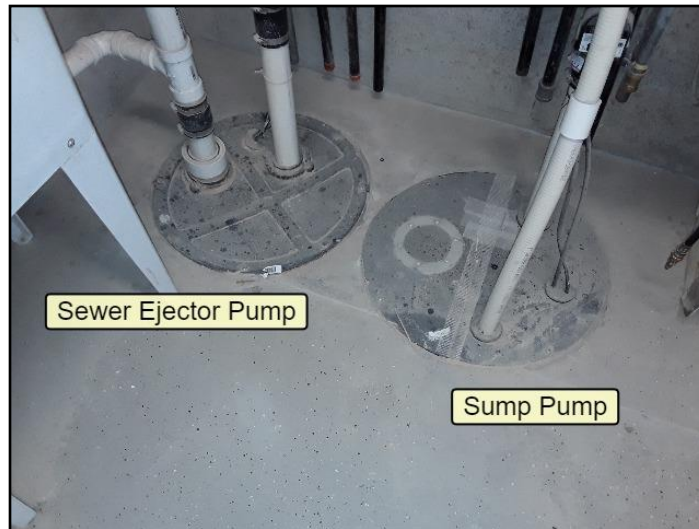
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28. Sewer ejector pump and sump pump

Recommendations

FIXTURES AND FAUCETS \ Bathtub

13. Condition: • [Slow drain](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Hall bath

Task: Clear drain, if that doesn't fix it have evaluate by a plumber



29. Slow drain

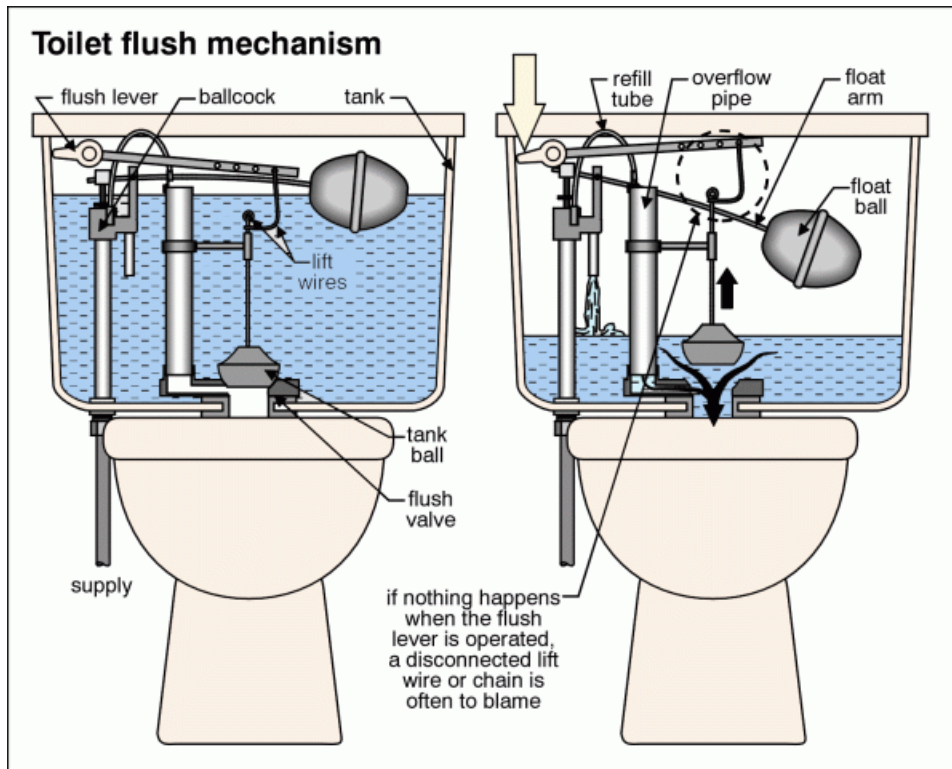
FIXTURES AND FAUCETS \ Toilet

14. Condition: • [Running continuously](#)

Toilet in master bath runs

Implication(s): Chance of condensation damage to finishes and/or structure | Increased water consumption

Task: Replace the flush valve mechanisms



30. Running continuously

Description

General: • Here are a few things you can do to prepare the inside of your home for a buyers home inspection. Check the windows and doors to see that they open and close properly, clean, adjust, and lubricate if necessary. Make sure all lights have a working bulb in them.

Make sure storage items are not blocking access to the house's system components including; furnace, water heater, electrical panel box, and attic access hatch. Clear out clutter under sinks and vanities so the the inspector can check the plumbing.

