



YOUR INSPECTION REPORT

Inspection, Education, Knowledge.

PREPARED BY:
ADAM HANNAN



FOR THE PROPERTY AT:
10 Seaforth Avenue
Toronto, ON M6K 1N5

PREPARED FOR:
GILLIAN RITCHIE

INSPECTION DATE:
Tuesday, March 23, 2021

TIP

THE
INSPECTION
PROFESSIONALS

THE INSPECTION PROFESSIONALS, INC.
3120 Rutherford Rd.
Concord, ON L4K 0B2

416-725-5568
HST# 89249 4501 RT0001

www.inspectionpros.ca
adam@inspectionpros.ca





March 24, 2021

Dear Gillian Ritchie,

RE: Report No. 2860, v.2
10 Seaforth Avenue
Toronto, ON
M6K 1N5

Thank you for choosing The Inspection Professionals to perform your Home Inspection.

The Inspection Professionals (TIP) is a Full-Time Professional, Certified multi-inspector award-winning company founded by Adam Hannan. Since 2006, Adam has performed thousands of residential and commercial inspections and has become a respected expert in his field. Adam has a passion for education and has been an inspection instructor teaching at Community Colleges and Universities since 2009.

Adam is a member of the Ontario Association of Home Inspectors and International Association of Certified Home Inspectors.

"We inspect every home as if we were buying it for ourselves. We care about our clients and we strive to exceed expectations. We offer a professional unbiased opinion of the current performance of the home regardless of who we are working for."

-Adam

BUYERS -

An Onsite Review is an essential component to a complete home inspection. In order to more thoroughly familiarize yourself with the property and our findings, please book an Onsite Review at your convenience by calling (416) 725-5568. Once we have completed the Onsite Review, we will transfer the inspection report to the buyer. The fee for this service is only \$249. (A minimum savings of \$175). A full phone report review is also available for \$97.00

Sincerely,

ADAM HANNAN
on behalf of
THE INSPECTION PROFESSIONALS, INC.

THE INSPECTION PROFESSIONALS,
INC.
3120 Rutherford Rd.
Concord, ON L4K 0B2
416-725-5568
HST# 89249 4501 RT0001
www.inspectionpros.ca
adam@inspectionpros.ca

SUMMARY

10 Seaforth Avenue, Toronto, ON March 23, 2021

Report No. 2860, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

MORE INFO

APPENDIX

REFERENCE

This Summary outlines some of the potentially short-term significant issues from a cost standpoint. This section is provided as a COURTESY ONLY and cannot be considered a substitute for reading the entire report. Please read the complete document.

It is not possible for a home inspector to predict the future. It would be advisable to annually budget between 0.5% to 1% of the value of the home for unforeseen repairs and maintenance. This would hold true for any house that you were considering.

Things will wear out, break down, and fail without warning. This is a fact of home ownership.

We adhere to the CAHPI Standards of Practice which can be viewed here:

[CAHPI_2012_Standards_of_Practice_verf-aug_22_final_ver041519.pdf](#)

***This solid masonry attached home is in above average condition overall as compared to homes of similar age and style.

The home features newer renovations throughout. The renovations appeared to be performed professionally with premium quality finishes.

The electrical system is powered by a 100-amp service. The wiring system is copper and the majority has been upgraded.

As is typical with homes of this age, there is a mix of newer and older systems and components.***

NOTE: ALL ELECTRICAL ISSUES ARE CONSIDERED PRIORITY ITEMS

NOTE: FOR BALLPARK COSTS THE TERM 'MINOR' REFERS TO COSTS UNDER \$500

NOTE: FOR DIRECTIONAL PURPOSES USED THROUGHOUT THE REPORT, THE "FRONT" OF THE HOUSE IS REFERENCED AS FACING THE FRONT DOOR FROM THE EXTERIOR.

During a home inspection we inspect all visible systems and components. There are literally hundreds of potential minor issues found in every home, new and old. The inspection is not a technical audit on every minor flaw or deficiency. A technical audit can be performed at an additional cost. The focus of this inspection was to identify MAJOR issues with major systems and components. To simplify and give you a better understanding of what is considered a major issue, the inspection can generally be categorized as follows:

1)OBSERVABLE STRUCTURAL DEFECTS

2)OBSERVABLE WATER LEAKAGE/DAMAGE Roof, Plumbing, and basement moisture intrusion.

3)OBSERVABLE ELECTRICAL DEFECTS

4)LIFESPAN SYSTEMS- Roof Covering, Heating System, Cooling System, Windows

Disclaimer / Note to prospective buyers: This inspection report was performed for our client(s) as named on the report. We take no responsibility or hold no liability until an onsite review is purchased by the buyer and an onsite review is performed by our company and our inspection agreement of limitations and liability are signed. By accepting the information in this report without our onsite review, you are waiving all rights.

SUMMARY

10 Seaforth Avenue, Toronto, ON March 23, 2021

Report No. 2860, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

MORE INFO

APPENDIX

REFERENCE

For Ballpark costs of various home components, please click here:

<http://www.inspectionlibrary.com/costs.htm>

Electrical

DISTRIBUTION SYSTEM \ Knob-and-tube wiring

Condition: • The home has undergone renovations and wiring upgrades throughout. The panel contains modern wiring. All the outlets we tested were grounded. We found one line of knob and tube near the attic hatch that was live. Verifying if the amount of knob tube present is outside the scope of work.

Location: Attic

Task: Remove

Time: As needed

Cost: Variable on amount remaining.

Heating

GAS FURNACE \ Venting system

Condition: • [Poor connections](#)

Minor leak of exhaust condensation noted at vent connector. See photo.

Location: Crawl Space

Task: Repair connection

Time: Immediate

Cost: Minor

Plumbing

WATER HEATER \ Temperature/pressure relief (TPR) valve

Condition: • [Missing](#)

Rinnai tankless water heaters typically require a pressure relief valve and discharge tube. Consult with specialist

Location: Basement

Task: Further evaluation / Correct

Time: Immediate

Cost: Minor

WASTE PLUMBING \ Floor drain

Condition: • [Not found](#)

Most homes have a floor drain. We did not find the floor drain. It may be under flooring or in an area not observable. Recommendation is to locate floor drain and expose. (may not be present due to lowered basement floor) If floor drain is not present at the lowest level of the basement, provide floor drain or sump pit and pump.

Location: Basement

Task: Locate or Provide floor drain or sump pit at lowest level of basement.

Time: Less than one year

Cost: Highly variable. consult plumber if necessary.

SUMMARY

10 Seaforth Avenue, Toronto, ON March 23, 2021

Report No. 2860, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

MORE INFO

APPENDIX

REFERENCE

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

<http://www.inspectionlibrary.com/wtgw.htm>

ROOFING

10 Seaforth Avenue, Toronto, ON March 23, 2021

Report No. 2860, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

MORE INFO

APPENDIX

REFERENCE

Descriptions

Sloped roofing material:

- [Asphalt shingles](#)



1. Asphalt shingles

Flat roofing material:

- [Modified bitumen membrane](#)



2. Modified bitumen membrane

Approximate age:

- 6 years
- As reported by seller

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • General Recommendation for all homes - Strip Roof Covering when replacing. When replacing a roof covering, it is common to apply a second layer over the first to minimize costs. Best practice however, is to remove the old roof covering before installing the new roof. Adding a third layer of roofing is not recommended. It is common when re-roofing to find concealed damage to roofing boards, these and other hidden components. There is no practical way to predict the presence or extent of the damage.

RECOMMENDATIONS \ Overview

Condition: • No roofing recommendations are offered as a result of this inspection.

Inspection Methods and Limitations

General: • Most roofs are susceptible to ice damming under the right weather conditions. This is where ice forms at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather

Inspection performed: • From roof edge

EXTERIOR

10 Seaforth Avenue, Toronto, ON March 23, 2021

Report No. 2860, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

MORE INFO

APPENDIX

REFERENCE

Descriptions

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout discharge: • [Above grade](#)

Lot slope: • [Away from building](#) • [Flat](#)

Wall surfaces and trim: • [Metal siding](#)

Wall surfaces - masonry: • [Brick](#)

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • All Exterior issues have POTENTIAL worst-case implications such as damage to contents, structure and/or finishes, and personal safety.

ROOF DRAINAGE \ Downspouts

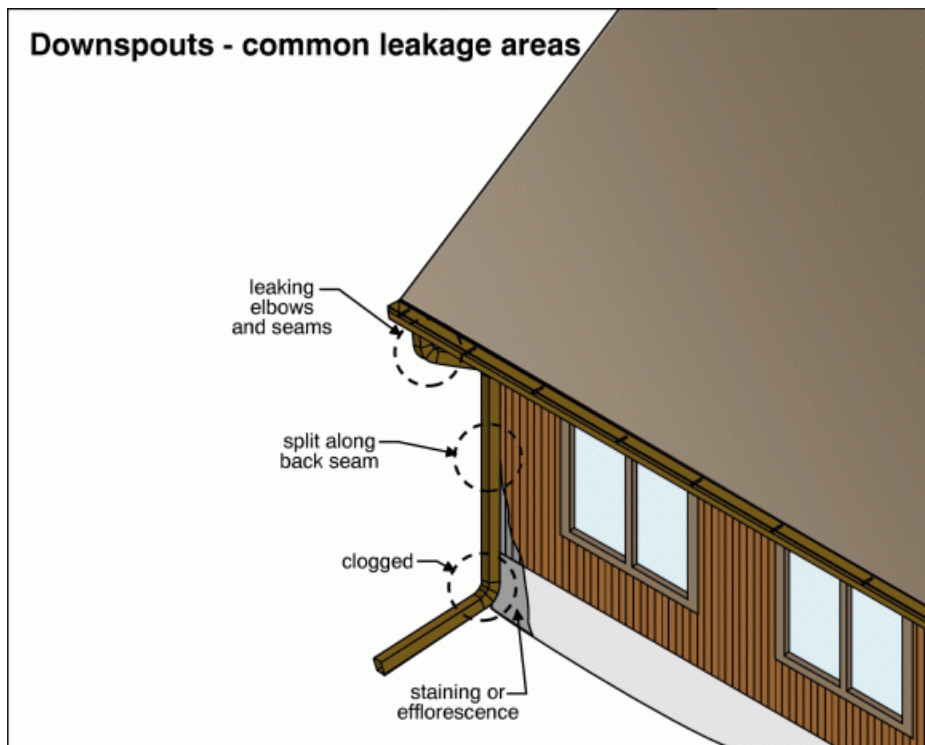
Condition: • [Damage](#)

Location: Front Exterior

Task: Repair and extend further away from column

Time: Less than 1 year

Cost: Minor Regular maintenance item



EXTERIOR

10 Seaforth Avenue, Toronto, ON March 23, 2021

Report No. 2860, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

MORE INFO

APPENDIX

REFERENCE



3. Damage

Condition: • [Discharge onto roofs](#)

Improvement recommendation. Extend Downspout to lower gutter to protect roof from premature wear.

Location: Front Exterior Roof

Task: Improve

Time: Less than 1 year

Cost: Minor

Downspout running across roof

installing a downspout (from the secondary roof to the main gutter below) helps prevent localized roof wear



EXTERIOR

10 Seaforth Avenue, Toronto, ON March 23, 2021

Report No. 2860, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

MORE INFO

APPENDIX

REFERENCE



4. Discharge onto roofs

WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)

Condition: • Animal Activity

Prior repairs made to prevent animal entry. These types of steel mesh repairs are quite common in Toronto

Location: Front Exterior

Task: Monitor

Time: Ongoing



5. Animal Activity

WALLS \ Masonry (brick, stone) and concrete

Condition: • [Parging damaged or missing](#)

Location: Exterior walkout

Task: Patch

Time: Regular maintenance

EXTERIOR

10 Seaforth Avenue, Toronto, ON March 23, 2021

Report No. 2860, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

MORE INFO

APPENDIX

REFERENCE

Cost: Regular maintenance item



6. Parging damaged or missing

Condition: • Most masonry walls have small cracks due to shrinkage or minor settlement. These will not be individually noted in the report, unless leakage, building movement or similar problems are noted

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

Condition: • [Missing](#)

Location: Front Exterior Staircase

Task: Provide Handrail

Time: Less than 1 year

Cost: Minor

EXTERIOR

10 Seaforth Avenue, Toronto, ON March 23, 2021

Report No. 2860, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

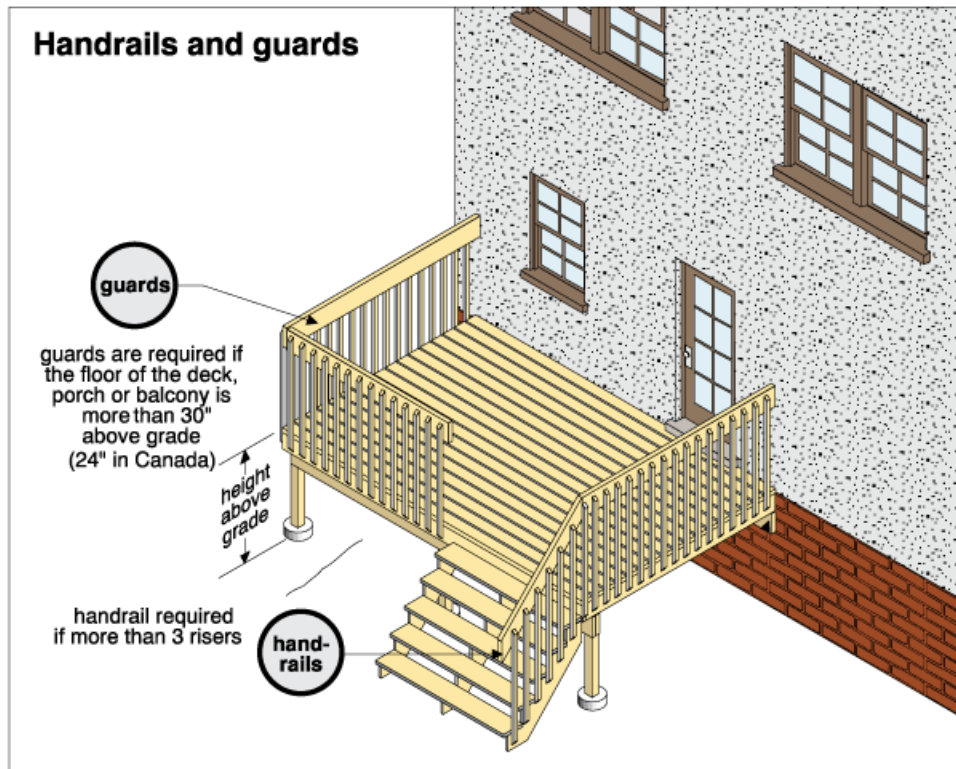
LINKS

MORE INFO

APPENDIX

REFERENCE

Handrails and guards



7. Missing

BASEMENT WALKOUTS \ General notes

Condition: • [Guard and handrail problems](#)

Location: Rear Exterior

Task: Correct - Provide spindles at guard and guardrail on house side

Time: As Soon As Possible

Cost: Minor

EXTERIOR

10 Seaforth Avenue, Toronto, ON March 23, 2021

Report No. 2860, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

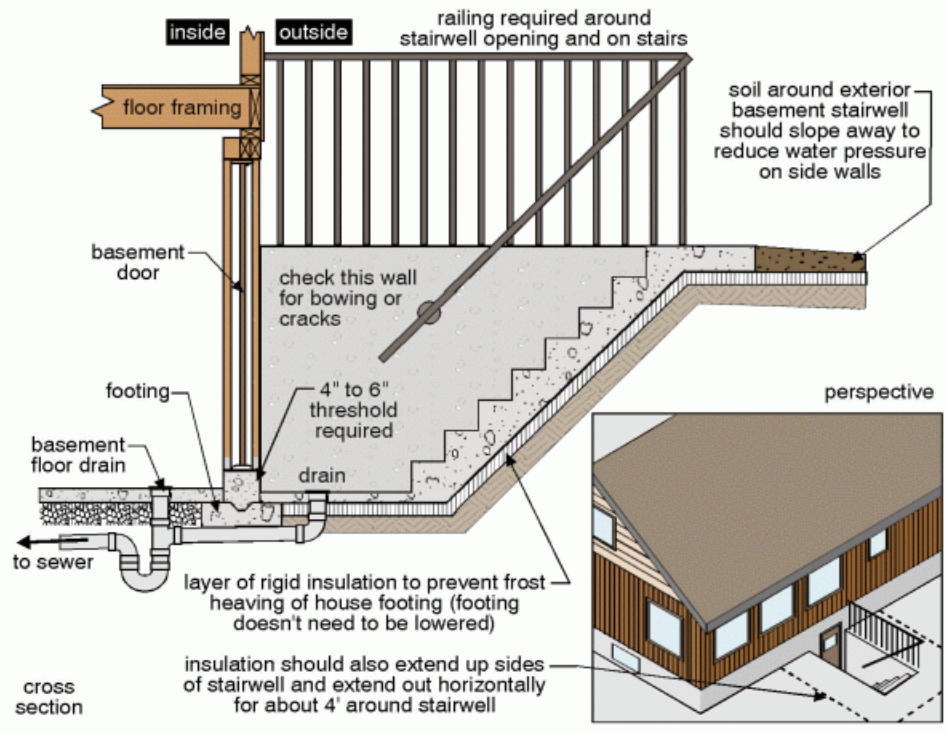
LINKS

MORE INFO

APPENDIX

REFERENCE

Insulated exterior basement stairwell



8. Guard and handrail problems



9. Spindles too far apart

Condition: • [Door threshold missing, too low, not watertight](#)

Step up into house is less than 6 inches.

Location: Rear Exterior

Task: Monitor / Improve

Time: If necessary

EXTERIOR

10 Seaforth Avenue, Toronto, ON March 23, 2021

Report No. 2860, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

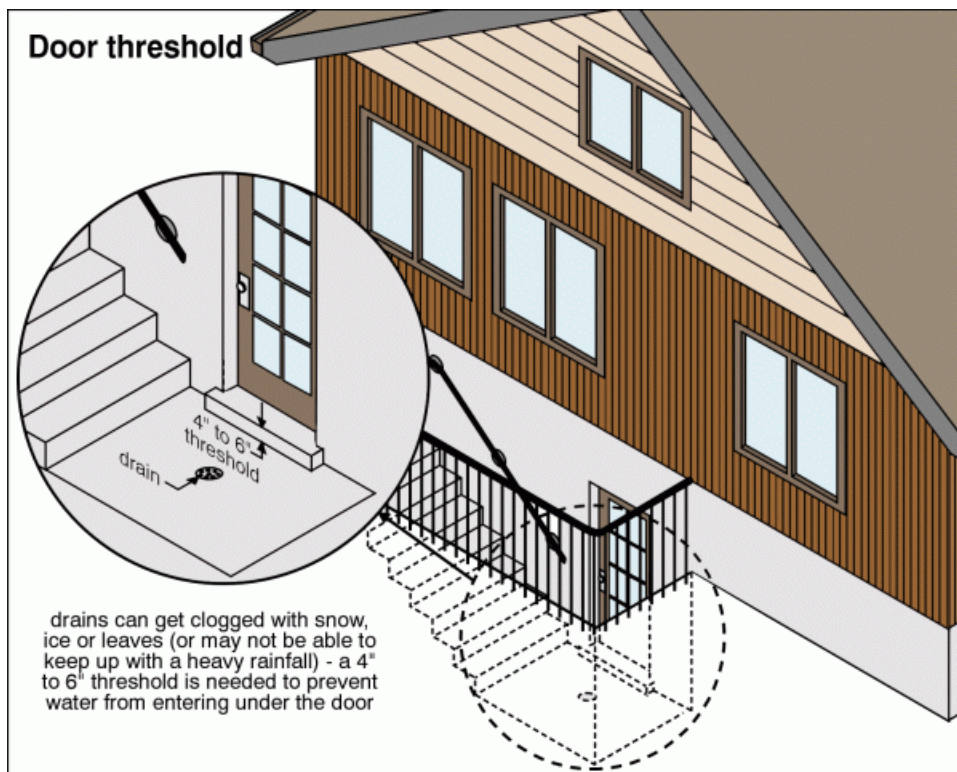
INTERIOR

LINKS

MORE INFO

APPENDIX

REFERENCE



10. Door threshold missing, too low, not...

LANDSCAPING \ Lot grading

Condition: • During rainfall, walk the exterior to view if any water is draining towards the home. Improve these areas as needed

LANDSCAPING \ Walkway

Condition: • [Improper slope or drainage](#)

Walkway has settled. Monitor / Correct walkway slope to allow for better drainage.

EXTERIOR

10 Seaforth Avenue, Toronto, ON March 23, 2021

Report No. 2860, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

MORE INFO

APPENDIX

REFERENCE

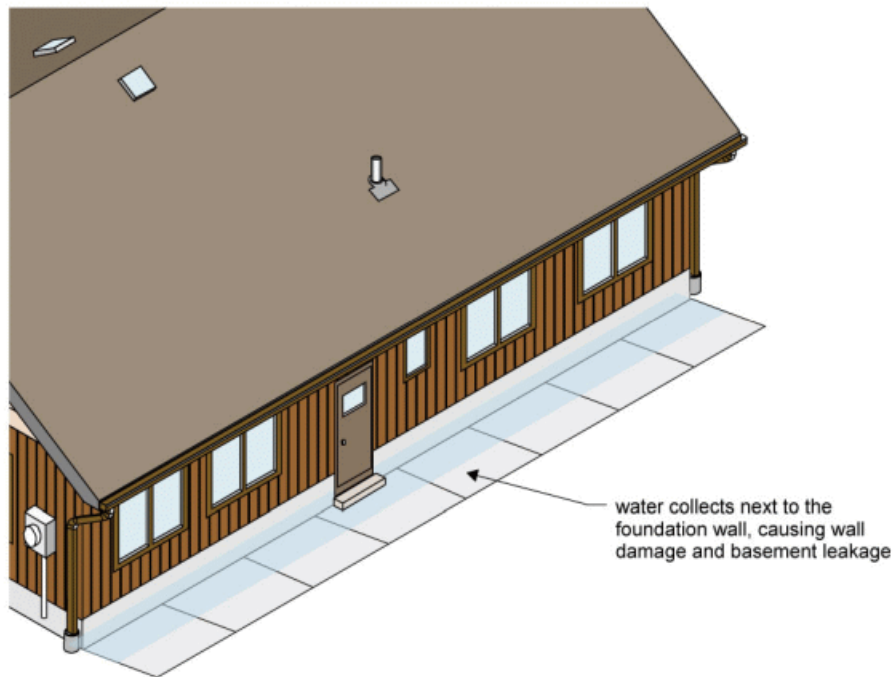
Location: Front Exterior

Task: Monitor / Improve

Time: As Needed

Cost: Regular maintenance item

Walk/patio sloping towards house



11. Improper slope or drainage

EXTERIOR

10 Seaforth Avenue, Toronto, ON March 23, 2021

Report No. 2860, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

MORE INFO

APPENDIX

REFERENCE

Inspection Methods and Limitations

Upper floors inspected from: • Ground level

Descriptions

Configuration: • [Basement](#) • [Crawlspace](#)

Foundation material: • [Masonry block](#) • [Stone](#)

Floor construction: • [Joists](#)

Exterior wall construction: • [Masonry](#)

Roof and ceiling framing: • Rafters

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • All Structure issues have POTENTIAL worst-case implications such as damage to contents, structure and/or finishes, and personal safety.

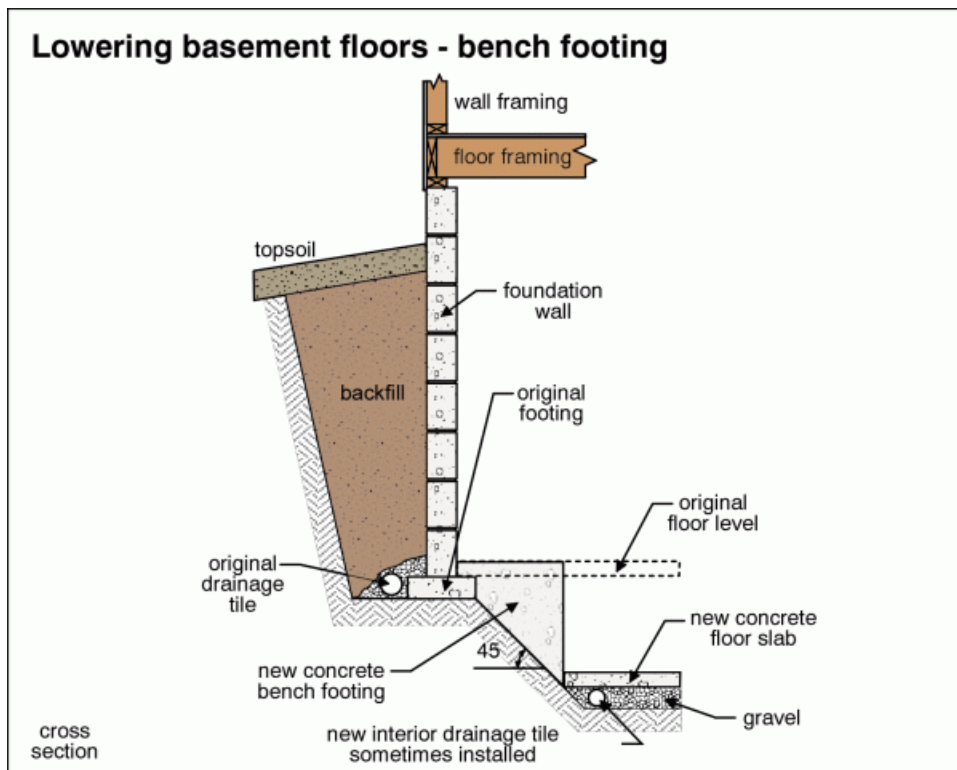
FOUNDATIONS \ General notes

Condition: • [Basement lowered](#)

This is noted for your information only. Bench Footing noted, which is one of the common methods used to lower basements.

Location: Basement

Task: For Your Information / Click link for more information



STRUCTURE

10 Seaforth Avenue, Toronto, ON March 23, 2021

Report No. 2860, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

MORE INFO

APPENDIX

REFERENCE



12. Bench footing

FLOORS \ Columns or piers

Condition: • [Prior repairs](#)

Temporary columns, A.K.A. jack post was observed in crawlspace These are intended for short term use. Modifications should be made to provide posts for long term use. Have contractor evaluate and advise. Also various material such as concrete blocks and tree stumps were used in various areas to level floors. At some point in near future, have contractor review crawlspace supports/structure and update as needed.

Location: Various Crawl Space

Task: Further evaluation / Improve

Time: Less than 1 year / As Required

Cost: Depends on work needed



13. Prior repairs



14. Prior repairs

FLOORS \ Joists

Condition: • [Prior repairs](#)

STRUCTURE

10 Seaforth Avenue, Toronto, ON March 23, 2021

Report No. 2860, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

MORE INFO

APPENDIX

REFERENCE

Major repairs of joists observed in some areas. Seller noted that repairs/modifications were made during major renovations.

Location: Various

Task: For Your Information



15. example

Inspection Methods and Limitations

Inspection limited/prevented by: • Finishes, insulation, furnishings and storage conceal structural components.

Attic/roof space: • Inspected from access hatch

Percent of foundation not visible: • 95 %

Not included as part of a building inspection: • Less than 24 inches of vertical clearance cannot be entered in under-floor crawlspace areas

Descriptions

General: • ALL ELECTRICAL CONDITIONS ARE CONSIDERED PRIORITY ITEMS

Service entrance cable and location: • [Overhead - cable type not determined](#)

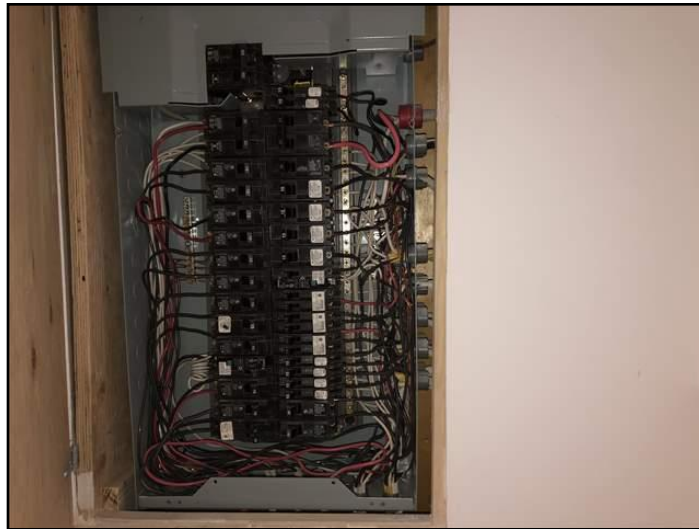
Service size: • [100 Amps \(240 Volts\)](#)

Main disconnect/service box type and location: • [Breakers - basement](#)

System grounding material and type: • [Not visible](#)

Distribution panel type and location:

• [Breakers - basement](#)



16. Breakers - basement

Distribution panel rating: • [125 Amps](#)

Distribution wire (conductor) material and type: • [Copper - non-metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded - upgraded](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCIs present](#)

Smoke alarms (detectors): • [Present](#)

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • All electrical recommendations are safety issues. POTENTIAL worst-case implications are fire and shock hazards. Treat them as high priority items, and consider the time frame as Immediate, unless otherwise noted.

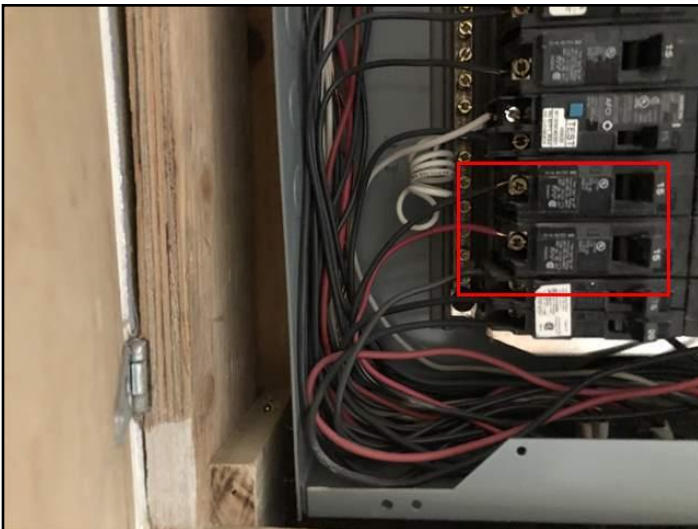
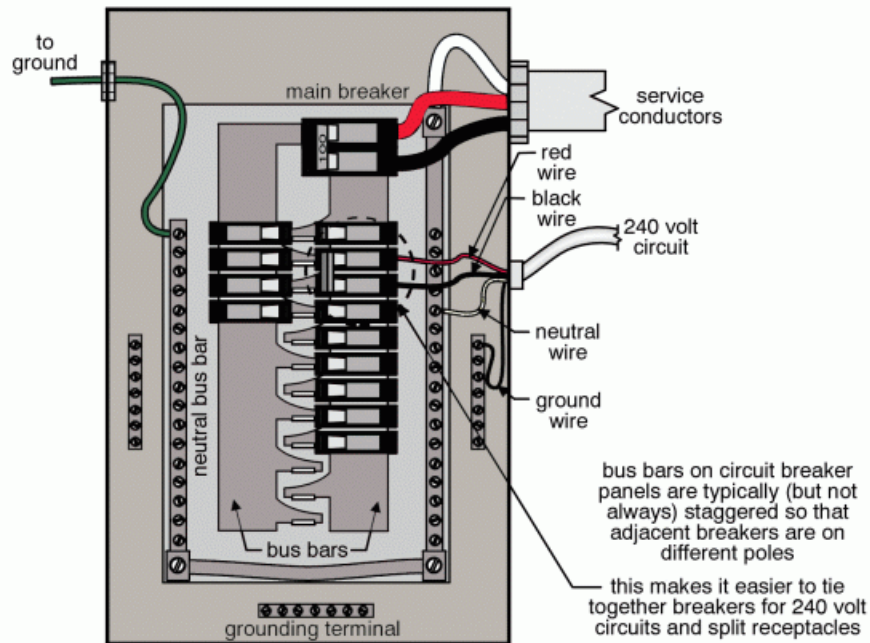
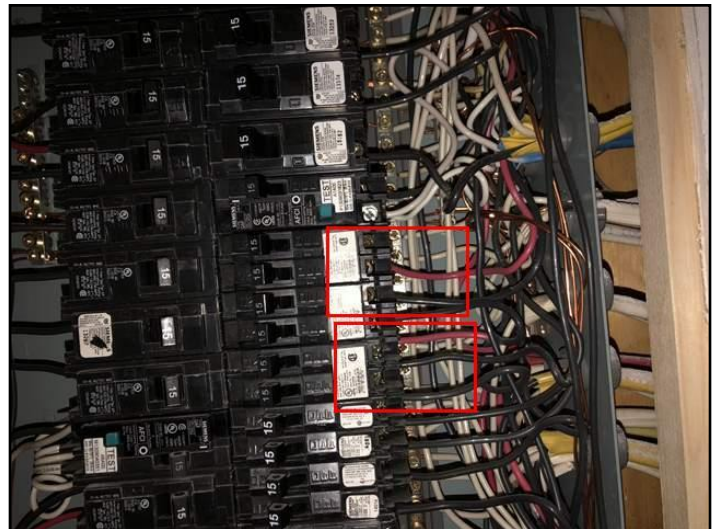
SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers

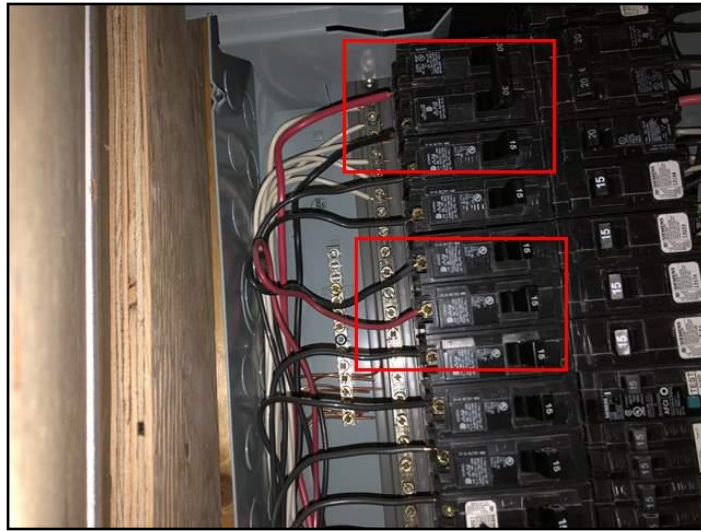
Condition: • [No links for multi-wire circuits](#)

Location: Various Basement Panel

Task: Correct

Time: As Soon As Possible

Cost: Minor**Staggered bus bars on circuit breaker panels****17.** No links for multi-wire circuits**18.** No links for multi-wire circuits



19. No links for multi-wire circuits

DISTRIBUTION SYSTEM \ Knob-and-tube wiring

Condition: • The home has undergone renovations and wiring upgrades throughout. The panel contains modern wiring. All the outlets we tested were grounded. We found one line of knob and tube near the attic hatch that was live. Verifying if the amount of knob tube present is outside the scope of work.

Location: Attic

Task: Remove

Time: As needed

Cost: Variable on amount remaining.



20.

DISTRIBUTION SYSTEM \ Junction boxes

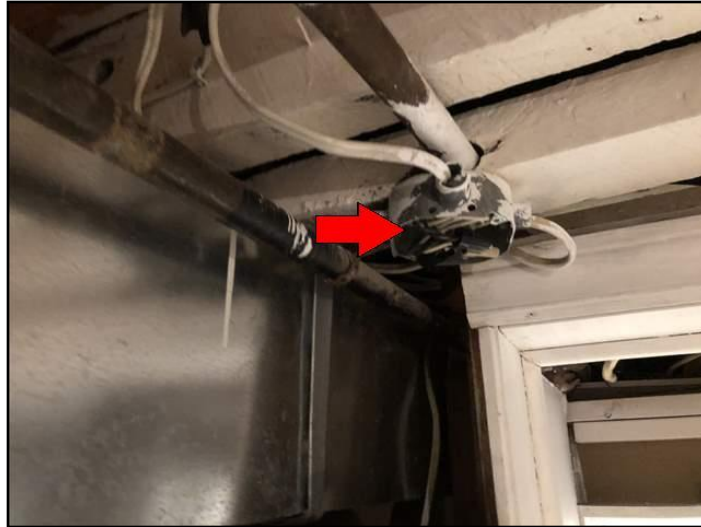
Condition: • [Cover loose or missing](#)

Location: Basement Furnace Room

Task: Provide Cover

Time: Immediate

Cost: Minor



21. Cover missing

Condition: • [Missing](#)

Location: Attic

Task: Provide junction box

Time: Immediate

Cost: Minor



22. Missing

DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

Condition: • Smoke and carbon monoxide (CO) detectors should be provided at every floor level of every home. Smoke detectors should be close to sleeping areas, and carbon monoxide detectors should be in any room with a wood-burning stove or fireplace. These devices are not tested as part of a home inspection. Once you take possession of the home,

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

MORE INFO

APPENDIX

REFERENCE

detectors should be tested regularly, and replaced every 10 years. If unsure of the age of a smoke detector, it should be replaced. Smoke detector batteries should be replaced annually.

Inspection Methods and Limitations

System ground: • Quality of ground not determined

HEATING

10 Seaforth Avenue, Toronto, ON March 23, 2021

Report No. 2860, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

MORE INFO

APPENDIX

REFERENCE

Descriptions

System type: • [Furnace](#)

Fuel/energy source: • [Gas](#)

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • [80,000 BTU/hr](#)

Efficiency: • [High-efficiency](#)

Approximate age: • [7 years](#)

Typical life expectancy: • Furnace (high efficiency) 15 to 20 years

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • Set up annual service plan which includes coverage for parts and labour.

Location: Basement Furnace Room

Task: Service annually

Time: Ongoing

Cost: Regular maintenance item

GAS FURNACE \ Venting system

Condition: • [Poor connections](#)

Minor leak of exhaust condensation noted at vent connector. See photo.

Location: Crawl Space

Task: Repair connection

Time: Immediate

Cost: Minor



23. Poor connections, minor drip from exhaust



24. Poor connections

HEATING

10 Seaforth Avenue, Toronto, ON March 23, 2021

Report No. 2860, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

MORE INFO

APPENDIX

REFERENCE

Inspection Methods and Limitations

Safety devices: • Not tested as part of a building inspection

Heat loss calculations: • Not done as part of a building inspection

Heat exchanger: • Not visible

COOLING & HEAT PUMP

10 Seaforth Avenue, Toronto, ON March 23, 2021

Report No. 2860, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

MORE INFO

APPENDIX

REFERENCE

Descriptions

Air conditioning type: • None present

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

MORE INFO

APPENDIX

REFERENCE

Descriptions

Attic/roof insulation material: • [Glass fiber](#) • [Cellulose](#)

Attic/roof insulation amount/value: • [R-20](#)

Attic/roof air/vapor barrier: • [None found](#)

Attic/roof ventilation: • [Roof and soffit vents](#)

Observations and Recommendations

ATTIC/ROOF \ Insulation

Condition: • [Amount less than current standards](#)

Below current standards of R-60 (as of 2016) The current level in the attic is approximately R-20

Location: Throughout Attic

Task: Upgrade

Time: Discretionary

Cost: \$1,500 - and up



25. Amount less than current standards



26. Amount less than current standards

Inspection Methods and Limitations

Inspection limited/prevented by lack of access to: • Walls, which were spot checked only

Attic inspection performed: • From access hatch

Roof ventilation system performance: • Not evaluated

Air/vapor barrier system: • Continuity not verified

Descriptions

General: • Several components have been updated

Service piping into building: • [Not visible](#)

Supply piping in building: • PEX (cross-linked Polyethylene)

Main water shut off valve at the: • Front of the basement

Water flow and pressure: • [Functional](#) • [Typical for neighborhood](#)

Water heater type: • Tankless/On demand

Water heater fuel/energy source: • [Gas](#)

Water heater tank capacity: • Tankless / Instantaneous

Water heater approximate age:

• 8 years

Manufactured November 2013

Water heater typical life expectancy: • 10 to 15 years

Waste and vent piping in building: • [Plastic](#)

Pumps: • [Sump pump](#)

Floor drain location: • None found

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • All Plumbing issues have POTENTIAL worst-case implications of water damage to contents, finishes and/or structure.

SUPPLY PLUMBING \ Water shut off valve

Condition: • [Inaccessible](#)

access panel is fastened and sealed.

Location: Front Basement

Task: Provide access to water main shut off

Time: Immediate



27. Inaccessible

WATER HEATER \ Temperature/pressure relief (TPR) valve

Condition: • [Missing](#)

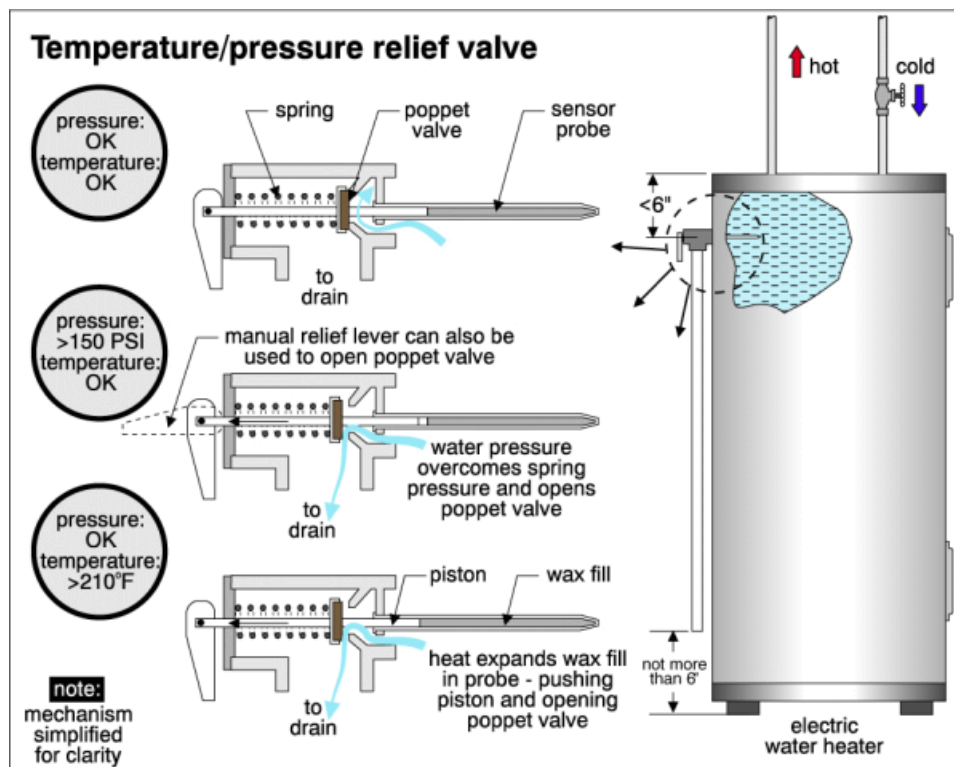
Rinnai tankless water heaters typically require a pressure relief valve and discharge tube. Consult with specialist

Location: Basement

Task: Further evaluation / Correct

Time: Immediate

Cost: Minor





28. Missing

WASTE PLUMBING \ Floor drain

Condition: • [Not found](#)

Most homes have a floor drain. We did not find the floor drain. It may be under flooring or in an area not observable. Recommendation is to locate floor drain and expose. (may not be present due to lowered basement floor) If floor drain is not present at the lowest level of the basement, provide floor drain or sump pit and pump.

Location: Basement

Task: Locate or Provide floor drain or sump pit at lowest level of basement.

Time: Less than one year

Cost: Highly variable. consult plumber if necessary.

WASTE PLUMBING \ Sump pump

Condition: • [Electrical problems](#)

Not plugged in. Sump pit was dry. Ensure sump pump is plugged in and operational in case of leakage in the area.

Location: Basement Furnace Room

Task: see note

Inspection Methods and Limitations

Items excluded from a building inspection: • Well • Water quality • Septic system • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Pool • Spa • Tub and basin overflows are not tested as part of a home inspection. Leakage at the overflows is a common problem.

Descriptions

General: • The interior of the home is in good condition overall. • Many interior components have been updated

Major floor finishes: • [Hardwood](#) • Vinyl

Major wall and ceiling finishes: • [Plaster/drywall](#) • [Stucco/texture/stipple](#)

Windows: • [Fixed](#) • [Casement](#)

Glazing: • [Double](#)

Exterior doors - type/material: • Hinged • [Sliding glass](#)

Observations and Recommendations

RECOMMENDATIONS \ General

Condition: • All Interior issues have POTENTIAL worst-case implications such as damage to contents, structure and/or finishes, and personal safety.

Condition: • Typical minor flaws were noted on floors, walls and ceilings. These cosmetic issues reflect normal wear and tear

DOORS \ Hardware

Condition: • [Inoperable](#)

Location: Second Floor Bedroom

Task: Repair

Time: Discretionary

Cost: Regular maintenance item



29. Inoperable

STAIRS \ Treads

Condition: • Open tread design. Take precautions with small children

Location: First Floor Staircase

Task: For Your Information



30.

BASEMENT \ Leakage

Condition: • ***FOR FUTURE REFERENCE*** Basement Leakage 4-step method.

Almost every basement (and crawlspace) leaks under the right conditions. Based on a one-time visit, it's impossible to know how often or severe leaks may be. While we look for evidence of past leakage during our inspection, this is often not a good indicator of current conditions. Exterior conditions such as poorly performing gutters and downspouts, and ground sloping down toward the house often cause basement leakage problems. To summarize, wet basement issues can be addressed in 4 steps: 1. First, ensure gutters and downspouts carry roof run-off away from the home. (relatively low cost) 2. If problems persist, slope the ground (including walks, patios and driveways) to direct water away from the home. (Low cost if done by homeowner. Higher cost if done by contractor or if driveways, patios and expensive landscaping are disturbed.) 3. If the problem is not resolved and the foundation is poured concrete, seal any leaking cracks and form-tie holes from the inside. (A typical cost is \$300 to \$600 per crack or hole.) 4. As a last resort, dampproof the exterior of the foundation, provide a drainage membrane and add/repair perimeter drainage tile. (High cost)

CRAWLSPACE \ Leakage

Condition: • Limited view of a small portion of the crawlspace from furnace room.

Location: Crawl Space

Task: Inspect annually

Inspection Methods and Limitations

General: • Up until about 1985, Asbestos was used in a multitude of building materials including but not limited to: Insulation on hydronic piping, attic insulation, flooring and ceiling tiles, stucco / stipple ceilings, glue, insulation around heating ducts and registers, plaster and so on. Identification of asbestos is outside the scope of a home inspection. If you have concerns about asbestos, consult with a professional environmental company that specializes with asbestos lab testing. If you plan to remove/disturb any building material, testing for asbestos is recommended beforehand.

INTERIOR

10 Seaforth Avenue, Toronto, ON March 23, 2021

Report No. 2860, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

MORE INFO

APPENDIX

REFERENCE

Inspection limited/prevented by: • Storage/furnishings • New finishes/paint • Storage in closets and cabinets / cupboards

Restricted access to: • Crawlspace

Not included as part of a building inspection: • Carbon monoxide alarms (detectors), security systems, central vacuum • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any

Cosmetics: • No comment offered on cosmetic finishes

Appliances: • Appliances are not inspected as part of a building inspection • Appliances are not moved during an inspection

Percent of foundation not visible: • 95 %

Basement leakage: • Basement leakage is common. Most basements will experience leakage at some point. We cannot predict future occurrence or extent of basement leakage • Monitor the basement for leaks in the Spring.

Crawlspace leakage: • Cannot predict how often or how badly crawlspace will leak • Crawlspace leakage is common. Most crawlspaces will experience leakage at some point. We cannot predict future occurrence or extent of crawlspace leakage

LINKS

10 Seaforth Avenue, Toronto, ON March 23, 2021

Report No. 2860, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

MORE INFO

APPENDIX

REFERENCE

Descriptions

General: • [Low concentrations of CO can go undetected and can contribute to ongoing, unidentified illnesses. At high concentrations, it can be deadly.](#) • [Serious structural problems in houses are not very common, but when they occur they are never cheap to fix. Some cant be fixed at all. This report wont turn you into a home inspector, but it will give you some of the common indicators.](#) • [There are so many home maintenance and repair items that are important; it can be confusing trying to establish which are the most critical.](#) • [\(Life Cycles and Costs\)](#) • [This report will deal with the simpler topic of home repair--basically replacing things that are worn out or fixing things that are broken.](#) • [Common Building Technical Terms Explained](#)

General: • [The Inspection Professionals Website](#)

MORE INFO

10 Seaforth Avenue, Toronto, ON March 23, 2021

Report No. 2860, v.2

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

MORE INFO

APPENDIX

REFERENCE

Descriptions

GOOD ADVICE FOR ALL HOMEOWNERS: • The following items apply to all homes and explain how to prevent and correct some common problems.

Roof Leaks: • Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced.

Annual Roof Maintenance: • We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of your roof.

Ice Dams on Roofs: • [Most roofs are susceptible to ice dams under the right weather conditions. This is where ice forms](#) at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather.

Maintaining the Exterior of Your Home: • Regular maintenance includes painting and caulking of all exterior wood.

Insulation Amounts - Current Standards: • R-50

Reduce Air Leaks: • Insulation is not effective if air (and the heat that goes with it) can escape from the home. Caulking and weather-stripping help control air leakage, improving comfort while reducing energy consumption and costs. Air leakage control improvements are inexpensive and provide a high return on investment.

Bathtub and Shower Maintenance: • Caulking and grout in bathtubs and showers should be checked every six months and improved as necessary to prevent leakage and damage behind wall surfaces.

Basement/Crawlspace Leakage: • Almost every basement (and crawlspace) leaks under the right conditions. • [Click for more information.](#)

MORE GOOD ADVICE FOR ALL HOMES: • Here is some more information that applies to all homes.

MORE GOOD INFORMATION: • The following links give you access to documents that provide additional information on a range of topics.

Life Cycles and Costs: • [Ballpark estimates based on a typical three-bedroom home.](#)

Priority Items for Home Buyers: • [A list of things you should do when moving into your new home and a few regular maintenance items.](#)

Maintenance: • [Scheduled maintenance can avoid repairs and extend the life expectancy of many home components.](#) This document helps you look after your home.

When Things Go Wrong: • [Unpleasant surprises are unfortunately part of homeownership. This document helps to explain why things happen and why your home inspector may not have predicted it.](#)

Standards of Practice: • [This document sets out what a professional home inspection should include, and guides the activities of our inspectors.](#)

END OF REPORT

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

MORE INFO

APPENDIX

REFERENCE

**This is a copy of our home inspection contract and outlines the terms,
limitations and conditions of the home inspection**

THIS CONTRACT LIMITS THE LIABILITY OF THE HOME INSPECTION COMPANY AND INSPECTOR.

PLEASE READ CAREFULLY BEFORE SIGNING.

The Inspection of this property is subject to the Limitations and Conditions set out in this Agreement. It is based on a visual examination of the readily accessible features of the building. The Inspection is performed in accordance with the Standards of Practice of the Ontario Association of Home Inspectors. A copy of these Standards is available at <http://www.oahi.com/webdocs/StandardsofPractice-OAHI-Rev.pdf>.

The Home Inspector's report is an opinion of the present condition of the property. The Inspection and report are not a guarantee, warranty or an insurance policy with regards to the property. A Home Inspector cannot predict future deficiencies, intermittent problems or future water leakage.

PLEASE READ THE FOLLOWING PARAGRAPH: Due to the unpredictable nature of basement water leakage, a home inspector cannot predict future basement leakage. Almost all basements will leak at some point so there is a very good chance that it will happen. Basement leakage can occur for any number of reasons - Rainfall, sewer backup, high water tables, lot grading, clogged weeping tiles, gutter and downspout performance, just to name a few. The home inspector and The Inspection Professionals accepts no responsibility or liability for future basement water problems.

The inspection report is for the exclusive use of the client named above. No use of the information by any other party is intended. See item 8 below.

LIMITATIONS AND CONDITIONS OF THE HOME INSPECTION

These Limitations and Conditions explain the scope of your Home Inspection. Please read them carefully before signing this Agreement.

The purpose of your Home Inspection is to evaluate the general condition of a property. This includes determining whether systems are still performing their intended functions.

There are limitations to the scope of this Inspection. It provides a general overview of the more obvious repairs that may be needed. It is not intended to be an exhaustive list. The ultimate decision of what to repair or replace is yours. One homeowner may decide that certain conditions require repair or replacement, while another will not.

1. The Home Inspection provides you with a basic overview of the condition of the property. Because your Home Inspector has only a limited amount of time to go through the property, the Inspection is not technically exhaustive. If you have concerns about any of the conditions noted, please consult the text that is referenced in the report.

Some conditions noted, such as foundation cracks or other signs of settling in a house, may either be cosmetic or may indicate a potential structural problem that is beyond the scope of the Home Inspection.

If you are concerned about any conditions noted in the report, we strongly recommend that you consult a qualified licensed contractor or engineering specialist. These professionals can provide a more detailed analysis of any conditions noted in the report at an additional cost.

2. A Home Inspection does not include identifying defects that are hidden behind walls, floors or ceilings. This includes wiring, structure, plumbing and insulation that is hidden or inaccessible.

Some intermittent conditions may not be obvious on a Home Inspection because they only happen under certain circumstances. As an example, your Home Inspector may not discover leaks that occur only during certain weather conditions or when a specific tap or appliance is being used in everyday life.

Home Inspectors will not find conditions that may only be visible when storage or furniture is moved. Inspectors do not remove wall coverings, including wallpaper, or lift flooring, including carpet to look underneath.

A Home Inspection is a sampling exercise with respect to house components that are numerous, such as bricks, windows and electrical receptacles. As a result, some conditions that are visible may go un-reported.

3. The Inspection does not include hazardous materials that may be in or behind the walls, floors or ceilings of the property, whether visible or not. This includes building materials that are now suspected of posing a risk to health such as phenol-formaldehyde and urea-formaldehyde based products, fiberglass insulation and vermiculite insulation. The Inspector does not identify asbestos roofing, siding, wall, ceiling or floor finishes, insulation or fire proofing. We do not look for lead or other toxic metals in such things as pipes, paint or window coverings.

The Inspection does not deal with environmental hazards such as the past use of insecticides, fungicides, herbicide's or pesticides. The Inspector does not look for, or comment on, the past use of chemical termite treatments in or around the property.

4. We are not responsible for and do not comment on the quality of air in a building. The Inspector does not try to determine if there are irritants, pollutants, contaminants, or toxic materials in or around the building. The Inspection does not include spores, fungus, mold or mildew including that which may be concealed behind walls or under floors, for example. You should note that whenever there is water damage, there is a possibility that visible or concealed mold or mildew may be present unseen behind a wall, floor or ceiling.

If anyone in the home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens.

5. Your Home Inspector does not look for, and is not responsible for, fuel oil, septic or gasoline tanks that may be buried on the property. If fuel oil or other storage tanks remain on the property, you may be responsible for their removal and the safe disposal of any contaminated soil. If you suspect there is a buried tank, we strongly recommend that you retain a qualified Environmental Consultant to determine whether this is a potential problem.

6. We will have no liability for any claim or complaint if conditions have been disturbed, altered, repaired, replaced, or otherwise changed before we have had a reasonable period of time to investigate.

7. The Client understands and agrees to be bound by each and every provision of this contract. The Client has the authority to bind any other family members or other interested parties to this Contract.

8. REPORT IS FOR OUR CLIENT ONLY. The inspection report is for the exclusive use of the client named herein. The client may provide the report to prospective buyers, at their own discretion. Potential buyers are required to obtain their own Onsite Review with The Inspection Professionals if they intend to rely on this report. The Inspection Professionals will not be responsible for the use of or reliance upon this Report by any third party without an Onsite Review and transfer of report to client after they have agreed to our inspection agreement.

9. The liability of the Home Inspector (and the Home Inspection Company) arising out of this Inspection and Report, for any cause of action whatsoever, whether in contract or in negligence, is limited to a refund of the fees that you have been charged for this inspection

| | | | | | | | | | |
|---------|-----------|----------|-----------|------------|---------|---------|------------|----------|----------|
| SUMMARY | ROOFING | EXTERIOR | STRUCTURE | ELECTRICAL | HEATING | COOLING | INSULATION | PLUMBING | INTERIOR |
| LINKS | MORE INFO | APPENDIX | REFERENCE | | | | | | |

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS