



PROPERTY CONDITION ASSESSMENT REPORT

Hat Property Inspections is the professional choice

PREPARED BY:
Westley Franks



FOR THE PROPERTY AT:
123 Main Street
Medicine Hat, AB T1A 5P6

PREPARED FOR:
JOHN SMITH

INSPECTION DATE:
Friday, January 1, 2021



Hat Property Inspections
130 - 7th Street NE
Medicine Hat, AB T1A 5P6

403.977.7017
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wes@hatpropertyinspections.ca





May 7, 2024

Dear John Smith,

RE: Report No. 1082, v.5
123 Main Street
Medicine Hat, AB
T1A 5P6

Thank you very much for choosing Hat Property Inspections to perform your Property Condition Assessment. I trust the experience was both useful and enjoyable.

The enclosed report has been prepared to provide pertinent technical information about the subject property. This report meets or exceeds the ASTM Standard E2018-15 for Property Condition Assessment. As such, the report is not technically exhaustive, was based on a purely visual inspection, and should be considered preliminary. The costs included are budgetary and are only intended to provide an order of magnitude.

The entire report must be considered in order to rely on the findings contained within. Sampling information in the report may put it out of context. The report will not be released to anyone without your permission.

Thank you for giving us the opportunity to be of service. Should you have any questions regarding this report, please do not hesitate to contact me anytime.

Sincerely,

Westley Franks
on behalf of
Hat Property Inspections

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A - SUMMARY OF COSTS AND PRIORITIES FOR RECOMMENDED REPAIRS

EXECUTIVE SUMMARY

The executive summary describes each system of the subject property's;

Overall physical condition, General level of maintenance, Significant material physical defects, Remedy recommendations and Total opinion of costs

Significant Observations and Recommendations.

The specific conditions listed in the executive summary are systems or components of the property that are a safety hazard, do not function as intended and require significant repair, have reached the end of their serviceable life and require replacement, or require further testing and evaluation by an expert to determine a further course of action.

In our opinion, these significant observations and recommendations are likely to require more than \$3,000 in remedial action that should be considered over the next 5 years.

This executive summary section is provided for quick reference and cannot be considered a substitute for reading the entire report. The report may include additional information of concern. Please read the complete report document.

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Heating

OVERALL CONDITION, LEVEL OF MAINTENANCE, RECOMMENDATION AND SHORT TERM COST \ HEATING

Condition: • C - The overall condition of the Heating system is fair.

Condition: • C - The general level of maintenance is significantly deferred in some respects.

Condition: • C - The Heating system will require major repairs or replacements in the short term.

Condition: • Recommend updating ageing components in the short term.

Condition: • Total opinion of costs required in the short term for the Heating system. (Please refer to the Appendix for details)

\$36,000 Replace RTU's 1 & 2

\$20,000 Replace (5) ware house unit heaters

\$56,000 Total

Electrical

OVERALL CONDITION, LEVEL OF MAINTENANCE, RECOMMENDATION AND SHORT TERM COST \ ELECTRICAL

Condition: • B - The overall condition of the Electrical system is serviceable.

Condition: • C - The general level of maintenance is significantly deferred in some respects.

Condition: • B - The Electrical system will require minor to moderate repairs.

Condition: • Recommend remedying outstanding deferred maintenance in the short term.

Condition: • Recommend updating ageing components in the short term.

Condition: • Total opinion of costs required in the short term for the Electrical system. (Please refer to the Appendix for details)

\$3,000 Electrical switch gear Cleaning, lubrication and further investigation

\$25,000 Updating electrical switch gear after contractor further investigation

\$25,000 Updating distribution panel breakers after contractor further investigation

\$5,000 Various electrical repairs

\$13,500 Replace warehouse and 2nd floor light fixtures

\$71,500 Total

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Air Conditioning

OVERALL CONDITION, LEVEL OF MAINTENANCE, RECOMMENDATION AND SHORT TERM COST \ AIR CONDITIONING

Condition: • D - The overall condition of the Air Conditioning system is poor.

Condition: • C - The general level of maintenance is significantly deferred in some respects.

Condition: • C - The Air Conditioning system will require major repairs or replacements in the short term.

Condition: • Recommend updating ageing components in the short term.

Condition: • Total opinion of costs required in the short term for the Air Conditioning system. (Please refer to the Appendix for details)

Costs for replacing the air conditioning portion of the RTU's is included in the heating RTU's section.

Ventilation

OVERALL CONDITION, LEVEL OF MAINTENANCE, RECOMMENDATION AND SHORT TERM COST \ VENTILATION

Condition: • D - The overall condition of the Ventilation system is poor.

Condition: • D - The general level of maintenance has been inadequate, and is lacking in some respects.

Condition: • C - The Ventilation system will require major repairs or replacements in the short term.

Condition: • Recommend updating ageing components in the short term.

Condition: • Total opinion of costs required in the short term for the Ventilation system. (Please refer to the Appendix for details)

\$12,000 Replace roof top exhaust fans

\$12,000 Total

Plumbing

OVERALL CONDITION, LEVEL OF MAINTENANCE, RECOMMENDATION AND SHORT TERM COST \ PLUMBING

Condition: • B - The overall condition of the Plumbing system is serviceable.

Condition: • C - The general level of maintenance is significantly deferred in some respects.

Condition: • C - The Plumbing system will require moderate to major repairs in the short term.

Condition: • Recommend remedying deficiencies in the short term.

Condition: • Total opinion of costs required in the short term for the Plumbing system. (Please refer to the Appendix for details)

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\$3,000	Plumbing system further investigation by contractor
\$25,000	Updating supply and waste piping after contractor further investigation
\$6,000	Replace (2) domestic water heaters
\$5,000	Replace solid waste pump
\$3,000	Replace (3) urinals
\$8,000	replace (8) toilets
\$7,000	Replace (10) sinks
\$57,000	Total

Roofing

OVERALL CONDITION, LEVEL OF MAINTENANCE, RECOMMENDATION AND SHORT TERM COST \ ROOFING

Condition: • C - The overall condition of the Roofing system is fair.

Condition: • B - The general level of maintenance has been adequate for the most part, somewhat deferred.

Condition: • C - The Roofing system will require major repairs or replacements in the short term.

Condition: • Recommend updating ageing components in the short term.

Condition: • Total opinion of costs required in the short term for the Roofing system. (Please refer to the Appendix for details)

\$234,000	Relace built up roof
\$234,000	Total

Interior Components

OVERALL CONDITION, LEVEL OF MAINTENANCE, RECOMMENDATION AND SHORT TERM COST \ INTERIOR

Condition: • B - The overall condition of the Interior system is serviceable.

Condition: • C - The general level of maintenance is significantly deferred in some respects.

Condition: • B - The Interior system will require minor to moderate repairs.

Condition: • Recommend remedying outstanding deferred maintenance in the short term.

Condition: • Total opinion of costs required in the short term for the Interior system. (Please refer to the Appendix for details)

\$1,500	Repair concrete steps on stair well
\$5,000	Replace floor tiles bathrooms and 2nd floor
\$53,000	Replace main floor carpets
\$7,000	Repair water damaged walls and ceilings
\$15,000	Replace suspended cieling tiles
\$81,500	Total

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OVERALL CONDITION, LEVEL OF MAINTENANCE, RECOMMENDATION AND SHORT TERM COST \ LIFE SAFETY / FIRE PROTECTION

Condition: • B - The overall condition of the Life Safety / Fire Protection system is serviceable.

Condition: • B - The general level of maintenance has been adequate for the most part, somewhat deferred.

Condition: • C - The building's Life Safety / Fire Protection systems will require moderate to major repairs in the short term.

Condition: • Recommend remedying outstanding deferred maintenance in the short term.

Condition: • Recommend updating ageing components in the short term.

Condition: • Total opinion of costs required in the short term for the Life Safety / Fire Protection system. (Please refer to the Appendix for details)

\$3,000 Fire alarm system further investigation by contractor

\$25,000 Updating fire alarm system after further investigation by contractor

\$6,000 Repair emergency lighting system

\$7,500 Sprinkler system valves connection to fire alarm system

\$41,500 Total

Insulation

OVERALL CONDITION, LEVEL OF MAINTENANCE, RECOMMENDATION AND SHORT TERM COST \ INSULATION

Condition: • A - The overall condition of the Insulation system is satisfactory.

Condition: • A - The general level of maintenance has been adequate.

Condition: • A - No major deficiencies were noted with the building's Interior system.

Condition: • Total opinion of costs required in the short term for the Insulation system. (Please refer to the Appendix for details)

0.00

Condition: • There are no recommendations

Structure

OVERALL CONDITION, LEVEL OF MAINTENANCE, RECOMMENDATION AND SHORT TERM COST \ STRUCTURE

Condition: • A - The overall condition of the Structural system is satisfactory.

Condition: • A - The general level of maintenance has been adequate.

Condition: • A - No major deficiencies were noted with the building's Structural system.

Condition: • Total opinion of costs required in the short term for Structural system. (Please refer to the Appendix for

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details)

\$0

Condition: • There are no recommendations

Exterior Components

OVERALL CONDITION, LEVEL OF MAINTENANCE, RECOMMENDATION AND SHORT TERM COST \ EXTERIOR

Condition: • A - The overall condition of the Exterior system is satisfactory.

Condition: • B - The general level of maintenance has been adequate for the most part, somewhat deferred.

Condition: • B - The Exterior system will require minor to moderate repairs.

Condition: • C - The Exterior system will require major repairs or replacements in the short term.

Condition: • Total opinion of costs required in the short term for the Exterior system. (Please refer to the Appendix for details)

\$5,000 Repointing / Repair masonry crack

\$3,000 Repair damaged exterior cladding

\$50,000 Replace deteriorated asphalt in parking lot

\$58,000 Total

This concludes the Executive Summary section, what follows is the Report.

INTRODUCTION

AUTHORIZATION AND SCOPE

As per the request of John Smith of ABC Company inc. and in accordance with our proposal dated January 1 2021, a visual site inspection of the subject property located at 123 Main Street Medicine Hat AB was performed on January 1 2021 to identify the existing conditions of the following building components:

Electrical System

Heating System

Air-conditioning System

Ventilation System

Plumbing System

Roofing System

Interior Components

Life Safety / Fire Protection Systems

Insulation

Structure

Exterior and Site Components

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No equipment was operated as part of this assessment.

This assessment exceeds the ASTM standard E2018-15 for Property Condition Assessments in that a 5-year timeframe for major repairs or replacements of building components has been considered.

This report provides recommendations, preliminary cost estimates and priorities for remedying major deficiencies, updating aging major components, and undertaking further detailed investigations.

The recommendations are for remedial actions that are considered to be beyond the normal maintenance of the building. Normal building maintenance items are not included.

COSTS

Please find in the APPENDIX the table of Costs and Priorities for the major recommendations made in this report. A 5 year timeframe has been considered. Costs are provided for recommendations expected to exceed \$3,000. The costs are budgetary and are only intended to provide an order of magnitude, and do not include any engineering design or construction management fees, contingencies or taxes. Contractors should be consulted for exact quotations.

Only the items specifically addressed in this report were examined. This report is considered to be preliminary in nature. Before any major repairs are undertaken, we recommend that a specialist perform a detailed condition survey and develop a plan of action.

It should be understood that, unless otherwise noted, all building sizes and quantities noted here are rough approximations based on site observations and are for the purposes of this report only.

DEFINED TERMS

The following defined terms are used to describe the condition of the components and systems reviewed:

Satisfactory - Performing its intended function; no major defects noted.

Serviceable - Performing its intended function, but has visible defects or is aging. It will require minor to moderate repairs.

Fair - Barely performing its intended function. Has visible defects or is aging and will require moderate to major repairs in the short term.

Poor - Not properly performing its intended function. At or beyond its useful life. Component requires major repair or replacement.

The following defined terms are used to describe recommended actions

Repair - if something is broken

Replace - if something is broken beyond repair

Provide - if something is missing

Improve - if something is not arranged ideally

Monitor - if something is functioning but is vulnerable to failure

Further investigation - when a specialist is needed to determine the proper course of action

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REMAINING LIFE EXPECTANCY OF THE BUILDING

The average life span of a Masonry construction commercial building is 70 - 80 years. It can go further depending on the preservation techniques employed and how the building is utilized. (please refer to the report for individual systems typical life expectancy's)

Stages of Masonry building life

Stage 1 1 -25 years Limited maintenance is required which increases over time.

Stage 2 26 - 50 years Building will need overhauling to replace deteriorated systems.

Stage 3 51 - 79 years Expensive asset renewal projects will need to be undertaken.

Stage 4 80 + years The building is now at the end of its serviceable life and will require overhauling to replace deteriorated systems every 20-25 years to keep it standing.

All buildings need regular maintenance, renovation, and replacement of aging components though out their life. The life span of a building is greatly dependent on; the builders skill level and quality of materials used during construction, the level of maintenance and quality of renovations, external weather factors and the extent of water intrusion, internal usage factors and occupancy loads.

The buildings remaining life expectancy is not a part of the ASTM standard E2018-15 for Property Condition Assessments. It is an opinion based on the historical average life expectancy of similar buildings and has been added as a courtesy. Consequently, no guarantee or warranty of the building remaining life expectancy is offered or implied

PROPERTY CONDITION ASSESMENT REPORT

The remainder of the report describes the buildings systems, details any recommendations we have for repairs and includes the limitations that restricted the inspection as well.

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Building System Descriptions

General: • Please find in the Appendix; the 5 year summary of recommended repairs complete with opinion of cost estimates.

Name of client:

• Name

John Smith

• Company

ABC Company Inc.

Client relationship to this property: • Our client is a prospective purchaser of the property and this report has been prepared to provide general information on the condition of the property.

Name of consultant: • Westley Franks on behalf of Hat Property Inspections

Purpose of the report: • This is a Property Condition Assessment Report (PCA)

Date of site visit:

• Date:

January 1 2021

General property description: • Commercial • Retail • Warehouse • Office

Approximate size of building: • 19,500 sq ft

General Building Information: • 2 story with full basement

Building Stage of Life: • Stage 3

Approximate age of building: • 52 years old built in 1968

Typical life expectancy of the building: • Masonry construction - typical life expectancy 70 - 80 years • This building is 52 years old it is currently in stage 3 of its life, substantial overhauling to replace deteriorated and ageing systems is required in the short term. (Please refer to the report for details)

Remaining life expectancy of the building: • 18 - 28 years

Document review: • A request was made to the Owner/User to provide any appropriate documentation and information about the building to the consultant for review; Appraisals, Certificate of Occupancy, Building as-built or construction drawings, construction specifications, Operation & Maintenance manuals, maintenance & repair records, warranty information, equipment lists, any pending proposals or quotes..... • No documents were available for review.

This report meets ASTM Standard E2018-15, with these exceptions: • At the request of our client a Building Code and Fire Code violation inquiry was not undertaken. • The base building certificate of occupancy was not reviewed

Overall building condition: • This is an older commercial warehouse / office / retail building that has had the required maintenance significantly deferred. Most of the building systems reviewed are in Fair overall condition and some of the building systems reviewed is in Serviceable condition. Substantial overhauling for repair and replacement of multiple building systems is recommended in the short term.

Building System Descriptions

Rooftop Unit #1 - Age and type: • Over 20 years • Gas-fired heating (electric cooling) unit

Rooftop Unit #2 - Age and type: • Over 20 years • Gas-fired heating (electric cooling) unit

Rooftop Unit #3 - Age and type:

- Less than 5 years

New 1 year old

- Gas-fired heating (electric cooling) unit

Total heating capacity: • 700,000 Btu/hr

Typical Rooftop Unit life expectancy: • 20 - 25 years

Ceiling-mounted heater #1 - Age and type:

- Over 25 years

- Gas-fired unit heater

Warehouse

Ceiling-mounted heater #2 - Age and type:

- Over 25 years

- Gas-fired unit heater

Warehouse

Ceiling-mounted heater #3 - Age and type:

- Over 25 years

- Gas-fired unit heater

Basement

Ceiling-mounted heater #4 - Age and type:

- Over 25 years

- Gas-fired unit heater

Shipping receiving area

Ceiling-mounted heater #5 - Age and type:

- Over 25 years

- Gas-fired unit heater

Bathrooms

Typical ceiling-mounted heater life expectancy: • Gas fired unit heaters 15 to 25 years - Proximity to overhead doors reduces life expectancy

Supply Air Distribution: • Overhead supply air registers

Return air arrangement: • Air return is via T bar ceiling grilles to T bar ceiling space return air plenum

Supplemental electric heaters / heating elements: • Washrooms • Beside exit doors

Electric heaters areas serviced: • Entrances • Less than 20 years

Typical electric heater life expectancy: • Indefinite, as long as replacement parts are available - decreasingly likely after 25 years

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Gas Supply - shut off: • Outside at gas meter

Number of gas meters: • One

Gas supply - size and pipe material: • 2 1/2-inch diameter • Steel

Inspection Methods and Limitations

General: • The field observer is not required to observe - heat exchangers, flue connections, Interiors of chimneys, flues or boiler stacks, tenant owned or maintained equipment or operate any heating equipment

Operating status: • Power was on, but the system was not operating at the time of the inspection.

Maintenance contract: • Not determined

Dataplates: • Some data plates are illegible - some equipment details could not be determined

Observations and Recommendations

OVERALL CONDITION, LEVEL OF MAINTENANCE, RECOMMENDATION AND SHORT TERM COST \ HEATING

1. **Condition:** • C - The overall condition of the Heating system is fair.

2. **Condition:** • C - The general level of maintenance is significantly deferred in some respects.

3. **Condition:** • C - The Heating system will require major repairs or replacements in the short term.

4. **Condition:** • Recommend updating ageing components in the short term.

5. **Condition:** • Total opinion of costs required in the short term for the Heating system. (Please refer to the Appendix for details)

\$36,000 Replace RTU's 1 & 2

\$20,000 Replace (5) ware house unit heaters

\$56,000 Total

ROOFTOP UNITS \ Unit #1

6. **Condition:** • Beyond typical life expectancy

Visual indications suggest that the heating components of the RTU are original. It is more than 30 Years old. It did not operate.

Implication(s): System operability

Location: North Roof

Task: Replace

Time: Less than 1 year

Cost: \$17,000 - \$19,000

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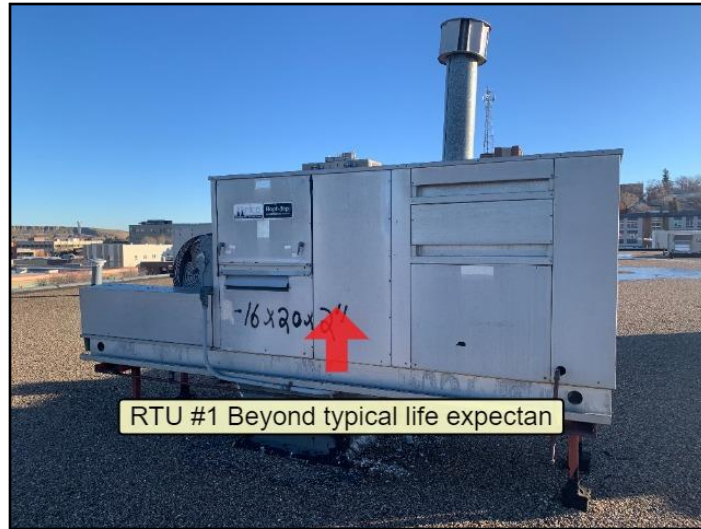
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1. RTU #1 Beyond typical life expectancy

ROOFTOP UNITS \ Unit #2

7. Condition: • Beyond typical life expectancy

Visual indications suggest that the heating components of the RTU are original. It is more than 30 Years old. It did not operate.

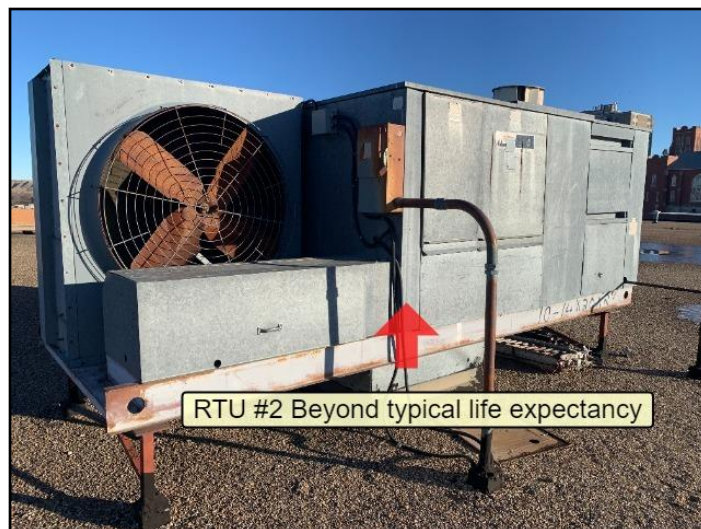
Implication(s): System operability

Location: Middle Roof

Task: Replace

Time: Less than 1 year

Cost: \$17,000 - \$19,000



2. RTU #2 Beyond typical life expectancy

CEILING-MOUNTED HEATERS \ Overall

8. Condition: • Beyond typical life expectancy

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Visual indicators suggest that the 5 ceiling mount unit heaters are original. They are more than 30 years old, only the unit heater in the shipping receiving area operated and it did not function correctly.

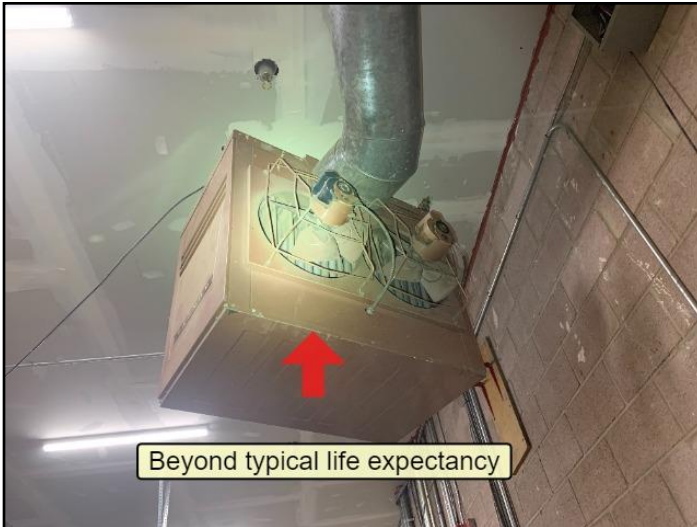
Implication(s): System operability

Location: Main floor, 2nd floor and basement

Task: Replace

Time: 2 years

Cost: \$18,000 - \$22,000



3. Beyond typical life expectancy



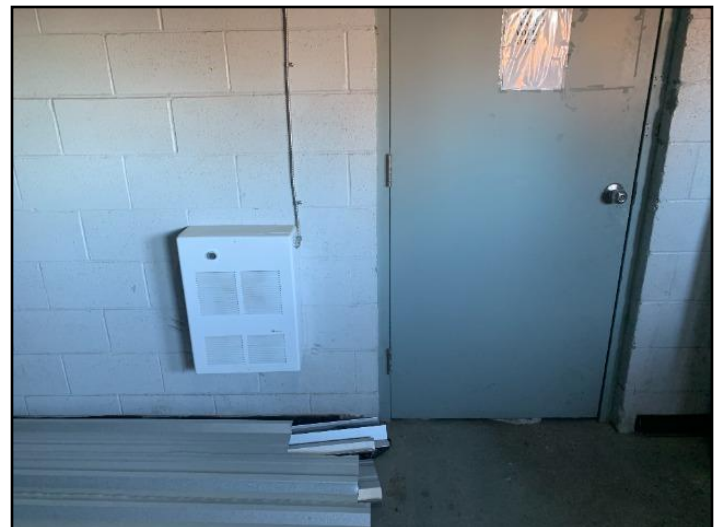
4. Beyond typical life expectancy

HEATING SYSTEM \ Example Heating Photos

9. Condition: • Example Heating Photos



5. Example of unit heater #5 2nd floor



6. Example electric heat beside exit doors

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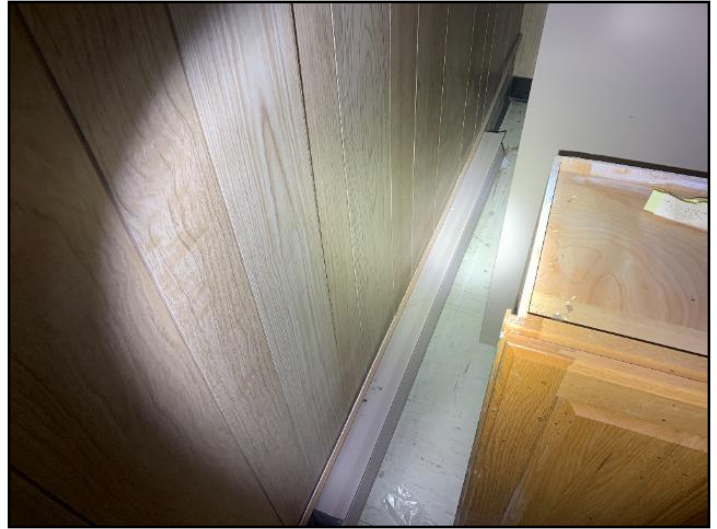
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7. Example of unit heater #1 warehouse



8. Example electric heat washrooms



9. Example heating system controls



10. Example of unit heater #4 Shipping

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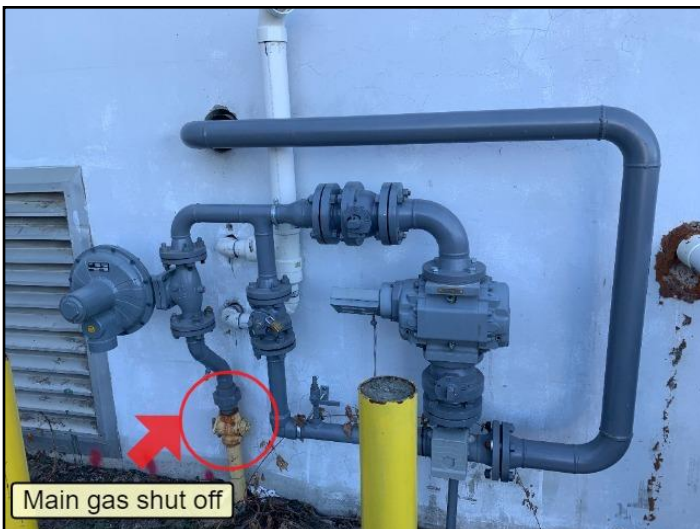
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11. Example electric heat basement



12. Example of RTU #3 heating



13. Example of main gas shut off



14. Example of unit heater #2 warehouse

Building System Descriptions

Electrical service to the building: • Underground

Main electrical service transformer: • Not determined

Main building transformer size: • Not determined

Main building transformer ownership:

• Utility

City of Medicine Hat

Electrical service size: • 1,200-amps • 120/208-volt, three phase

Service distribution and metering: • There is a single meter for the building

Distribution panels: • Circuit breakers

Predominant wire types: • Copper - armoured cable

Predominant wire types: • Copper - EMT conduit

Lighting fixture types: • Fluorescent • LED

Grounding - electrical system: • Not determined

Inspection Methods and Limitations

General: • The field observer is not required to- remove any electrical panel or device covers. comment on any EMF (electromagnetic field) issues, perform electrical testing or operation of any electrical devices, comment on process-related equipment or tenant-owned equipment, comment on operational conditions of any systems or access any utility pits, • Electrical wiring that is concealed behind walls, ceilings and floors cannot be inspected. • No Amperage, voltage, and impedance measurements were taken • Inspection or testing of smoke/carbon monoxide alarms, fire alarm systems or emergency lighting systems is not included in an electrical inspection • No panel boards and disconnects where opened for inspection

The power was off at the time of the inspection: • To the second floor office and warehouse area

Main building transformer size or location: • This equipment is typically the responsibility of the utility. • Location and size of main transformer not verified. This information can be obtained from electric utility provider.

Electrical service size: • Capacity not determined by size of main fuses.

Service adequacy: • It is impossible on an inspection such as this to determine adequacy for commercial demands

Grounding: • With limited access, it should not be verified that the building electrical equipment is properly grounded • The main electrical system grounding conductor could not be located • Quality and continuity of system grounding not verified • The Bonding of metal gas lines, water lines, and waste plumbing lines could not be located

Observations and Recommendations

OVERALL CONDITION, LEVEL OF MAINTENANCE, RECOMMENDATION AND SHORT TERM COST \

ELECTRICAL

- 10. Condition:** • B - The overall condition of the Electrical system is serviceable.
- 11. Condition:** • C - The general level of maintenance is significantly deferred in some respects.
- 12. Condition:** • B - The Electrical system will require minor to moderate repairs.
- 13. Condition:** • Recommend remedying outstanding deferred maintenance in the short term.
- 14. Condition:** • Recommend updating ageing components in the short term.
- 15. Condition:** • Total opinion of costs required in the short term for the Electrical system. (Please refer to the Appendix for details)
- | | |
|----------|---|
| \$3,000 | Electrical switch gear Cleaning, lubrication and further investigation |
| \$25,000 | Updating electrical switch gear after contractor further investigation |
| \$25,000 | Updating distribution panel breakers after contractor further investigation |
| \$5,000 | Various electrical repairs |
| \$13,500 | Replace warehouse and 2nd floor light fixtures |
| \$71,500 | Total |

DISTRIBUTION EQUIPMENT \ Panel conditions

16. Condition: • Old panelboards

The electrical main distribution and panel boards are more that 50 years old, they have reached the end of their serviceable life. It is recommended that they should be cleaned and serviced by an electrical contractor and then further evaluated to determine the proper course of action.

Implication(s): Safety Concern

Location: Main Floor, second floor basement

Task: Further investigation | Replace

Time: Immediate | less than 2 years

Cost: Further investigation \$3,000 Replace \$40,000 - \$60,000

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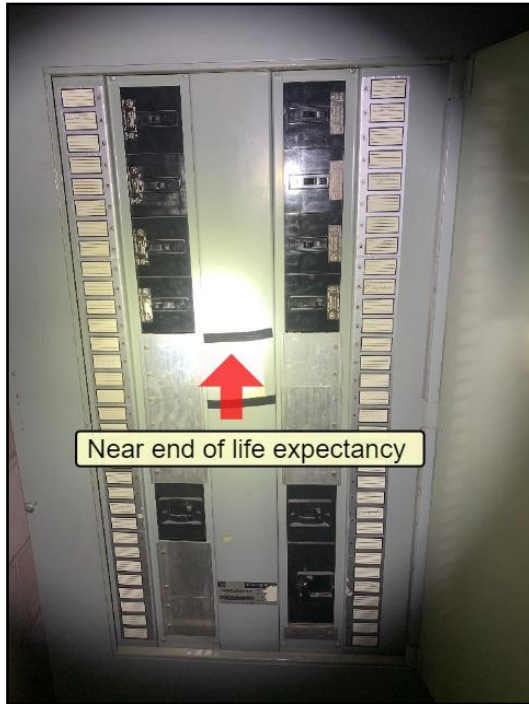
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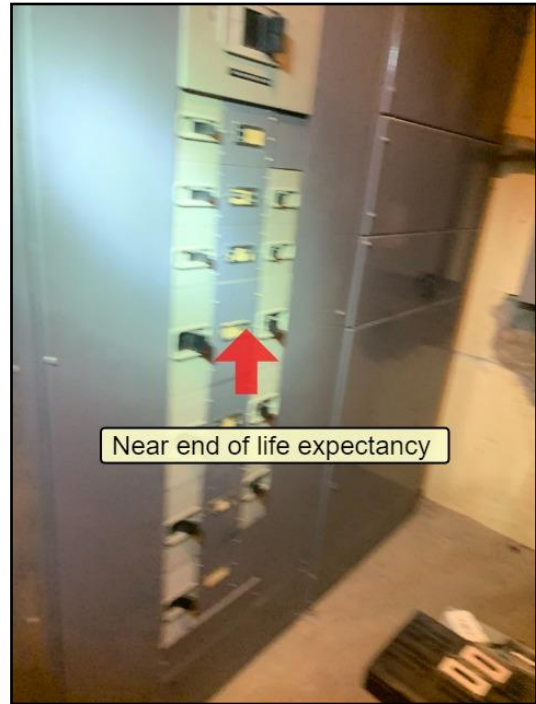
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15. Near end of life expectancy



16. Near end of life expectancy

BRANCH CIRCUIT \ General condition

17. Condition: • Minor deficiencies noted
Repair loose wiring and open junction boxes

Implication(s): Safety Concern

Location: 2nd floor, main floor & Basement

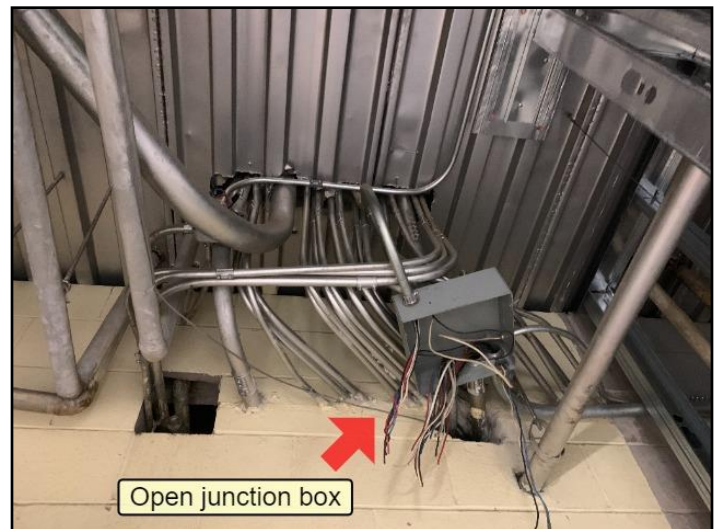
Task: Repair

Time: Less than 1 year

Cost: \$4,000 - \$6,000



17. Minor deficiencies noted



18. Minor deficiencies noted

BRANCH CIRCUIT \ Light conditions

18. Condition: • Inoperative

Many of the light fixtures on the second floor are inoperative.

Implication(s): System operability

Location: Second floor office, warehouse area

Task: Repair or replace

Time: Less than 1 year

Cost: \$12,000 - \$15,000



19. Inoperative



20. Inoperative



21. Inoperative

ELECTRICAL SYSTEM \ Example Electrical Photos

19. Condition: • Example Electrical Photos



22. Example fluorescents 2nd floor



23. Example fluorescents 2nd floor



24. Example distribution panel shipping



25. Example distribution panel shipping

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26. Example distribution panel basement



27. Example distribution panel basement



28. Example fluorescent shipping



29. Example main electrical distribution



30. Example of main electrical fuse size



31. Example of EMT conduits



32. Example distribution panel 2nd floor



33. Example LED stairway

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Building System Descriptions

Rooftop Unit #1 - Age and system type: • Over 20 years - as noted in the heating section • Packaged heating and cooling unit

Rooftop Unit #1 - Cooling capacity and fresh air intake: • 20-tons

Rooftop Unit #2 - Age and system type: • Over 20 years - as noted in the heating section • Packaged heating and cooling unit

Rooftop Unit #2 - Cooling capacity and fresh air intake: • 20-tons

Typical rooftop unit life expectancy: • 20 - 25 years, as noted in the Heating section

Refrigerant type: • Not determined

Air distribution: • Same as described in Heating section

Return air arrangement: • Same as described in Heating section

Inspection Methods and Limitations

General: • The filed observer is not required to - comment on process-related equipment, the condition of tenant owned/maintained equipment or operate any Air Conditioning equipment

Operating status: • The system was operating in Heating mode.

Dataplates: • Some data plates are illegible - some equipment details could not be determined

Refrigerant type: • Could not be determined

Observations and Recommendations

OVERALL CONDITION, LEVEL OF MAINTENANCE, RECOMMENDATION AND SHORT TERM COST \ AIR CONDITIONING

20. Condition: • D - The overall condition of the Air Conditioning system is poor.

21. Condition: • C - The general level of maintenance is significantly deferred in some respects.

22. Condition: • C - The Air Conditioning system will require major repairs or replacements in the short term.

23. Condition: • Recommend updating ageing components in the short term.

24. Condition: • Total opinion of costs required in the short term for the Air Conditioning system. (Please refer to the Appendix for details)

Costs for replacing the air conditioning portion of the RTU's is included in the heating RTU's section.

ROOFTOP UNITS \ Unit #1

25. Condition: • Beyond typical life expectancy

See Heating section for details, Visual indications suggest that the cooling components of the RTU are original. It is more than 30 Years old. It did not operate.

Location: North Roof

Task: Replace same unit as RTU #1 Heating

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Time: Less than 1 year

Cost: See heating section

ROOFTOP UNITS \ Unit #2

26. Condition: • Beyond typical life expectancy

See Heating section for details, Visual indications suggest that the RTU is original. It is more than 30 Years old. It did not operate.

Location: Middle Roof

Task: Replace same unit as RTU #2 Heating

Time: Less than 1 year

Cost: See heating section

AIR CONDITIONING SYSTEM \ Example Air Conditioning Photos

27. Condition: • Example Air Conditioning Photos



34. Example RTU #2 Cooling



35. Example RTU #1 cooling

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Building System Descriptions

Roof or wall mount exhaust fans - Age and type: • Washroom(s)

Exhaust fans - Age and type: • Greater than 25 years old

Typical exhaust fan life expectancy: • 20 to 25 years

Inspection Methods and Limitations

General: • The filed observer is not required to - comment on process-related equipment, the condition of tenant owned/maintained equipment or operate any ventilation equipment • The operating status of the units was not evaluated, some units were running some were not. • Effectiveness of air exchange was not evaluated

Observations and Recommendations

OVERALL CONDITION, LEVEL OF MAINTENANCE, RECOMMENDATION AND SHORT TERM COST \

VENTILATION

28. Condition: • D - The overall condition of the Ventilation system is poor.

29. Condition: • D - The general level of maintenance has been inadequate, and is lacking in some respects.

30. Condition: • C - The Ventilation system will require major repairs or replacements in the short term.

31. Condition: • Recommend updating ageing components in the short term.

32. Condition: • Total opinion of costs required in the short term for the Ventilation system. (Please refer to the Appendix for details)

\$12,000 Replace roof top exhaust fans

\$12,000 Total

ROOF OR WALL MOUNT EXHAUST FANS \ Exhaust fan Deficiency's

33. Condition: • Beyond typical life expectancy

Visual indicators suggest that the 3 roof mounted exhaust fans are original. They are more than 30 years old, they did not operate.

Implication(s): System operability

Location: Roof

Task: Replace

Time: Less than 1 year

Cost: \$10,000 - \$14,000

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36. *Beyond typical life expectancy*

VENTILATION SYSTEM \ Example Ventilation Photos

34. Condition: • Example Ventilation Photos



37. *Example exhaust fan*



38. *Example exhaust fan*

Building System Descriptions

Domestic water supply - size and pipe material: • 2-inch diameter

Domestic water supply - shutoff:

- In the basement
- Under the stairs

Water meters: • One • In the basement

Backflow prevention device at the domestic water supply: • Provided

Pressure pumps / tanks: • Water pressure maintained by booster pump(s)

Supply plumbing pipe material examined: • Mostly copper

Drain, waste and vent piping material examined: • ABS plastic • PVC plastic • Cast iron

Storm drain piping material examined: • PVC plastic • Cast iron

Washroom locations: • Men's and women's in offices • Men's and women's on each office floor • Men's and women's in warehouse

Domestic water heaters - Age and type: • Gas-fired • Electric

Domestic water heater/boiler - approximate age:

- Less than 5 yrs old
- Electric
- 10 to 15 yrs old
- Gas fired

Typical domestic water heater life expectancy: • Domestic water heaters 15 - 20 years

Sump pump locations: • Basement • Sprinkler room

Solid waste pump locations: • Basement

Inspection Methods and Limitations

General: • The field observer is not required to - determine adequacy of pressure and flow rate, determine the fixture-unit values and counts, verify pipe size, verify the point of discharge for underground systems, observe the operating conditions of any plumbing systems, enter sewer access holes (manholes) or utility pits • The operating status of the units was not evaluated, some units were running some were not. • Supply, Drain and Vent piping that is concealed behind walls, ceilings and floors cannot be inspected.

Appropriate vent piping for waste plumbing: • Could not be verified

Pumps: • Sump pumps were not observed in operation • Solid waste pumps were not observed in operation

Observations and Recommendations

OVERALL CONDITION, LEVEL OF MAINTENANCE, RECOMMENDATION AND SHORT TERM COST \ PLUMBING

35. Condition: • B - The overall condition of the Plumbing system is serviceable.

36. Condition: • C - The general level of maintenance is significantly deferred in some respects.

37. Condition: • C - The Plumbing system will require moderate to major repairs in the short term.

38. Condition: • Recommend remedying deficiencies in the short term.

39. Condition: • Total opinion of costs required in the short term for the Plumbing system. (Please refer to the Appendix for details)

\$3,000 Plumbing system further investigation by contractor

\$25,000 Updating supply and waste piping after contractor further investigation

\$6,000 Replace (2) domestic water heaters

\$5,000 Replace solid waste pump

\$3,000 Replace (3) urinals

\$8,000 replace (8) toilets

\$7,000 Replace (10) sinks

\$57,000 Total

PIPING \ Supply

40. Condition: • Evidence of past leakage noted

Supply and waste plumbing lines show signs of aging and leaking

Implication(s): Chance of water damage

Location: Throughout Main Floor Second Floor Basement

Task: Further investigation | Replace

Time: Immediate | Less than 2 years

Cost: Further investigation \$3,000 | Replac \$20,000 - \$30,000



39. Evidence of past leakage noted

PUMPS \ Solid waste pumps

41. Condition: • Past life expectancy

The solid waste pump appears to be old, it did not operate.

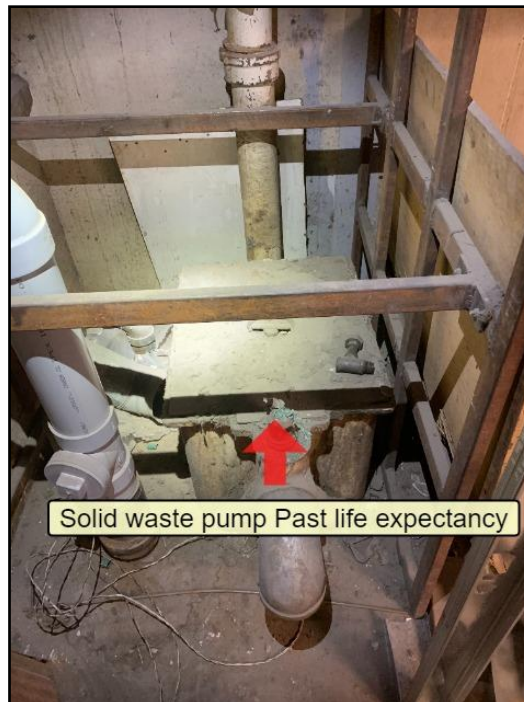
Implication(s): No waste removal

Location: Basement

Task: Replace

Time: Immediate

Cost: \$4,000 - \$6,000



40. Solid waste pump Past life expectancy

DOMESTIC WATER HEATING \ Heater/Boiler and tank

42. Condition: • Approaching end of typical life expectancy

Recommend budgeting to replace 2 gas fired water heaters in the short term

Implication(s): System operability | Chance of water damage

Location: Basement

Task: Replace

Time: Less than 5 years

Cost: \$5,000 - \$7,000

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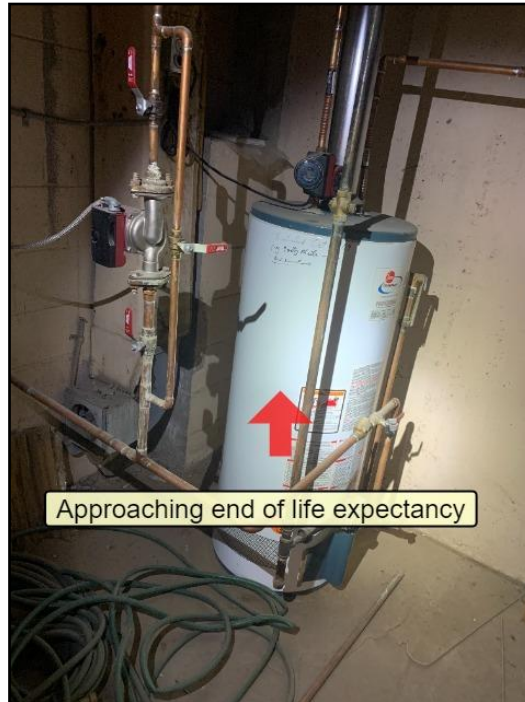
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41. Approaching end of life expectancy

PLUMBING SYSTEM \ Toilets

43. Condition: • Inoperative

All 6 toilets on the 2nd floor are inoperable. 1 toilet in the basement is inoperable 1 is in operating .

Implication(s): System operability

Location: Throughout Second Floor and Basement

Task: Replace

Time: Less than 1 year

Cost: \$7,000 - \$9,000



42. Inoperative 2nd floor



43. Inoperative 2nd floor

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44. Inoperative 2nd floor



45. Inoperative 2nd floor



46. Inoperative 2nd floor



47. Inoperative 2nd floor

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48. Inoperative 2nd floor



49. Inoperative basement

PLUMBING SYSTEM \ Urinals

44. Condition: • Inoperative

2 urinals on the 2nd floor and 1 in the basement are inoperable

Implication(s): No water

Location: Second Floor and Basement

Task: Replace

Time: Less than 1 year

Cost: \$2,500 - \$3,500



50. Inoperative main floor



51. Inoperative 2nd floor

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PLUMBING SYSTEM \ Basins / sinks

45. Condition: • Inoperable

7 sinks on the 2nd floor are inoperative, the one sink on the main floor is in operation, 3 sinks in the basement are inoperative with one in operation

Implication(s): System operability

Location: Main Floor Second Floor Basement

Task: Replace

Time: Less than 1 year

Cost: \$6,000 - 8,000



52. Inoperable 2nd floor



53. Inoperable 2nd floor



54. Inoperable 2nd floor



55. Inoperable 2nd floor

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56. Inoperable 2nd floor



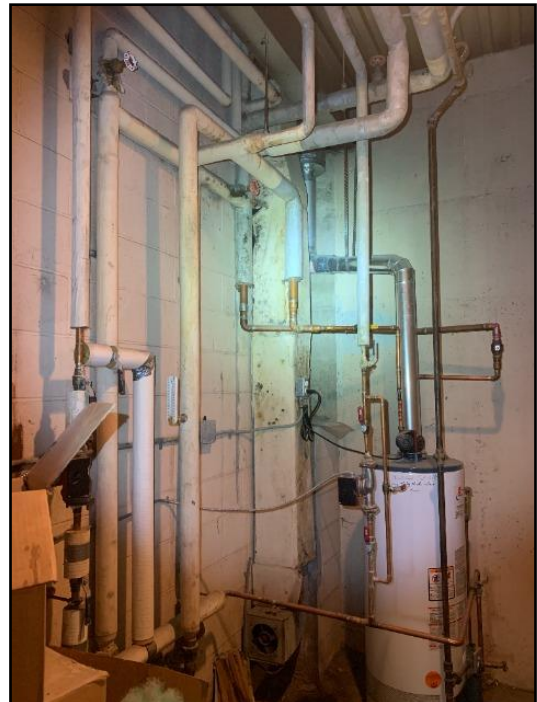
57. Inoperable basement

PLUMBING SYSTEM \ Example Plumbing Photos

46. Condition: • Example Plumbing Photos



58. Example new electric water heater



59. Example gas-fired water heater

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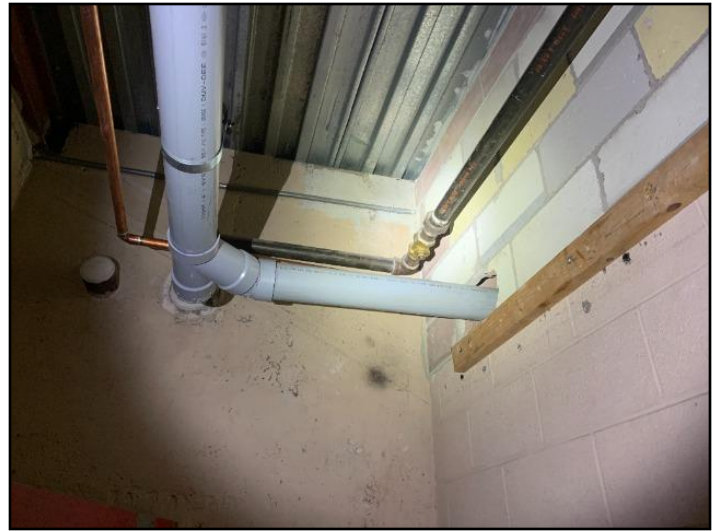
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60. Example water pressure booster pump



61. Example PVC waste Plumbing



62. Example solid waste pump



63. Example water meter

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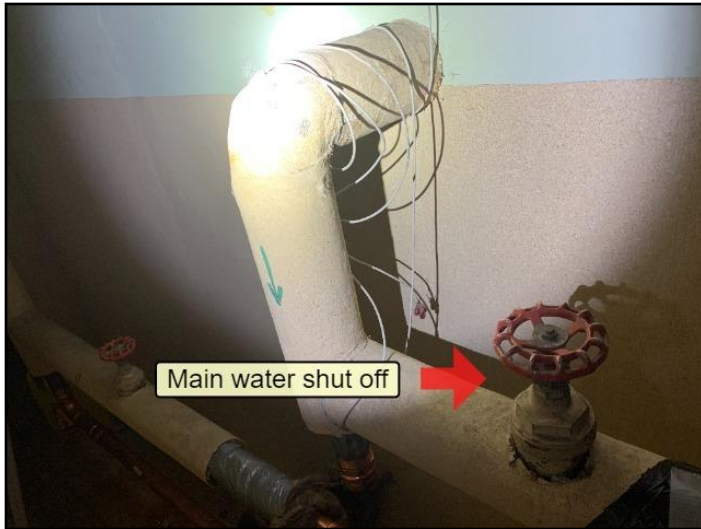
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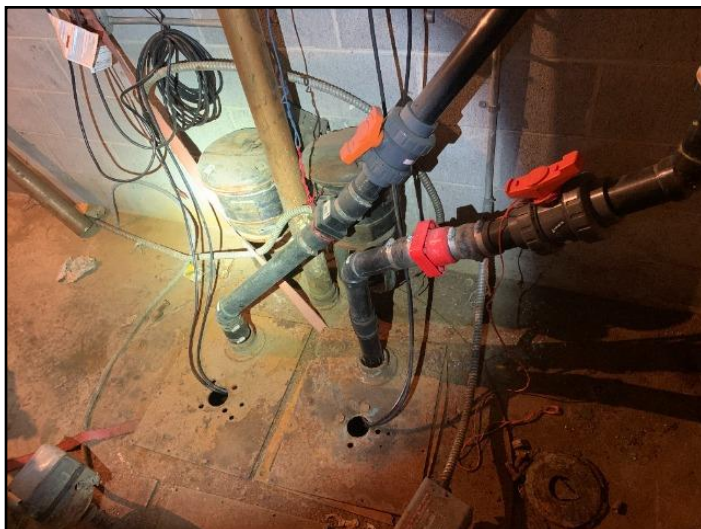
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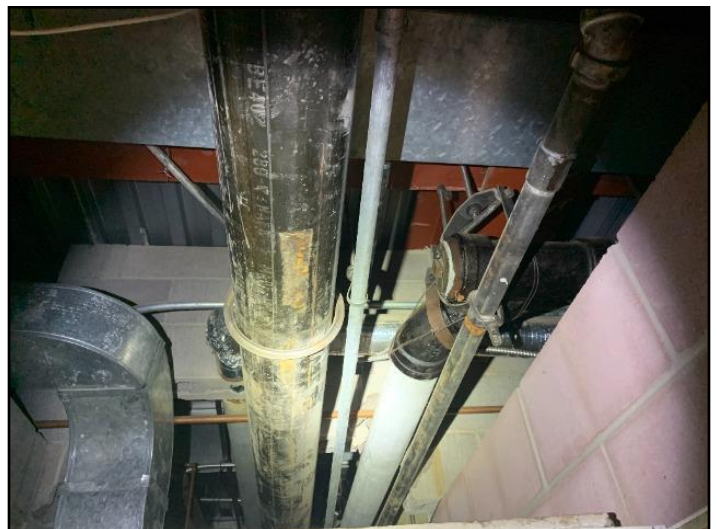
64. Example main water shut off



65. Example main waste piping



66. Example sump pumps



67. Example storm piping

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Building System Descriptions

Built-up asphalt: • Building • Flat roof(s)

Built-up roof - approximate age: • Over 25 years old

Typical built-up asphalt roof life expectancy: • Built up asphalt roof 25 to 30 years

Flat roof drainage: • Interior collection system, via roof drains

Chimneys PVC: • Serving the heating equipment

Chimneys - metal: • One • Serving the heating equipment

Inspection Methods and Limitations

General: • The field observer is not required to - walk on pitched roofs, walk on any roof area that appears to be unsafe, walk on roofs with no built in access, determine any roofing design criteria

Flat roof covering(s): • The area below the wood deck could not be closely examined

Built-up roof: • As the roof is covered with gravel (as it should be), the membrane could not be closely examined

Observations and Recommendations

OVERALL CONDITION, LEVEL OF MAINTENANCE, RECOMMENDATION AND SHORT TERM COST \ ROOFING

47. Condition: • C - The overall condition of the Roofing system is fair.

48. Condition: • B - The general level of maintenance has been adequate for the most part, somewhat deferred.

49. Condition: • C - The Roofing system will require major repairs or replacements in the short term.

50. Condition: • Recommend updating ageing components in the short term.

51. Condition: • Total opinion of costs required in the short term for the Roofing system. (Please refer to the Appendix for details)

\$234,000 Relace built up roof

\$234,000 Total

BUILT-UP ROOF \ Deficiencies

52. Condition: • Beyond typical life expectancy

Visual indicators suggest that the roof on the building is the original roof. It has undergone some repairs over the years. It is more than 30 years old

The roof is approximately 19,500 square feet

Implication(s): Chance of water damage

Location: Throughout Roof

Task: Replace

Time: Less than 3 years

Cost: \$200,000 - \$250,000

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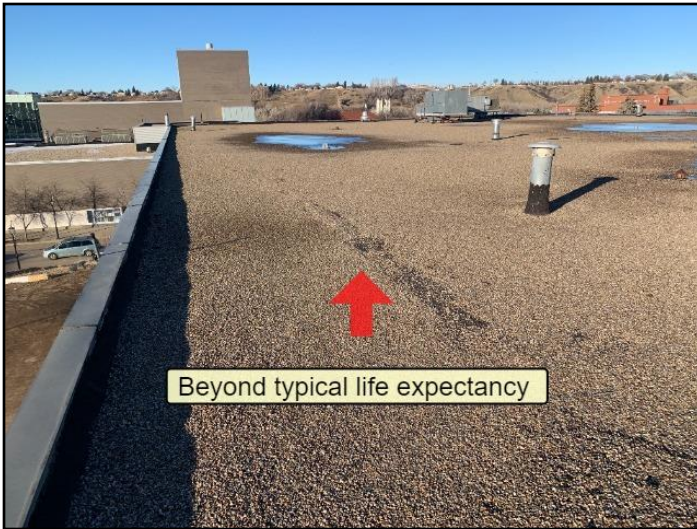
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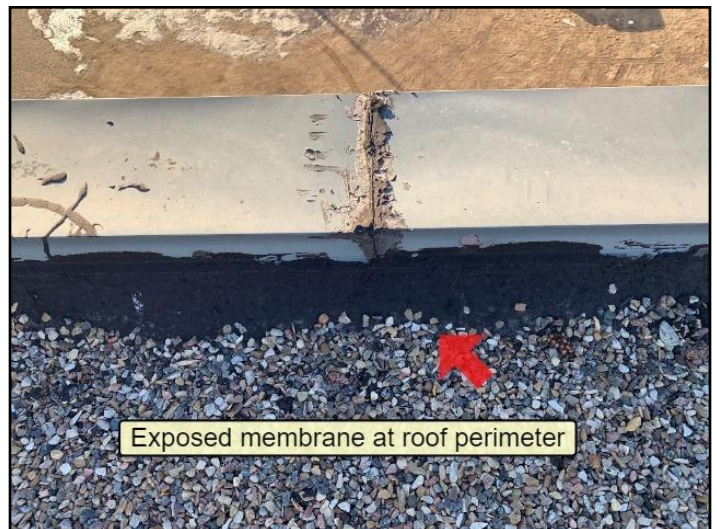
68. *Beyond typical life expectancy*



69. *Wind scouring*



70. *Previous repairs noted*



71. *Exposed membrane at roof perimeter*

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72. Beyond typical life expectancy



73. Blistering



74. Previous repairs noted



75. Prior repairs noted

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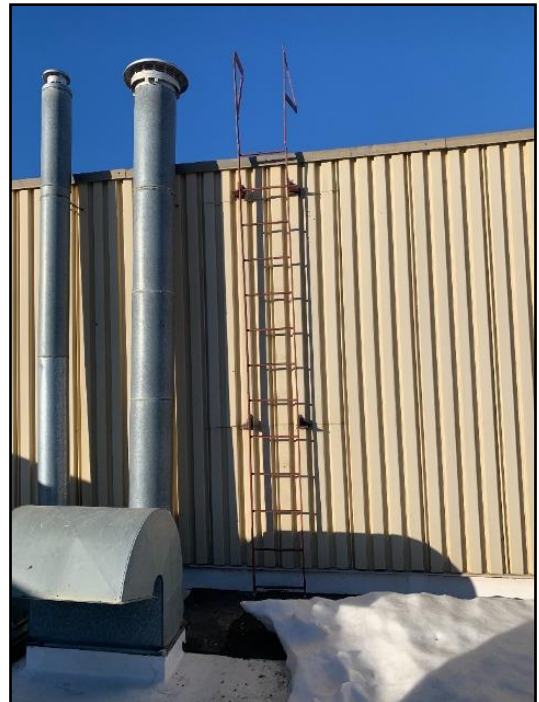
76. Ponding water

ROOFING SYSTEM \ Example Roofing Photos

53. Condition: • Example Roofing Photos



77. Example of Roof access



78. Example Roof access

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79. Example Roof photos



80. Example Roof photos



81. Example Roof photos



82. Example Roof photos

Building System Descriptions

General:

- The fire protection sprinklers maintenance is provided by XYZ Medicine Hat company
- The Fire Alarm system maintenance is provided by XYZ Medicine Hat Company

Finished area floor coverings: • Concrete

Finished area floor coverings: • Floor tile

Wall finishes: • Drywall • Masonry

Ceiling finishes: • Suspended tile

Life Safety / Fire Protection:

- Exit Lights
- Battery pack emergency lights
- Fire Alarm panel addressable manufacturer Notifier
- Current Fire Alarm system verification record posted at panel
- Fire alarm horn/strobe signaling devises
- Fire alarm manual pull station initiation devices
- Fire alarm smoke detector initiation devices
- Sprinkler system flow monitored by fire alarm system
- Wet sprinkler system
- Fire pump electric Booster pump

Staircases: • Concrete and steel

Inspection Methods and Limitations

General: • The field observer is not required to - comment on cosmetic issues, operate appliances or fixtures, report on sound transition class ratings or flammability regulations.

Basement / Crawlspace leakage: • Investigation in some areas was limited by storage. However, the presence of this storage directly on the floor suggests the absence of a chronic flooding problem • Since wet basement / crawlspace problems are usually intermittent, they cannot always be identified or quantified on a one-time visit. It is suggested that the basement be inspected during and after heavy rain and snowmelt periods to establish the extent of the basement moisture condition • Moisture problems in basements / crawlspaces can develop as a result of clogged, damaged or missing perimeter foundation drainage tiles. There is no way to observe this during a visual examination

Life Safety / Fire Protection: • The Fire Alarm system was not tested. The connection of the fire alarm system to a fire signal receiving center was not verified. • The emergency lighting was not tested • The fire protection sprinkler system was not tested

Observations and Recommendations

OVERALL CONDITION, LEVEL OF MAINTENANCE, RECOMMENDATION AND SHORT TERM COST \ INTERIOR

54. Condition: • B - The overall condition of the Interior system is serviceable.

55. Condition: • C - The general level of maintenance is significantly deferred in some respects.

56. Condition: • B - The Interior system will require minor to moderate repairs.

57. Condition: • Recommend remedying outstanding deferred maintenance in the short term.

58. Condition: • Total opinion of costs required in the short term for the Interior system. (Please refer to the Appendix for details)

\$1,500 Repair concrete steps on stair well

\$5,000 Replace floor tiles bathrooms and 2nd floor

\$53,000 Replace main floor carpets

\$7,000 Repair water damaged walls and ceilings

\$15,000 Replace suspended ceiling tiles

\$81,500 Total

OVERALL CONDITION, LEVEL OF MAINTENANCE, RECOMMENDATION AND SHORT TERM COST \ LIFE SAFETY / FIRE PROTECTION

59. Condition: • B - The overall condition of the Life Safety / Fire Protection system is serviceable.

60. Condition: • B - The general level of maintenance has been adequate for the most part, somewhat deferred.

61. Condition: • C - The building's Life Safety / Fire Protection systems will require moderate to major repairs in the short term.

62. Condition: • Recommend remedying outstanding deferred maintenance in the short term.

63. Condition: • Recommend updating ageing components in the short term.

64. Condition: • Total opinion of costs required in the short term for the Life Safety / Fire Protection system. (Please refer to the Appendix for details)

\$3,000 Fire alarm system further investigation by contractor

\$25,000 Updating fire alarm system after further investigation by contractor

\$6,000 Repair emergency lighting system

\$7,500 Sprinkler system valves connection to fire alarm system

\$41,500 Total

INTERIOR \ General

65. Condition: • Water stain

Implication(s): Material deterioration

Location: Second Floor

Task: Monitor undergo further investigation then repair

Time: Less than 1 year

Cost: \$2,000 - 4,000

INTERIOR COMPONENTS

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83. Water stain



84. Water stain



85. Water stain

66. Condition: • Damaged

There are several areas with a missing or damaged ceiling. There is approximating 37,500 square feet of T bar Ceiling approximately 15% of which needs to be replaced

Location: Throughout Main Floor Second Floor Basement

Task: Replace

Time: Less than 1 year

Cost: \$14,000 - \$16,000

INTERIOR COMPONENTS

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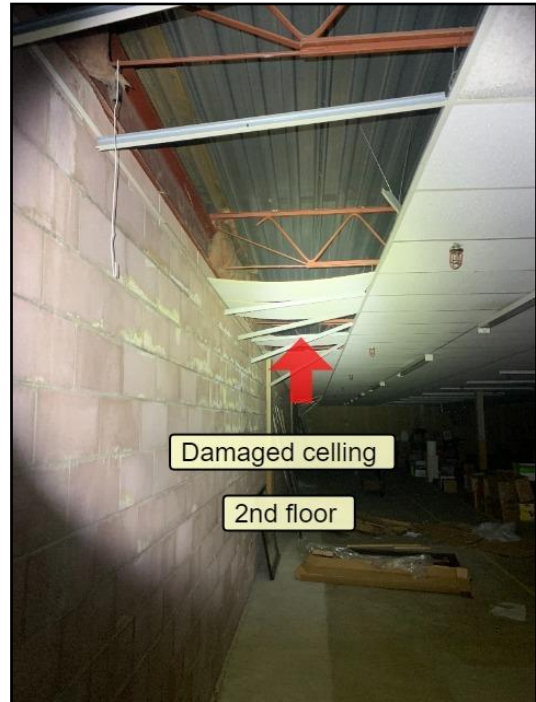
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86. Damaged ceiling



87. Damaged ceiling



88. Sagging ceiling



89. Damaged Ceiling

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90. Damaged ceiling



91. Damaged ceiling

INTERIOR SURFACES - WALLS AND CEILINGS \ General

67. Condition: • Water stain

Water damage to walls from water leaks

Location: Second Floor

Task: Monitor, undergo further investigation then repair

Time: Less than 1 year

Cost: \$3,000 - \$5,000



92. Water heater area Water stain



93. Water stain above shipping area

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94. Water stain



95. Water stain under South stairs

INTERIOR SURFACES - FLOORS \ General

68. Condition: • Loose tiles

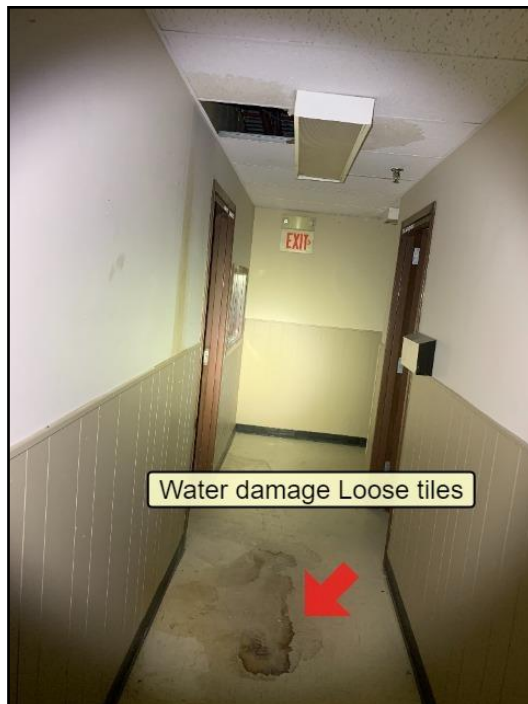
Damaged floor tiles from water leaks

Location: Basement & 2nd floor bathroom and office

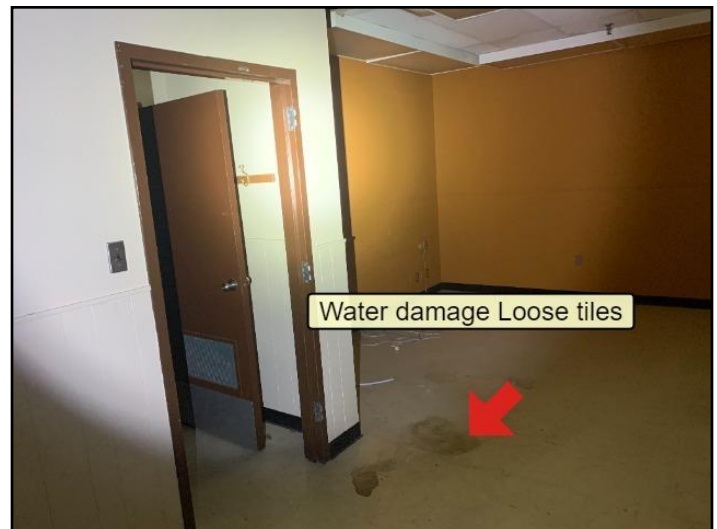
Task: Repair

Time: Less than 1 year

Cost: \$4,000 - \$6,000



96. Water damage Loose tiles



97. Water damage Loose tiles

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98. Loose tiles



99. Loose tiles

69. Condition: • Worn carpet

Approximately 13,000 square feet of carpet

Location: Main Floor

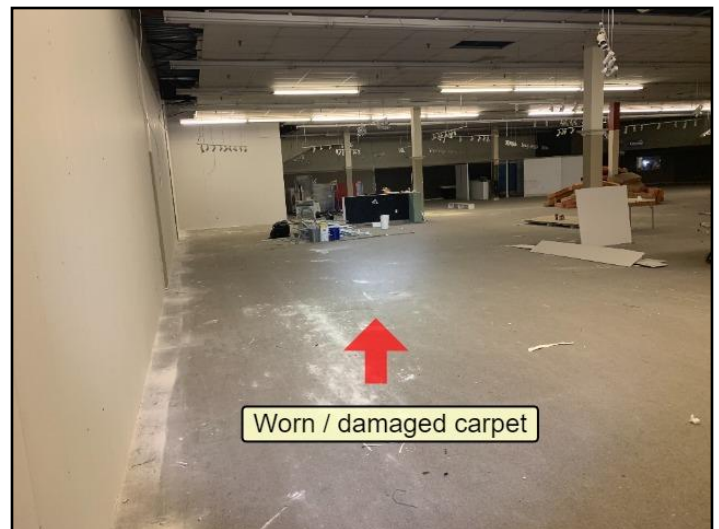
Task: Replace

Time: Less than 1 year

Cost: \$50,000 - \$54,000



100. Worn / damaged carpet



101. Worn / damaged carpet

STAIRWELLS \ General

70. Condition: • Crumbling concrete on steel stair case from shipping to basement

Implication(s): Safety Concern

Location: West Staircase

Task: Repair this is a tripping hazard

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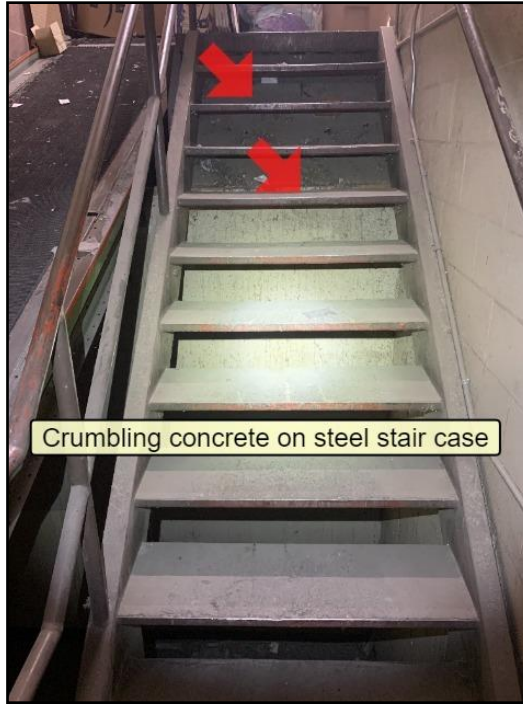
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Time: Immediate

Cost: \$1,000 - \$2,000



102. *Crumbling concrete on steel stair case*

LIFE SAFETY / FIRE PROTECTION \ Emergency Lighting

71. Condition: • Inoperable

Most of the Exit signs and Emergency lights are not operational.

Implication(s): Safety Concern

Location: Throughout Main Floor Second Floor Basement

Task: Repair

Time: Immediate

Cost: \$5,000 - \$7,000

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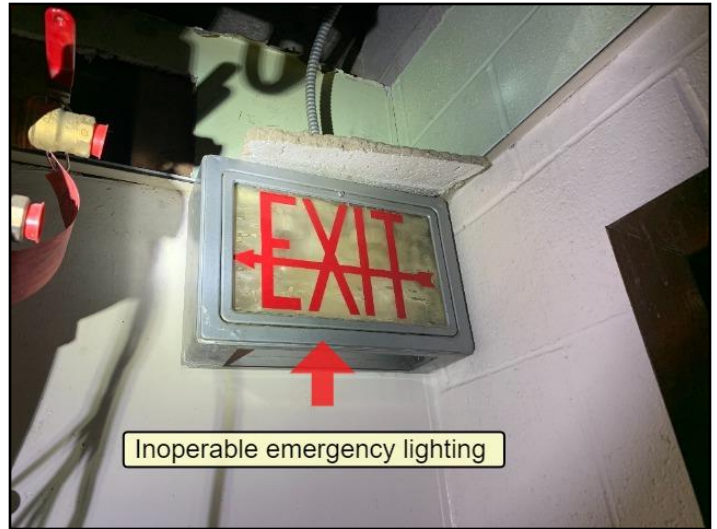
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103. Inoperable emergency lighting



104. Inoperable emergency lighting



105. Damaged emergency lighting

LIFE SAFETY / FIRE PROTECTION \ Fire Alarm System

72. Condition: • Old Fire Alarm system

The Fire Alarm system is old and the wiring methods are suspected to be inadequate. It is recommended that it be verified by a fire alarm contractor and then further evaluated to determine the proper course of action.

Implication(s): Safety Concern

Location: Throughout

Task: Further investigation | Replace

Time: Immediate | Less than 2 years

Cost: Further investigation \$3,000 Replace \$20,000 - \$30,000

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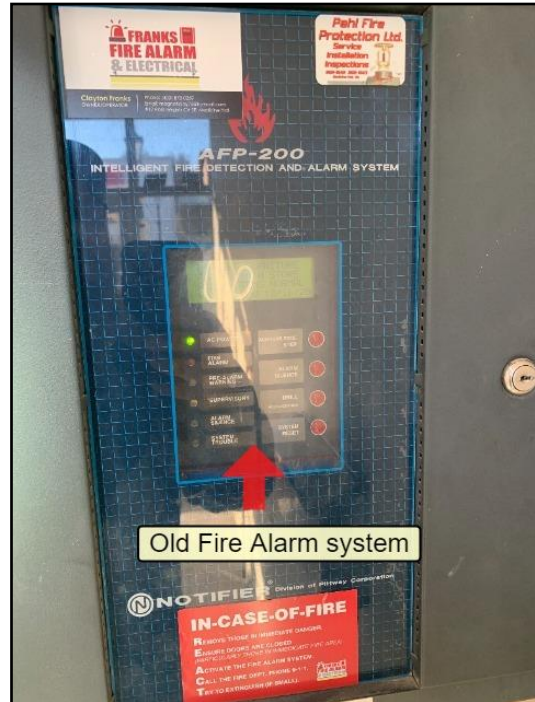
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106. Old Fire Alarm system



107. Old Fire Alarm system

LIFE SAFETY / FIRE PROTECTION \ Fire Protection Sprinkler System

73. Condition: • Fire alarm monitoring devices not connected to fire alarm system

Sprinkler system valves are not connected to the fire alarm system

Implication(s): Safety Concern

Location: South Basement main sprinkler pipe

Task: Provide

Time: Less than 1 year

Cost: \$5,000 - \$10,000



108. Sprinkler monitoring devices not connected

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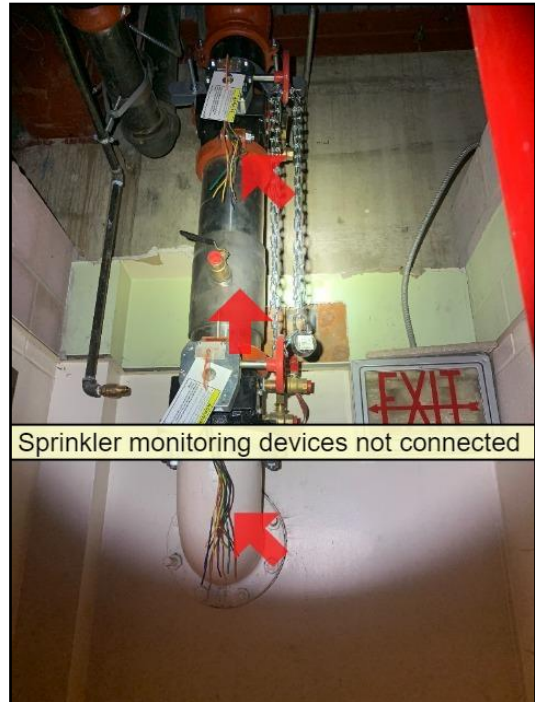
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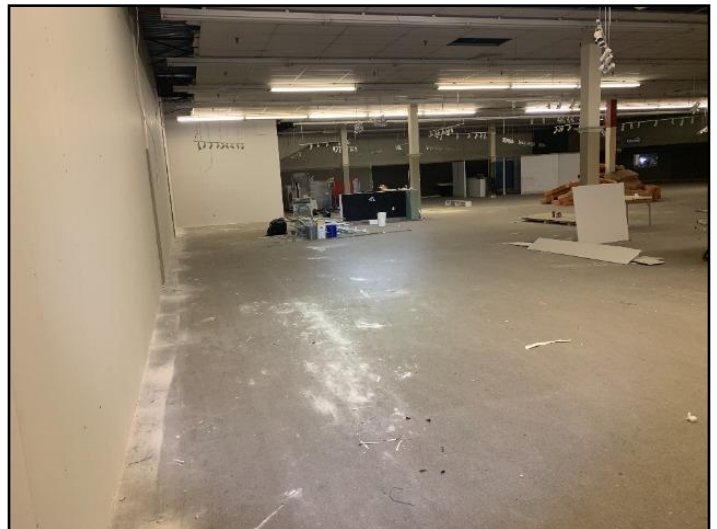
109. Sprinkler monitoring devices not connected

LIFE SAFETY / FIRE PROTECTION \ Example Interior Photos

74. Condition: • Example Interior Photos



110. Example of main floor store area



111. Example of main floor store area

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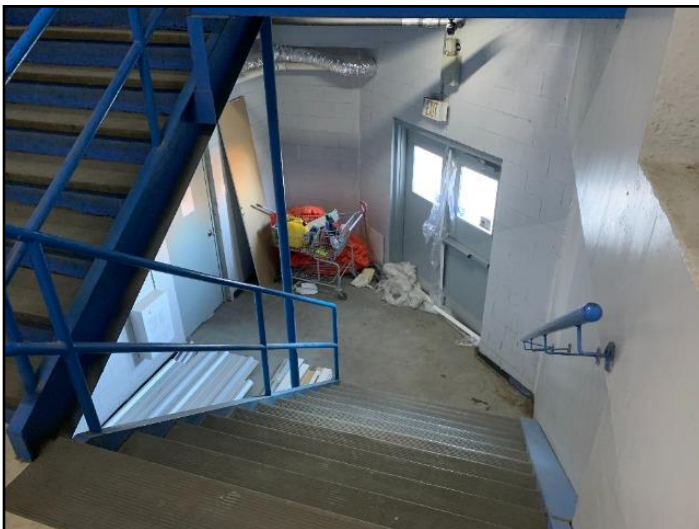
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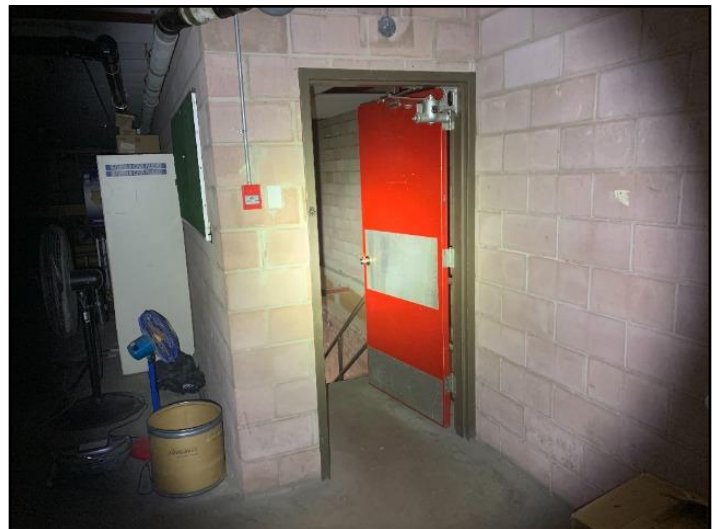
112. Example of main floor store area



113. Concrete and steel



114. Example of North exterior door



115. Example interior steel fire door

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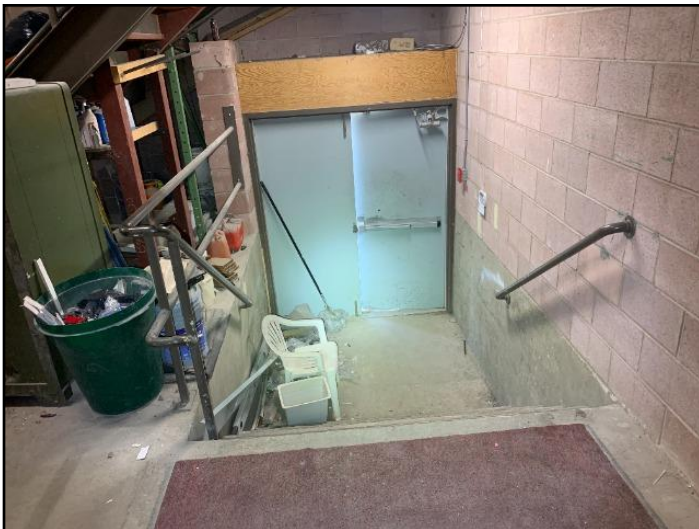
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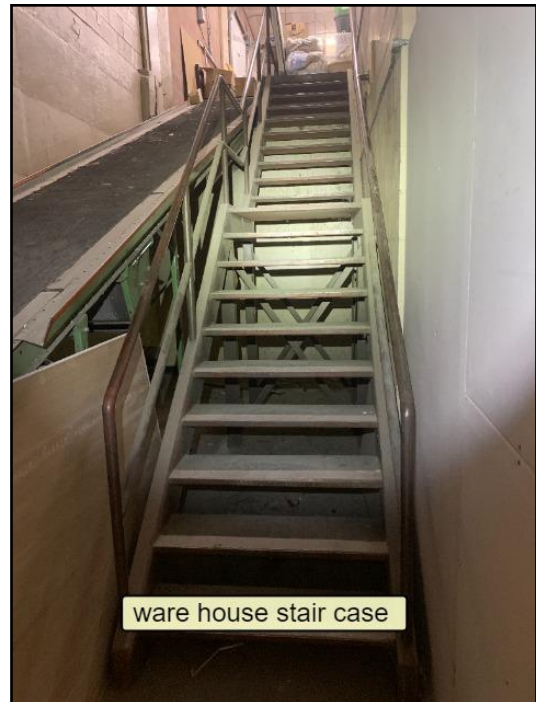
116. Example of 2nd floor office area



117. Example of 2nd floor office area



118. Example of West main floor exit



119. Concrete and steel

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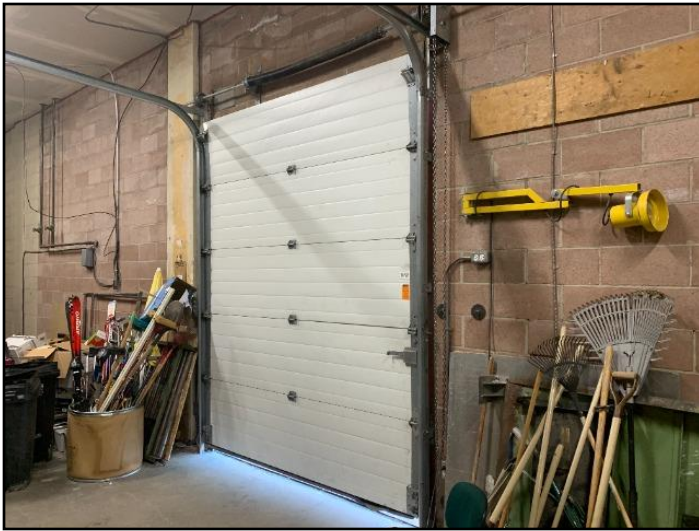
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120. Example of loading dock door



121. Concrete and steel

LIFE SAFETY / FIRE PROTECTION \ Example Life Safety / Fire Protection Photos

75. Condition: • Example Life Safety / Fire Protection Photos



122. Example Emergency light battery pack



123. Old Fire Alarm system

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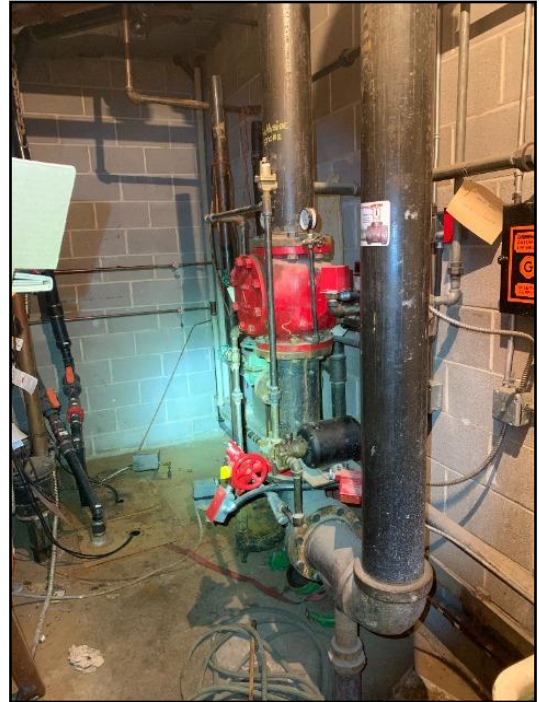
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124. Example main fire protection sprinkler pipe



125. Example fire protection sprinkler tree



126. Example Fire Alarm Panel



127. Example Fire Alarm Horn/strobe

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128. Example Fire Alarm smoke detector



129. Example Fire Alarm verification report posted

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Building System Descriptions

Basement wall insulation material and approximate value: • Not insulated • Fiberglass insulation • R-8

Above grade wall insulation and approximate value: • R-8 • Could not be determined because it was not visible

Flat roof insulation and approximate value: • Rigid foam insulation • R-8

Typical Insulation life expectancy: • It should be understood that increasing insulation levels in a building is an improvement rather than a repair. Energy usage is, however, an ongoing consideration.

Inspection Methods and Limitations

General: • Since access behind wall, ceiling and floor coverings could not be gained, no comment can be offered on the insulation or vapor barriers. • The field observer is not required to - open up walls, ceilings or finishes to inspect insulation, insulation cannot be disturbed

Foundation walls: • The extent or continuity of the insulation and vapor barriers cannot be determined

Above grade walls: • The extent or continuity of the insulation and vapor barriers cannot be determined

Flat roof: • The extent or continuity of the insulation and vapor barriers cannot be determined

Observations and Recommendations

OVERALL CONDITION, LEVEL OF MAINTENANCE, RECOMMENDATION AND SHORT TERM COST \ INSULATION

76. Condition: • A - The overall condition of the Insulation system is satisfactory.

77. Condition: • A - The general level of maintenance has been adequate.

78. Condition: • A - No major deficiencies were noted with the building's Interior system.

79. Condition: • Total opinion of costs required in the short term for the Insulation system. (Please refer to the Appendix for details)
0.00

80. Condition: • There are no recommendations

Building System Descriptions

Configuration: • Basement below building

Foundation wall material: • Poured-concrete • Concrete-block

Exterior walls: • Masonry

Internal framing: • Wood and dry wall construction • Steel stud and drywall construction

Floors: • Metal pan and concrete floors • Supported by open web steel joists • Supported by exterior walls • Supported by steel beams and columns

Roof: • Steel deck • Supported by open web steel joists • Supported by exterior walls and steel beams and columns

Inspection Methods and Limitations

General: • Interior and exterior finishes limited the evaluation of the structure • The examination of the structural components was visual only; a design review was not undertaken • Observations of the building's structural systems will be limited to vantage points that are on grade or from readily accessible balconies or rooftops.

The field observer is not required to - enter crawlspaces or confined spaces; however, the field observer should observe conditions to the easily visible from the point of access to the crawlspace or confined space area.

The field observer is not required to determine any previous substructure flooding or water penetration unless easily visible or if such information is provided.

Observations and Recommendations

OVERALL CONDITION, LEVEL OF MAINTENANCE, RECOMMENDATION AND SHORT TERM COST \ STRUCTURE

81. Condition: • A - The overall condition of the Structural system is satisfactory.

82. Condition: • A - The general level of maintenance has been adequate.

83. Condition: • A - No major deficiencies were noted with the building's Structural system.

84. Condition: • Total opinion of costs required in the short term for Structural system. (Please refer to the Appendix for details)

\$0

85. Condition: • There are no recommendations

WALLS \ Damage

86. Condition: • Cracked

Typical foundation cracks

Location: East Exterior

Task: Monitor

Time: Ongoing

Cost: \$0.00

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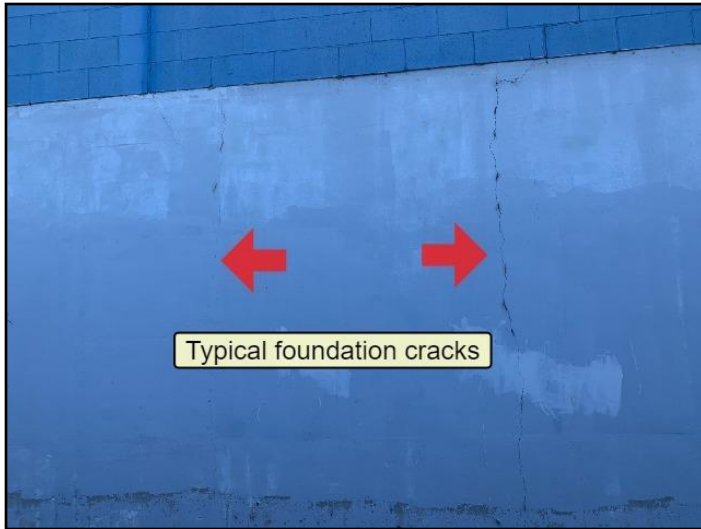
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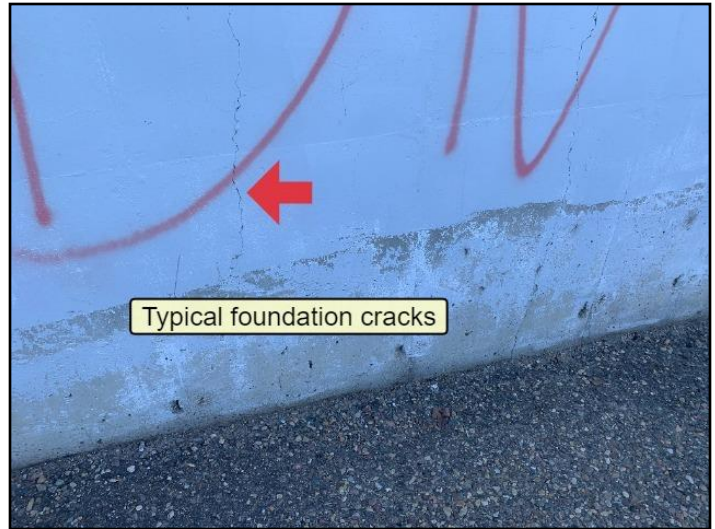
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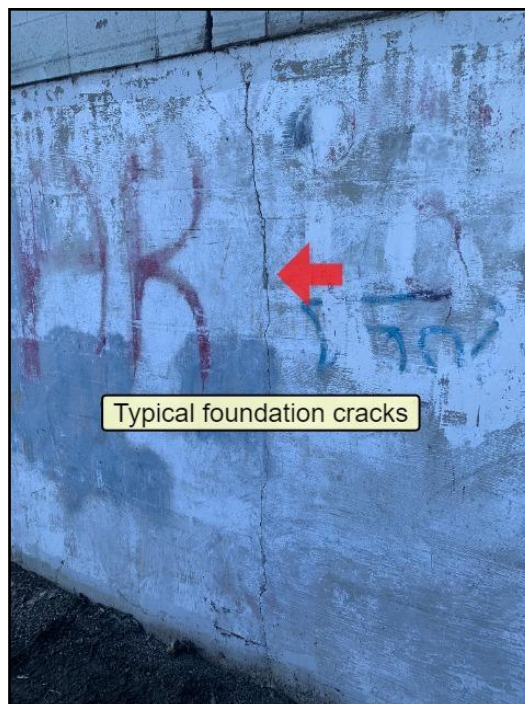
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130. Typical foundation cracks



131. Typical foundation cracks



132. Typical foundation cracks

87. Condition: • Water stains

Implication(s): Chance of water damage

Location: East exterior wall Second Floor

Task: Monitor Further investigation

Time: Less than 5 years

Cost: \$0.00

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133. Water stains



134. Water stains

STRUCTURAL SYSTEM \ Example Structure Photos

88. Condition: • Example Structure Photos



135. Example supported by open web steel joists



136. Example supported by steel beams and columns

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137. Example poured-concrete and cinder block



138. Example masonry walls



139. Example supported by exterior walls



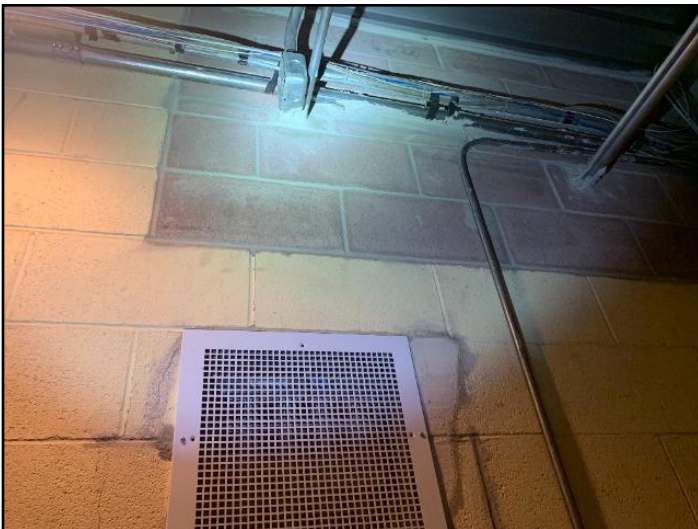
140. Example masonry walls



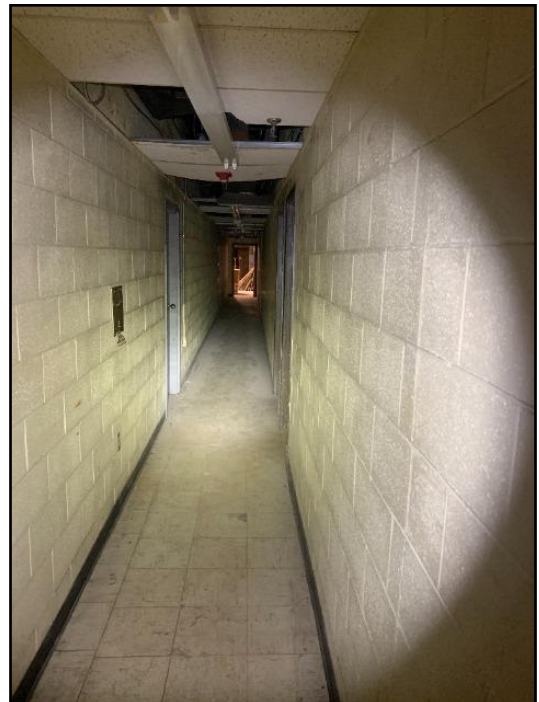
141. Example supported steel beams and columns



142. Example steel beams supporting steel deck



143. Example Cinder block repairs



144. Example masonry walls basement hallway

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Building System Descriptions

Exterior walls: • Cinder block • Metal siding • Stucco

Main entrance doors: • Aluminum-framed

Personnel/exit doors: • Steel-framed

Overhead doors: • Steel sectional

Building windows: • Aluminum-framed • Double-glazed

Retaining walls: • Poured concrete

Pavement: • At west • Concrete pavement: At loading docks

Parking spaces: • 30 to 40 parking spaces

Sidewalks and walkways: • At south

Signs: • Lighted sign boxes on front façade

Inspection Methods and Limitations

General: • Observations of the building's exterior systems will be limited to vantage points that are on grade or from readily accessible balconies or rooftops.

Sidewalks and walkways: • The sidewalk is city poured, and thus was not closely examined

Observations and Recommendations

OVERALL CONDITION, LEVEL OF MAINTENANCE, RECOMMENDATION AND SHORT TERM COST \ EXTERIOR

89. Condition: • A - The overall condition of the Exterior system is satisfactory.

90. Condition: • B - The general level of maintenance has been adequate for the most part, somewhat deferred.

91. Condition: • B - The Exterior system will require minor to moderate repairs.

92. Condition: • C - The Exterior system will require major repairs or replacements in the short term.

93. Condition: • Total opinion of costs required in the short term for the Exterior system. (Please refer to the Appendix for details)

\$5,000 Repointing / Repair masonry crack

\$3,000 Repair damaged exterior cladding

\$50,000 Replace deteriorated asphalt in parking lot

\$58,000 Total

WALLS \ Masonry

94. Condition: • Cracks

There are typical settling cracks in the cinder block walls and some of the cinder blocks are loose.

Implication(s): Chance of water damage

Location: North, East, West exterior Wall Outside

Task: Repair

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Time: less than 2 years

Cost: \$4,000 - \$6,000



145. Typical settling cracks



146. Typical settling cracks



147. Typical settling cracks



148. Typical settling cracks

WALLS \ Metal cladding

95. Condition: • Damage

Implication(s): Chance of water damage

Location: South Exterior Wall Inside Exterior Wall Outside Roof

Task: Repair

Time: Less than 5 years

Cost: \$2,000 - \$4,000

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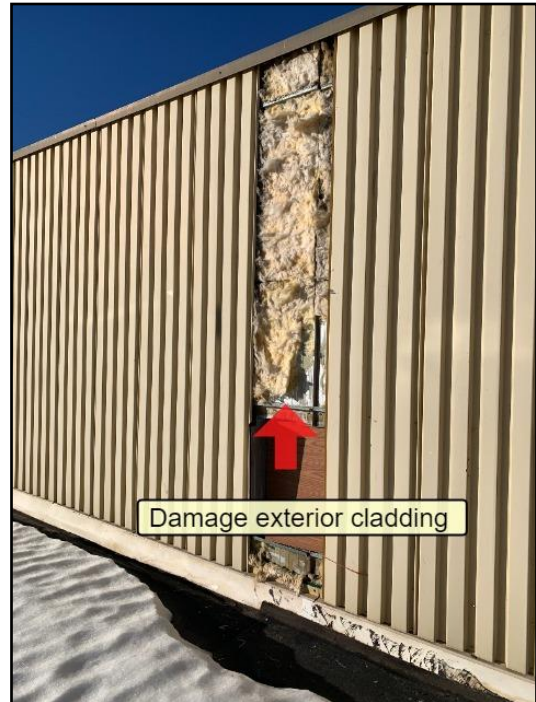
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Damage interior

149. Damage interior



Damage exterior cladding

150. Damage exterior

EXTERIOR \ Asphalt pavement

96. Condition: • Widespread surface deterioration

Parking lot is Approximately 6,800 m2

Implication(s): Material deterioration

Location: Throughout parking lot

Task: Replace

Time: Less than 5 years

Cost: \$40,000.00 to \$60,000



Widespread asphalt surface deterioration

151. Widespread surface deterioration



Widespread surface deterioration

152. Widespread surface deterioration

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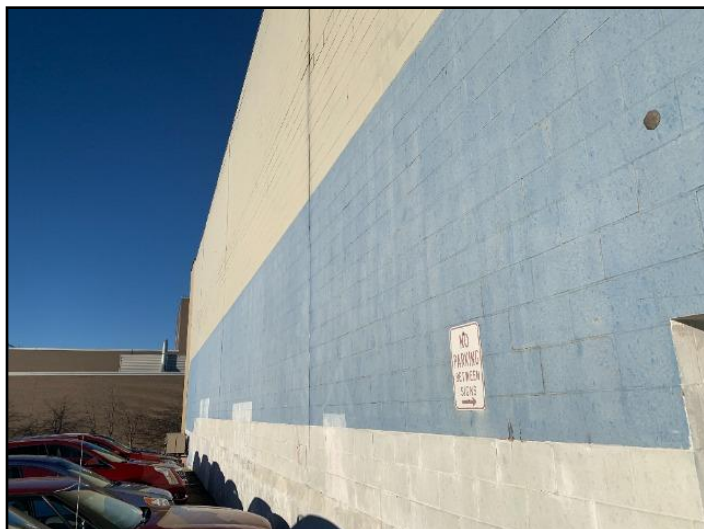
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EXTERIOR SYSTEM \ Example Exterior Photos

97. Condition: • Example Exterior Photos



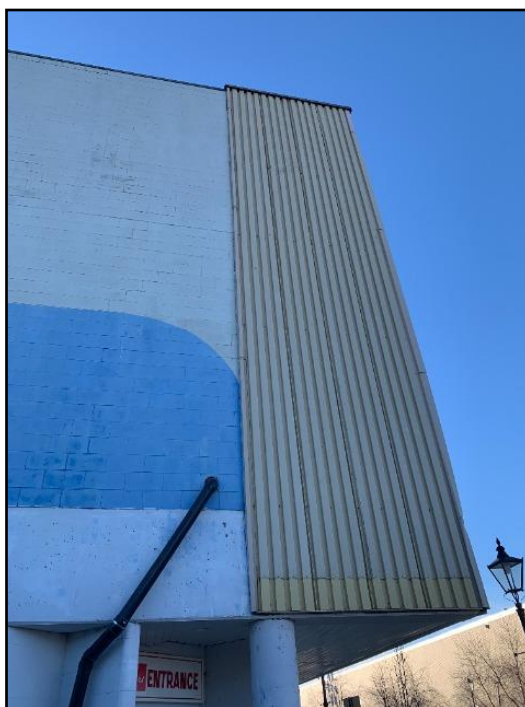
153. Example West loading dock



154. Example East side



155. Example North exit back door



156. Example East exterior

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157. Example North side



158. Example North fire exit



159. Example South side Front



160. Example South side front

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Hat Property Inspections - Westley Franks - 403-977-7017 - wes@hatpropertyinspections.ca - 130 7th Street NE Medicine Hat AB T1A 5P6

Reserve fund forecast summary of costs for recommended repairs and replacements 5 year outlook (2021Dollars)

Date: January 1 2021
Client: John Smith ABC Company Inc.
Property Address: 123 Main Street Medicine Hat AB

RECOMMENDATION	Budget Cost Estimate	Priority	Qty	Units	Average Cost per Unit	Time Frame years	Total Average Budget Cost Estimate	Years out					
								0	1	2	3	4	5
								2021	2022	2023	2024	2025	2026
ELECTRICAL								-	-	-	-	-	-
Electrical switch gear cleaning and lubrication and further investigation	\$3,000	Immediate	1	Lump sum	\$3,000	0	\$3,000	3,000	-	-	-	-	-
Updating main electrical switch gear after contractor further investigation	\$25,000	2 years	1	Lump sum	\$25,000	2	\$25,000	-	-	25,000	-	-	-
Updating distribution panel breakers after contractor further review	\$25,000	2 years	1	Lump sum	\$25,000	2	\$25,000	-	-	25,000	-	-	-
Various Electrical repairs	\$5,000	1 year	1	Lump sum	\$5,000	1	\$5,000	-	5,000	-	-	-	-
Replace warehouse light & 2nd floor fixtures	\$13,500	1 year	1	Lump sum	\$13,500	1	\$13,500	-	13,500	-	-	-	-
								-	-	-	-	-	-
TOTAL ELECTRICAL							\$71,500						
								-	-	-	-	-	-
HEATING													
Replace (RTU) rooftop heating & air condition unit (20tons)	\$18,000	1 year	2	each	\$18,000	1	\$36,000	-	36,000				
Replace warehouse unit heaters	\$20,000	2 years	5	each	\$4,000	2	\$20,000	-	-	20,000	-	-	-
TOTAL HEATING							\$56,000						
								-	-	-	-	-	-
AIR CONDITIONING													
TOTAL AIR CONDITIONING							\$0						
								-	-	-	-	-	-
VENTILATION													
Replace rooftop exhaust fans		1 year	3	each	\$4,000	1	\$12,000	-	12,000	-	-	-	-
TOTAL VENTILATION							\$12,000						
								-	-	-	-	-	-
PLUMBING													
Updating supply and waste piping after contractor further investigation	\$3,000	1 year	1	Lump sum	\$3,000	1	\$3,000	-	3,000	-	-	-	-
Plumbing system further investigation by contractor	\$25,000	2 years	1	Lump sum	\$25,000	2	\$25,000	-	-	25,000	-	-	-
Replace older domestic gas water heaters	\$3,000	2 years	2	each	\$3,000	5	\$6,000	-	-	-	-	-	6,000
Replace solid waste pump	\$5,000	Immediate	1	Lump sum	\$5,000	0	\$5,000	5,000	-	-	-	-	-
Replace urinal	\$3,000	1 year	3	each	\$1,000	1	\$3,000	-	3,000	-	-	-	-
Replace toilet	\$8,000	1 year	8	Lump sum	\$1,000	1	\$8,000	-	8,000	-	-	-	-
Replace sink basin & faucet	\$7,000	1 year	10	Lump sum	\$700	1	\$7,000	-	7,000	-	-	-	-

APPENDIX

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EXECUTIVE S	SUMMARY B	HEATING	ELECTRICAL	AIR CONDITI	VENTILATION	PLUMBING	ROOFING	INTERIOR CO	INSULATION
STRUCTURE	EXTERIOR C	APPENDIX							

RECOMMENDATION	Budget Cost Estimate	Priority	Qty	Units	Average Cost per Unit	Time Frame years	Total Average Budget Cost Estimate	Years out					
								0	1	2	3	4	5
								2021	2022	2023	2024	2025	2026
TOTAL Plumbing							\$57,000						
								-	-	-	-	-	-
ROOFING													
Replace built-up asphalt roof membrane	\$234,000	3 years	19500	sq ft	\$12	3	\$234,000	-	-	-	234,000	-	-
TOTAL ROOFING							\$234,000						
INTERIOR								-	-	-	-	-	-
Replace concrete steps on stair well	\$1,500	Immediate	1	Lump sum	\$1,500	0	\$1,500	1,500	-	-	-	-	-
Replace carpet floor covering	\$53,000	1 year	13250	sq ft	\$4	1	\$53,000	-	53,000	-	-	-	-
Replace floor tile bathrooms & 2nd floor	\$5,000	1 year	1	Lump sum	\$5,000	1	\$5,000	-	5,000	-	-	-	-
Repair water damaged walls	\$7,000	1 year	1	Lump sum	\$7,000	1	\$7,000	-	7,000	-	-	-	-
Replace suspended ceiling tile	\$15,000	1 year	6667	sqft	\$2	1	\$15,000	-	15,000	-	-	-	-
TOTAL INTERIOR							\$81,500						
LIFE SAFETY / FIRE PROTECTION													
Fire alarm system further investigation by contractor		immediate	1	Lump sum	\$3,000	0	\$3,000	3,000	-	-	-	-	-
Updating Fire Alarm wiring after contractor further investigation		2 years	1	Lump sum	\$25,000	2	\$25,000	-	-	25,000	-	-	-
Repair and replace emergency Lighting		immediate	1	Lump sum	\$6,000	0	\$6,000	6,000	-	-	-	-	-
Sprinkler system valves connection to fire alarm system		1 year	1	Lump sum	\$7,500	1	\$7,500	-	7,500	-	-	-	-
TOTAL LIFE SAFETY / FIRE PROTECTION							\$41,500						
INSULATION													
TOTAL INSULATION							\$0						
STRUCTURE								-	-	-	-	-	-
TOTAL STRUCTURE							\$0						
								-	-	-	-	-	-

APPENDIX

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EXECUTIVE S

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APPENDIX

RECOMMENDATION	Budget Cost Estimate	Priority	Qty	Units	Average Cost per Unit	Time Frame years	Total Average Budget Cost Estimate	Years out						
								0	1	2	3	4	5	
								2021	2022	2023	2024	2025	2026	
EXTERIOR														
Repair east & west masonry wall	\$5,000	2 years	1	Lump sum	\$5,000	2	\$5,000	-	-	5,000	-	-	-	
Repair damaged exterior cladding	\$3,000	1 year	1	Lump sum	\$3,000	1	\$3,000	-	3,000	-	-	-	-	
Replace asphalt paving - west parking lot	\$50,000	5 years	20000	sq ft	\$3	5	\$50,000	-	-	-	-	-	50,000	
								-	-	-	-	-	-	
TOTAL EXTERIOR							\$58,000	58,000	-	-	-	-	-	
							TOTALS	\$76,500	\$178,000	\$125,000	\$234,000	\$0	\$56,000	

NOTE* The above average costs for repairs are estimated, these costs should be considered preliminary and budgetary. They are intended to provide an order of magnitude only, and do not include any engineering, design or construction management fees, contingencies or taxes. All sizes and quantities noted are approximate based on site observations and are for the purposes of this report only. Contractors should be consulted to provide proper quotations prior to undertaking any repairs.

NOTE * The time frame for replacement is estimated, as the exact time frame is unpredictable by nature.

Cost Summary	\$ 76,500
Total cost immediately	\$ 178,000
Total cost 1st year	\$ 125,000
Total cost 2nd year	\$ 234,000
Total cost 3rd year	\$ -
Total cost 4th year	\$ 56,000
Total cost 5th year	
Grand Total 5 year outlook	\$ 669,500