Major floor finishes: • [Carpet](#) • [Ceramic](#) • [Marble](#) • Vinyl

Major wall and ceiling finishes: • [Gypsum board](#)

Windows: • [Single/double hung](#)

Exterior doors - type/material: • Hinged • [Sliding glass](#)

Doors: • Inspected

Oven type: • Conventional

Oven fuel: • Electricity

Range fuel: • Electricity

Appliances: • Refrigerator • Dishwasher • Waste disposal • Microwave oven

Laundry facilities: • Hot/cold water supply • 120-Volt outlet • 240-Volt outlet • Waste standpipe

Kitchen ventilation: • Recirculating type

Bathroom ventilation: • Exhaust fan

Counters and cabinets: • Inspected

Stairs and railings: • Inspected

Limitations

Inspection limited/prevented by: • Furniture and personal items

Inspection limited/prevented by:

• Storage in closets and cabinets / cupboards



31. Storage in closets and cabinets / cupboards

Recommendations

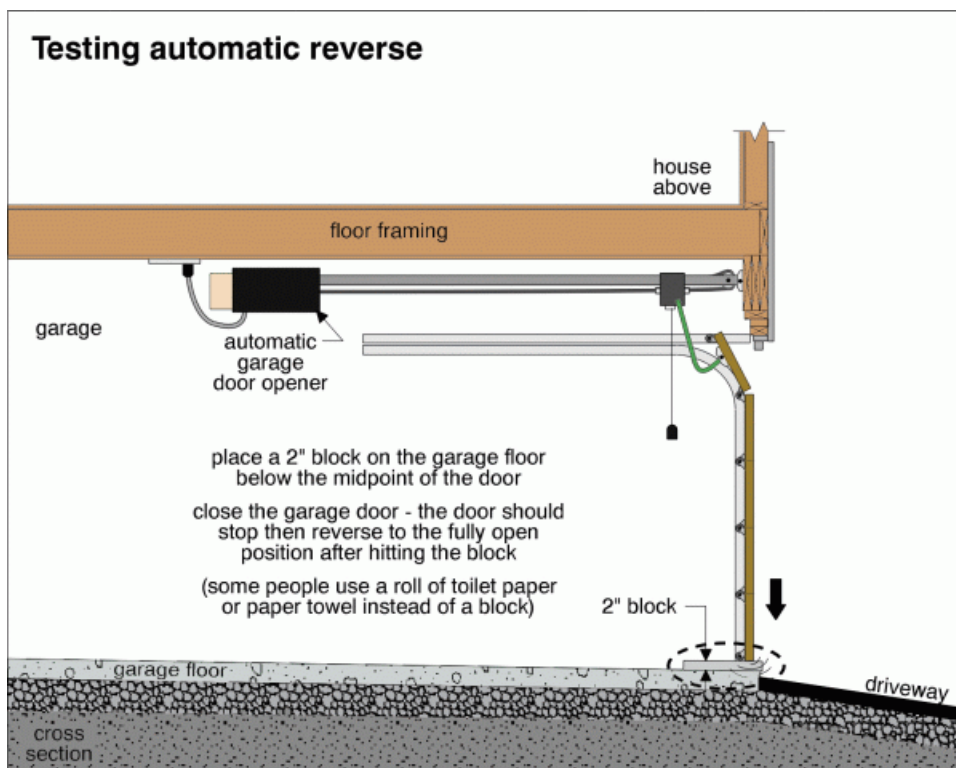
GARAGE \ Vehicle door operators

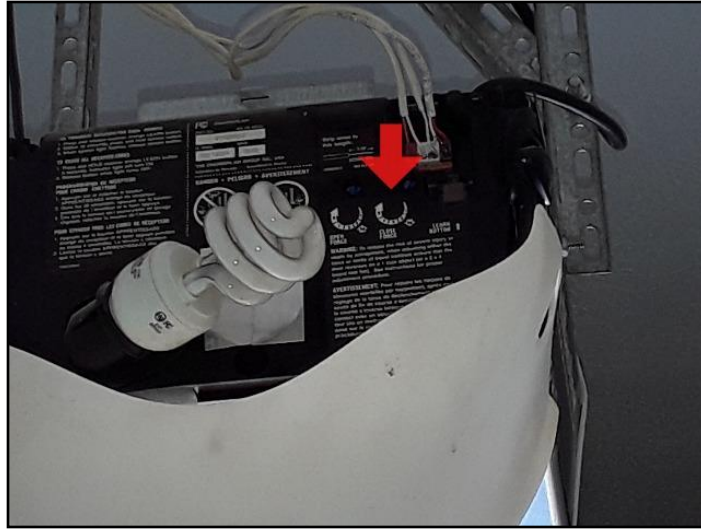
15. Condition: • [Adjustment needed to open or close limits](#)

Pressure sensitive level was set too high for the auto-reverse to work properly. This will cause the door to close with too much pressure, possible injuring persons or property.

Location: Garage vehicle door

Task: Adjust pressure sensor adjustment of garage door operator. FYI, don't use a hard object to test door.





32. Adjustment needed to open or close pressure

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS