

# YOUR Inspection Report



*Inspectioneering hopes we can become your building consultant for life.*

## FOR THE PROPERTY AT:

75 Sample Crt  
Pittsburgh, PA 15149

## PREPARED FOR:

JOHN SAMPLE

## INSPECTION DATE:

Friday, May 22, 2015

## PREPARED BY:

Rob Morrow



INSPECTIONEERING, LLC  
150 River Rd.  
Templeton, PA 16259

412 421 9100

[www.inspectioneeringpgh.com](http://www.inspectioneeringpgh.com)  
[rob@inspectioneeringpgh.com](mailto:rob@inspectioneeringpgh.com)



January 5, 2016

Dear John Sample,

RE: Report No. 1498, v.4  
75 Sample Crt  
Pittsburgh, PA  
15149

Thank you very much for choosing Inspectioneering, LLC to perform your home inspection. The inspection itself and the attached report comply with the requirements of the ASHI Standards of Practice; this document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

Rob Morrow  
on behalf of  
INSPECTIONEERING, LLC

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# SUMMARY

75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

## Plumbing

### WATER HEATER \ Temperature/pressure relief valve

**Condition:** • Discharge tube missing

The water heater was missing the discharge tube that is connected to the temperature relief valve. I would suggest to have a licensed plumber install in order to prevent hot water being discharged uncontrollably and causing an unintentional accident. This is a safety concern.

**Implication(s):** Scalding

**Location:** Main house basement

**Task:** Install discharge tube / improve

**Time:** ASAP

### GAS SUPPLY \ Gas piping

**Condition:** • Piping not properly bonded

The corrugated stainless steel gas piping was observed not to be properly bonded to the electric system. I recommend a licensed electrician install a bonding wire between the copper water system and the gas piping for safety.

**Implication(s):** Fire or explosion

**Location:** Main house and cottage

**Task:** Properly bond the pipes/ improve

**Time:** ASAP

## Interior

### General

• I would suggest to NOT store paint and flammables next to open flames, such as the water heater.

**Location:** Basement

**Task:** Move flammables / improve

**Time:** ASAP

### BASEMENT \ Wet basement - evidence

**Condition:** • Mold

Some bio-growth black stains that may be mold were observed at the front basement door (see picture). Note: identifying this black substance as Mold is out side the scope of this inspection; consult an environmental expert for identification/ correction if needed.

**Implication(s):** Cosmetic defects | Chance of water damage to contents, finishes and/or structure | Contaminants may enter building air

**Location:** Front basement door

**Task:** Further evaluation if concerned

**Time:** Discretionary

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75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

# ROOFING

75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

[www.inspectioneeringpgh.com](http://www.inspectioneeringpgh.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Description

### Sloped roofing material:

- Slate shingles

The slate roof appears to be in good condition, with a typical life expectancy of approximately 100years.

Just for your information: This type of roofing material requires regular maintenance and tune -ups, approximately every 3-5years.



*Slate shingles*

- Metal

Copper roof



*Metal*

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75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

**Sloped roof flashing material:** • Metal

**Flat roofing material:** • Rubber based roofing material

*Note:* The rubber based roof material of the master bedrooms porch/deck is in good condition. This type of roofing material has an approximate life expectancy 15-20 years.



*Rubber based roofing material*

**Probability of leakage:** • Low

## Limitations

### Roof inspection limited/prevented by:

- Lack of access (too slippery/fragile)

The slate shingles were too brittle to walk on; the inspection was performed from the ground with binoculars and from the rear roof edge. Flashings around chimneys could not be inspected closely.

### Inspection performed:

- With binoculars from the ground

I inspected the main house and the cottage from the ground with binoculars

- From roof edge

Master bedroom porch roof was inspected from roofs edge with ladder.

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Report No. 1498, v.4

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Recommendations

### RECOMMENDATIONS \ Overview

1. **Condition:** • No roofing recommendations are offered as a result of this inspection.



# EXTERIOR

75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Description

**Gutter & downspout type:** • Eave mounted

**Gutter & downspout discharge:** • Below grade

**Lot slope:** • Away from building • Flat

**Wall surfaces - wood:** • Boards

**Wall surfaces - masonry:** • Brick • Stone

**Soffit and fascia:** • Wood

**Retaining wall:**

• Stone



Stone

• Other

Brick retaining wall, located at cottage.



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75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



*Other*

## Driveway:

- Asphalt



*Asphalt*

- Interlocking brick

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75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



*Interlocking brick*

## Walkway:

- Stone



*Stone*

## Porch:

- Stone

# EXTERIOR

75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



Stone

## Exterior steps:

- Stone



Stone

## Patio:

- Stone

# EXTERIOR

75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

[www.inspectioneeringpgh.com](http://www.inspectioneeringpgh.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



*Stone*

## Limitations

### Inspection limited/prevented by:

- Vines/shrubs/trees against wall

Limited visibility of the short rear retaining wall due to vegetation/ landscaping.



*Vines/shrubs/trees against wall*



# EXTERIOR

75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Exterior inspected from:

- Ground level

The exterior was inspected from ground level with use of binoculars.

## Recommendations

### General

2. • Just for your information: it is recommended to keep all overhanging tree's trimmed away from the house. Also, to have the gutters cleaned and maintained yearly to ensure that the rain removal system is operating as intended. Another suggestion, keep all exterior wood and metal painted with a quality exterior paint to prevent premature deterioration as part of regular maintenance.

### ROOF DRAINAGE \ Gutters

#### 3. Condition: • Clogged

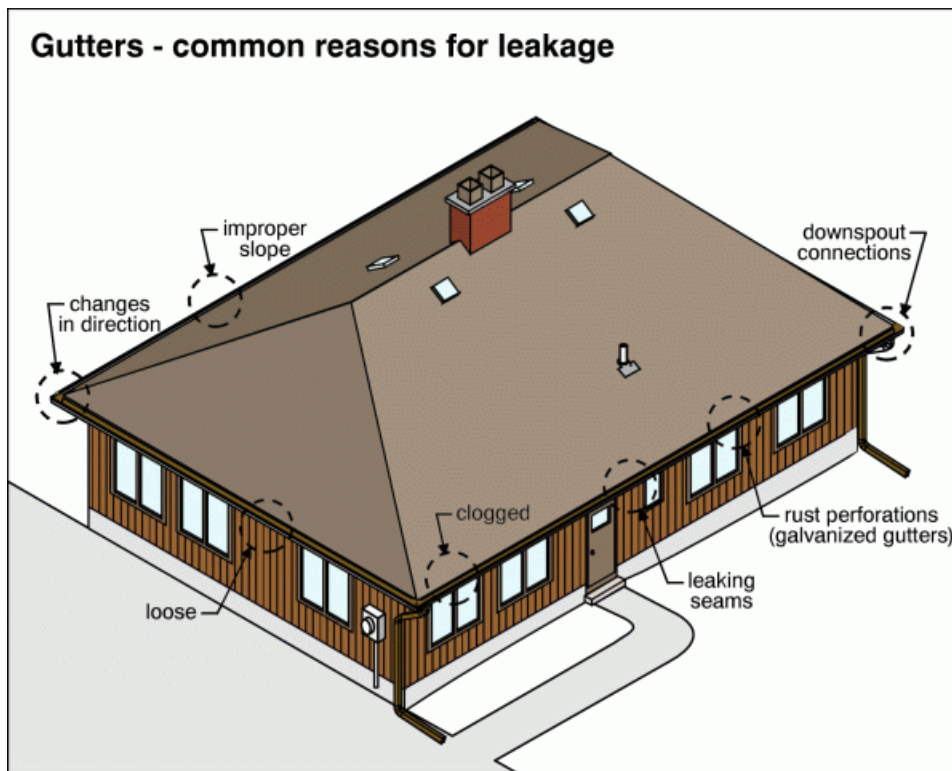
The rear gutters were clogged at the time of the inspection (see pictures). Improve/clean ASAP and as part of regular maintenance to ensure proper rain water drainage in order to prevent water damage to finished areas and/or structure. It is highly recommended to have the entire gutter system cleaned/ maintained on a yearly basis, due to the abundance of mature trees around the property.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Gutter system

**Task:** Clean/ maintain/ improve

**Time:** Regular maintenance



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75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

[www.inspectioneeringpgh.com](http://www.inspectioneeringpgh.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



*Clogged*



*Trees overhanging roof*

## LANDSCAPING \ Retaining wall

### **4. Condition:** • Leaning

The short rear stone retaining/ landscaping wall is visibly leaning and a minor crack/ out of plane movement was observed, as a result of water and soil horizontal pressure (see picture). This short wall does not effect the stability/ performance of the house. Although not an immediate concern, the buyer should be aware that this wall may need to be replaced in the near future. I would suggest to patch the crack and monitor for further movement.

**Implication(s):** Weakened structure | Chance of movement

**Location:** Short rear right retaining wall

**Task:** Patch/ seal/ monitor

**Time:** As needed

# EXTERIOR

75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

[www.inspectioneeringpgh.com](http://www.inspectioneeringpgh.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

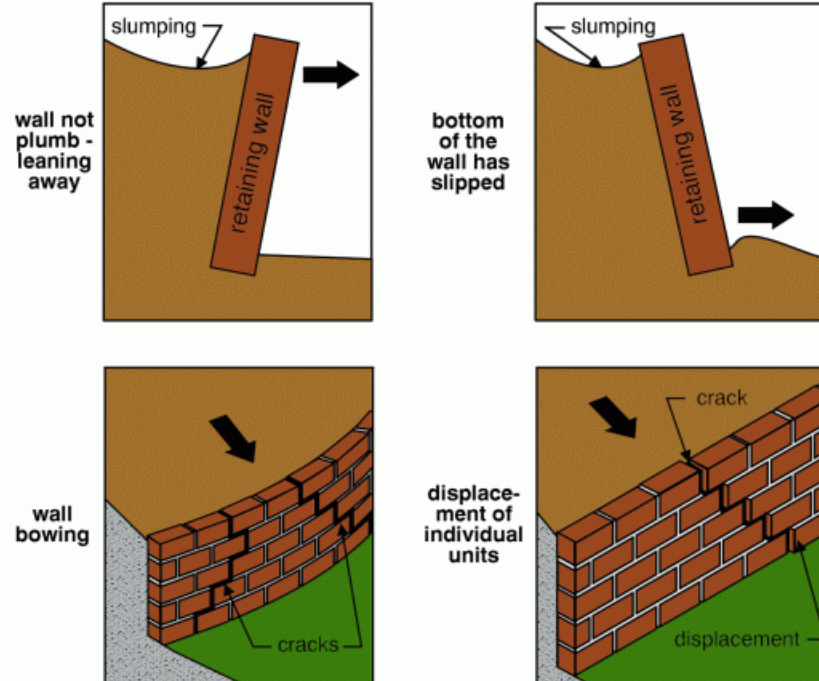
INSULATION

PLUMBING

INTERIOR

REFERENCE

## Inspecting retaining walls - things to watch for



*Leaning*



## Description

### Configuration:

- Basement
  - Crawl space
- Addition



*Crawl space*

- Crawl space
- Main house



*Crawl space*

**Foundation material:** • Masonry block • Brick

**Floor construction:** • Joists • Steel beams

**Exterior wall construction:** • Wood frame

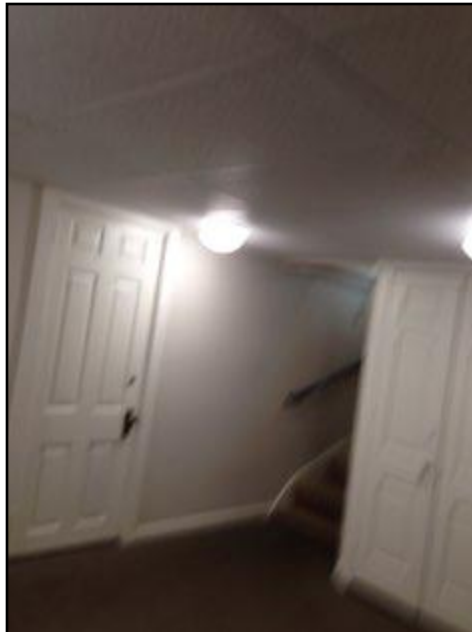
**Roof and ceiling framing:** • Rafters/roof joists • Plank sheathing • Plywood sheathing

## Limitations

### Inspection limited/prevented by:

- Wall, floor and ceiling coverings

The ( beautifull) basement was completely finished which eliminated my visual inspection of the foundation and floor structure.



*Wall, floor and ceiling coverings*

- Wall, floor and ceiling coverings

The garage ceiling was finished, which eliminated my visual inspection of the structure in that area.

# STRUCTURE

75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

[www.inspectioneeringpgh.com](http://www.inspectioneeringpgh.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



*Wall, floor and ceiling coverings*

## • Storage

Storage in the basement limited visibility of the structure/ foundation in areas.



*Storage*



*Storage*

**Attic/roof space:** • Entered but access was limited

**Percent of foundation not visible:** • 90 %

**Not included as part of a building inspection:**

• Visible mold evaluation is not included in the building inspection report

At Inspectioneering we do inspect for mold, but we do not test/ swab/ take samples to identify mold. Identifying mold is outside the scope of this home inspection. if mold is a concern please consult an environmental expert.

## Recommendations

### FLOORS \ Concrete slabs

#### 5. Condition: • Cracked

Several cracks were observed at the basement concrete slab on grade (see picture). This condition is typical to an old concrete slabs and is not a structural concern; seal as part of regular maintenance.

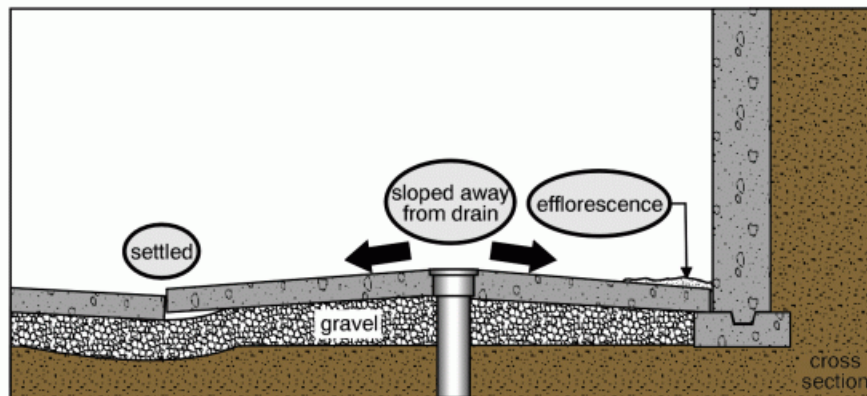
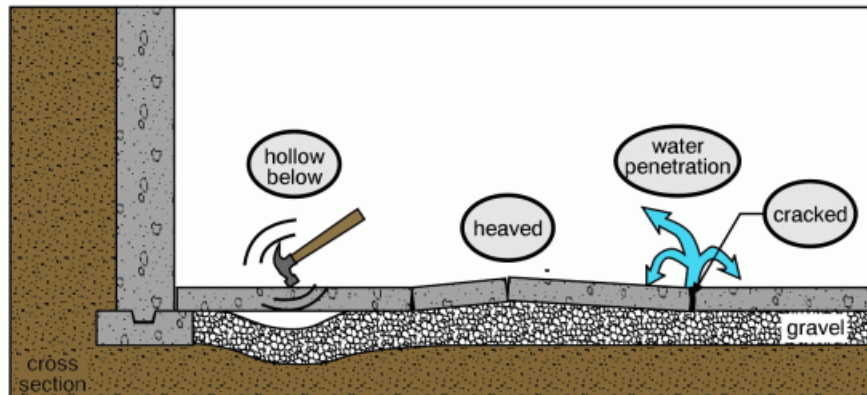
**Implication(s):** Cosmetic defects | Chance of water damage to contents, finishes and/or structure | Trip or fall hazard

**Location:** Cottage

**Task:** Patch/seal/ improve

**Time:** As needed

#### Concrete floor problems



# STRUCTURE

75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

[www.inspectioneeringpgh.com](http://www.inspectioneeringpgh.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



*Cracked*

## WALLS \ Solid masonry walls

### **6. Condition:** • Cracked

A minor settlement crack was observed in the front foundation wall under the green house for the cottage. This crack occurred sometime in the past most likely due to accumulation of water next to the foundation from watershed from the greenhouse. I did not observe any out of plane movement or large gaps that would concern me at time of inspection. I would suggest to patch and seal all cracks and if possible divert the water away from this area.

**Implication(s):** Weakened structure

**Location:** Cottage greenhouse foundation

**Task:** Patch/seal/ improve

**Time:** As needed

# STRUCTURE

75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

[www.inspectioneeringpgh.com](http://www.inspectioneeringpgh.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



*Cracked*



## Description

**General:** • Generic generator. Operating this whole house generator is outside the scope of this home inspection, due to the fact that one would have to shut the main electric service disconnect off. Turning electric breakers on/off goes against a home inspectors standards of practice.



*Whole house generator*

**General:** • Electric meter



*Electric meter*



**Service entrance cable and location:** • Underground aluminum

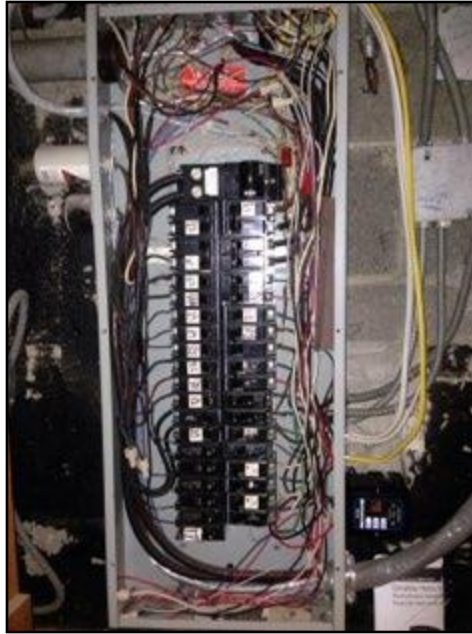
**Service size:** • 200 Amps (240 Volts)

**Main disconnect/service box rating:** • 200 Amps

**Main disconnect/service box type and location:**

• Breakers - basement

Main panel.



*Breakers - basement*

• Breakers - exterior wall



*Breakers - exterior wall*

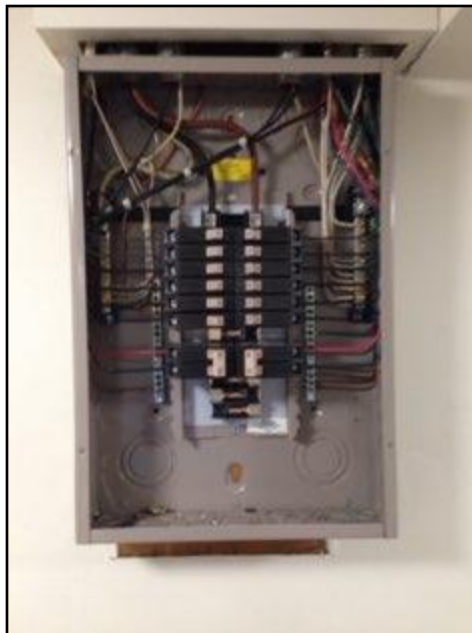
**System grounding material and type:** • Copper - water pipe • Aluminum - other

**Auxiliary panel (subpanel) rating:** • 125 Amps

**Auxiliary panel (subpanel) type and location:**

• Breakers - basement

Laundry room



*Breakers - basement*

• Breakers - utility room



*Breakers - utility room*

• Breakers - garage

# ELECTRICAL

75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

[www.inspectioneeringpgh.com](http://www.inspectioneeringpgh.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



*Breakers - garage*

- Breakers - garage Cottage



*Breakers - garage*

**Distribution wire material and type:** • BX cables- tinned copper

**Distribution wire material and type:** • Copper - non-metallic sheathed

**Type and number of outlets (receptacles):** • Grounded - minimal • Ungrounded - typical

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • GFCI - kitchen • GFCI - bathroom and exterior

**Smoke detectors:** • Present

## Limitations

**Inspection limited/prevented by:** • Whole house generators are outside the scope of this home inspection. Please consult with the current owner on use and service information.



**Inspection limited/prevented by:** • Concealed areas

**Inspection limited/prevented by:** • Storage

**System ground:** • Quality of ground not determined

### Circuit labels:

- The circuits are not labeled at the panel

I would suggest to ask the current owners to identify and label each individual circuit in the sub electric panels for safety and convenience.



*The circuits are not labeled at the panel*



*The circuits are not labeled at the panel*

## Recommendations

### General

7. • Just for your information: Test your GFCI outlets monthly, by pressing test button and then the reset button to ensure proper operation. Test smoke and carbon monoxide detectors monthly and replace batteries when needed for safety.

### DISTRIBUTION SYSTEM \ Outdoor wiring

8. **Condition:** • Observation: exposed electrical wires were detected at rear left stairs to lower driveway. Although these wires did not have active electricity running through them, they should be terminated inside a junction box or if no longer in use eliminated. This should be done by a licensed electrician.

**Location:** Rear left stairs to lower drive

**Task:** Install junction box/ eliminate/ improve

**Time:** ASAP





## DISTRIBUTION SYSTEM \ Junction boxes

### **9. Condition:** • Cover loose or missing

A cover was missing on a junction box. I would recommend a licensed electrician install a junction box plate cover for safety.

**Implication(s):** Electric shock | Fire hazard

**Location:** Cottage furnace room ceiling / main house furnace room

**Task:** Install cover/ improve

**Time:** ASAP



*Cover loose or missing*

Description

Fuel/energy source: • Gas

System type: • Furnace

Furnace manufacturer:

• Bryant

Furnace 1 for main house



Bryant



Bryant



Bryant



Bryant



HEATING

75 Sample Crt, Pittsburgh, PA May 22, 2015

- SUMMARY
- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR
- REFERENCE

- Bryant  
Furnace 2 for Main House



Bryant

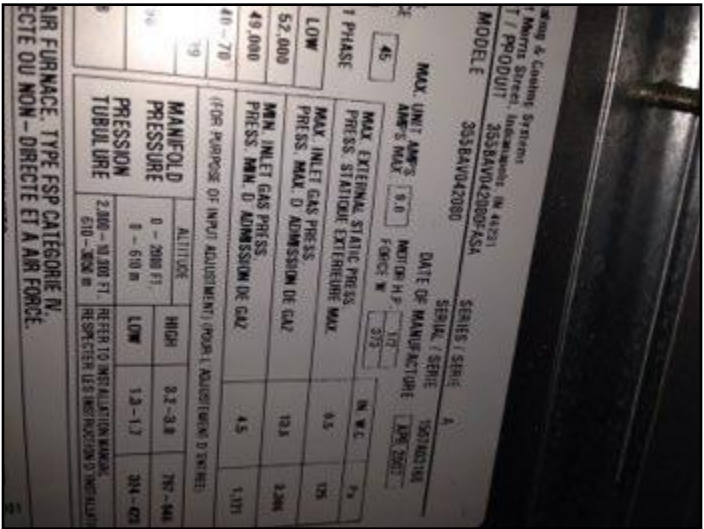


Bryant



Bryant

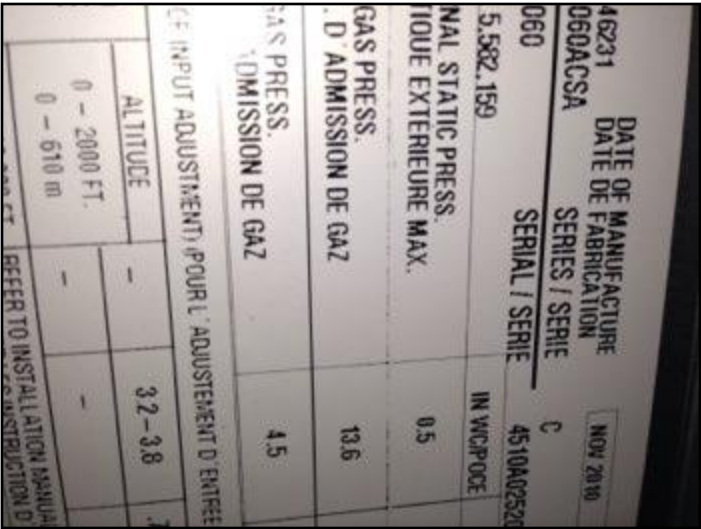
- Bryant  
Furnace for addition:



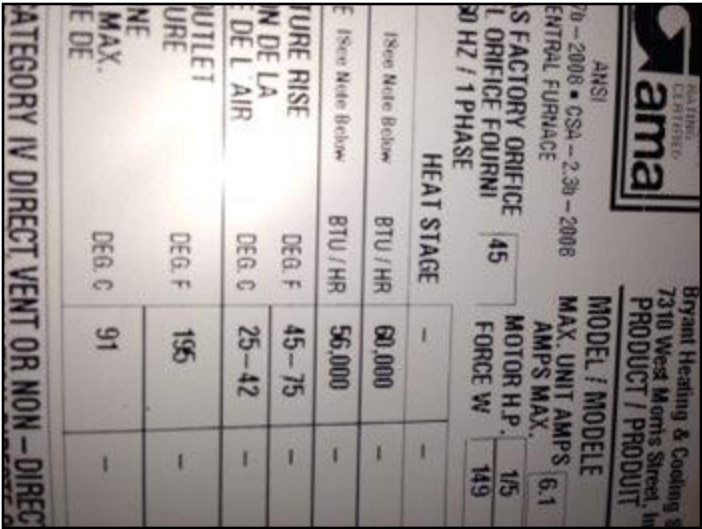
Bryant

HEATING

75 Sample Crt, Pittsburgh, PA May 22, 2015



Bryant



Bryant



Bryant



Bryant

- Bryant Cottage furnace:

# HEATING

75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

[www.inspectioneeringpgh.com](http://www.inspectioneeringpgh.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

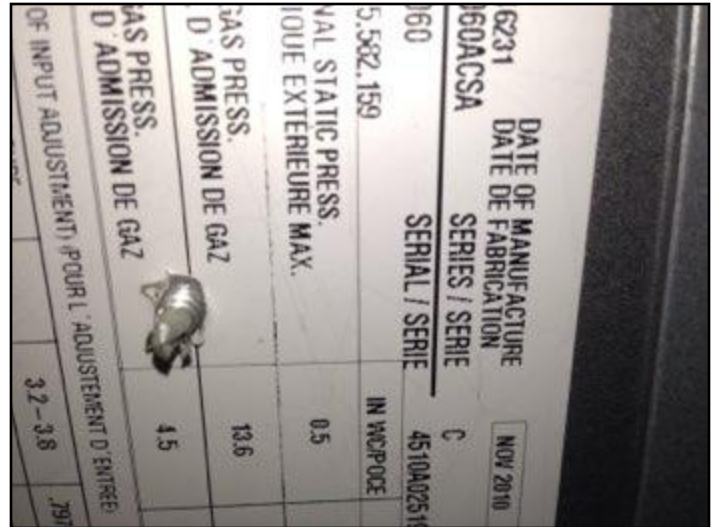
PLUMBING

INTERIOR

REFERENCE



Bryant



Bryant



Bryant

**Heat distribution:** • Ducts and registers

**Approximate capacity:**

• 80,000 BTU/hr

Both Bryant furnaces for main house

• 60,000 BTU/hr

Cottage furnace and addition furnace



# HEATING

75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

[www.inspectioneeringpgh.com](http://www.inspectioneeringpgh.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

**Efficiency:** • High-efficiency

**Approximate age:**

• 5 years

Cottage and addition furnaces.

• 8 years

Both main house furnaces.

**Typical life expectancy:** • Furnace (high efficiency) 15 to 20 years

**Main fuel shut off at:**

• Exterior wall



*Exterior wall/main gas shutoff*

**Failure probability:** • Low

**Fireplace:**

• Wood-burning fireplace

Formal living room cracked stone mantle. Repair/ replace as needed

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75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

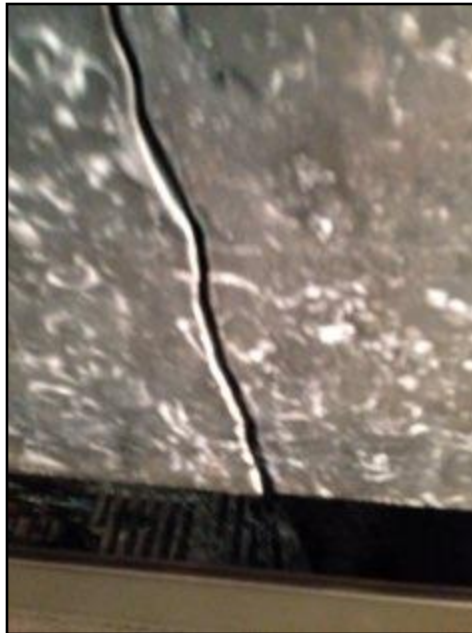
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



*Wood-burning fireplace*

- Gas fireplace
- Decorative only

**Chimney/vent:** • PVC plastic

**Carbon monoxide test:** • 0 parts per million - approximate

**Combustion air source:** • Outside - sealed combustion

## Humidifiers:

- Trickle/cascade type

Just for your information: It is highly recommended to clean/ replace the humidifier filters before the heating season.

## Limitations

**General:** • The Client understands that the adequacy of heat and air conditioning distribution is difficult to determine on a one time visit. Weather conditions can limit the testing of heating and air conditioning systems. The Company cannot warrant that the heating and/or the air conditioning systems present at the time of the Inspection adequately distribute heat or air conditioning throughout the building. The Client should inquire of the Seller as to the adequacy of heat and air conditioning distribution prior to finalizing your sales agreement.

**Safety devices:** • Not tested as part of a building inspection

**Heat loss calculations:** • Not done as part of a building inspection

## Fireplace/wood stove:

- Quality of chimney draw cannot be determined

On a one time inspection and against our standards of practice of not starting a fire in the wood fireplace, the quality of the draw was unable to be determined.

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75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

[www.inspectioneeringpgh.com](http://www.inspectioneeringpgh.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

**Heat exchanger:** • Not visible

## Recommendations

### General

**10.** • This is just for your information: it is highly recommended to have your furnace serviced seasonally to promote proper operation. Also recommended to replace your air filters once every 3 months.

COOLING & HEAT PUMP

75 Sample Crt, Pittsburgh, PA May 22, 2015

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Air conditioning type: • Air cooled

Manufacturer:

• Bryant

Right side unit near the garage. This unit supplies cold air to the main house.



Bryant



Bryant

• Bryant

Unit 2 located near the garage, also provides cold air to the main house.



Bryant



Bryant



# COOLING & HEAT PUMP

75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

[www.inspectioneeringpgh.com](http://www.inspectioneeringpgh.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## • Bryant

The condensing unit located at the right side of the addition. This unit provides cold air to the addition.



Bryant



Bryant

## Compressor approximate age:

- 5 years
- Addition unit.
- 8 years
- Both main house units.

**Typical life expectancy:** • 12 to 15 years

**Failure probability:** • Low

**Supply temperature:** • 50°

**Return temperature:** • 70°

**Temperature difference:**

- 18°
- 20°
- This suggests good performance.

All 3 air condition systems provided satisfactory temperature differences, between the supply air and the return air.

# COOLING & HEAT PUMP

75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

[www.inspectioneeringpgh.com](http://www.inspectioneeringpgh.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

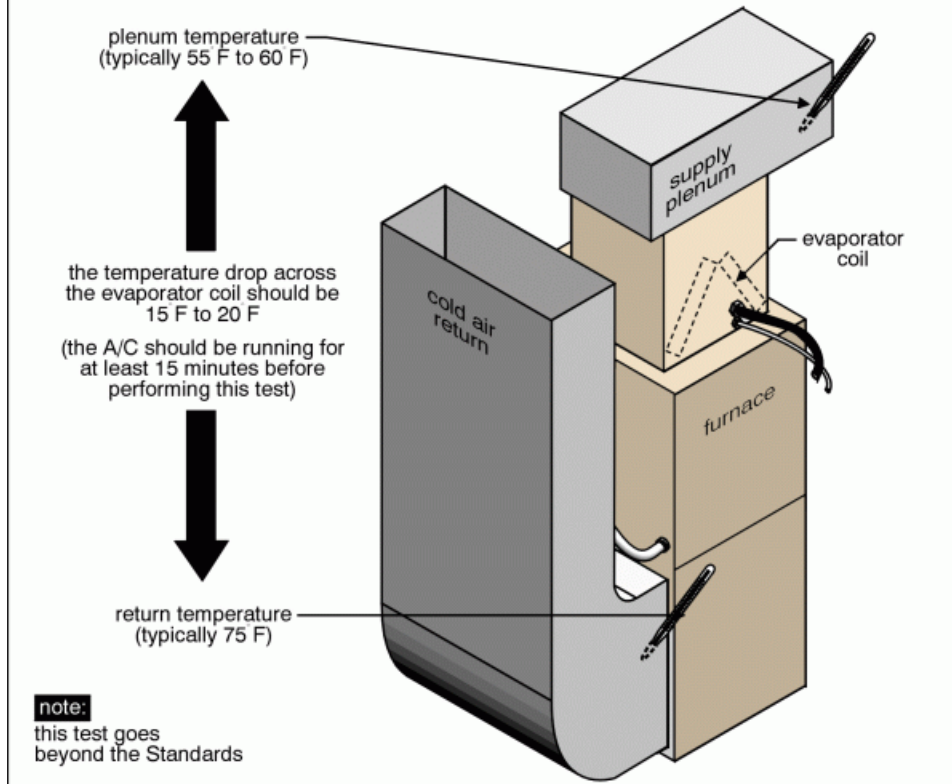
INSULATION

PLUMBING

INTERIOR

REFERENCE

## Measure temperature drop across inside coil



## Recommendations

### General

11. • Just for your information I would suggest to cover the exterior condensing unit during the winter months, and remove the cover before first use.

### AIR CONDITIONING \ Air cooled condenser coil

12. Condition: • Dirty

The inside of both condensing units cabinet and the condensing coils were dirty and full of debris. I would suggest to have a licensed Hvac contractor remove the condenser housing and clean the cabinet as well as the coils to promote better operation/ efficiency. Having your systems serviced seasonally is part of regular maintenance.

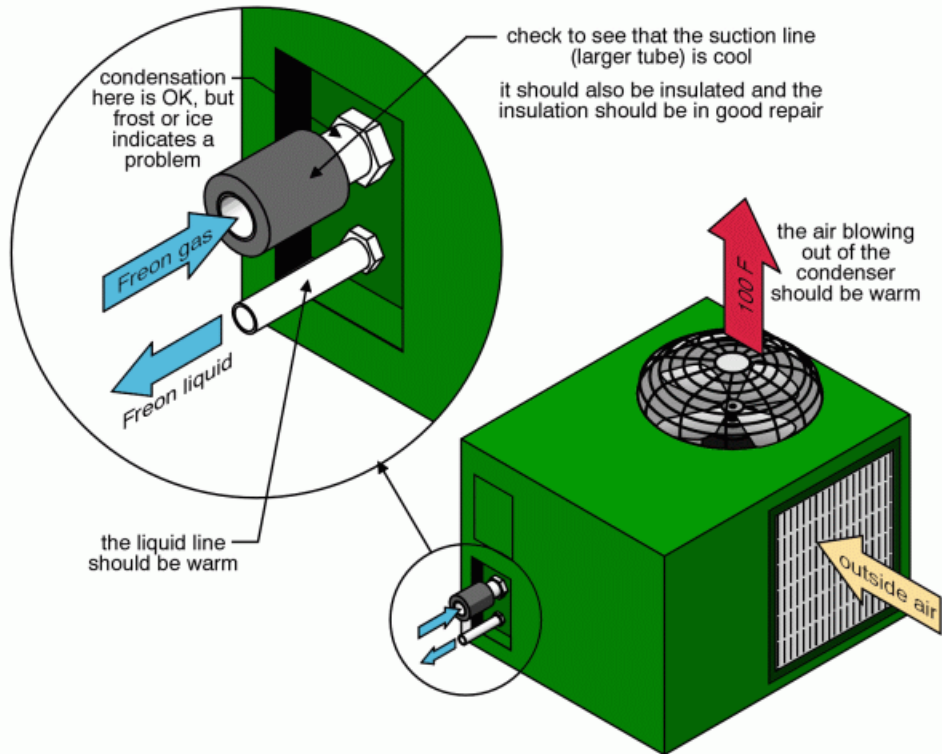
**Implication(s):** Reduced system life expectancy | Increased cooling costs | Reduced comfort

**Location:** Left side of house near garage

**Task:** Clean/ maintain/ improve

**Time:** Regular maintenance

## Inspecting the condenser unit



Dirty



Dirty

# INSULATION AND VENTILATION

75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

[www.inspectioneeringpgh.com](http://www.inspectioneeringpgh.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Description

**General:** • Attic photo



*Attic photo*

**General:** • Attic photo

*Note:* Cottage



*Attic photo*

# INSULATION AND VENTILATION

75 Sample Crt, Pittsburgh, PA May 22, 2015

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

**Attic/roof insulation material:** • Glass fiber

**Attic/roof insulation amount/value:** • R-30



*R-30*

**Attic/roof ventilation:** • Gable vent • Power ventilator

**Floor above basement/crawlspace insulation material:** • Glass fiber

**Floor above basement/crawlspace insulation amount/value:** • R-20

## Limitations

**Attic inspection performed:** • By entering attic, but access was limited

**Crawl space inspection performed:** • By entering space, but access was limited



## Description

**Water supply source:** • Public

**Service piping into building:** • Copper

**Supply piping in building:** • Pex

*Note:* Cottage

**Supply piping in building:** • Copper

**Main water shut off valve at the:**

• Basement

Basement in cottage.



*Basement*

**Water flow and pressure:**

• Above average

# PLUMBING

75 Sample Crt, Pittsburgh, PA May 22, 2015

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



Above average

**Water heater fuel/energy source:** • Gas

**Water heater type:** • Conventional

**Water heater manufacturer:**

- Bradford White



Bradford White



75 Sample Crt, Pittsburgh, PA      May 22, 2015

[www.inspectioneeringpgh.com](http://www.inspectioneeringpgh.com)

## INTERIOR

BRADFORD WHITE CORPORATION  
200 LAFAYETTE ST. MIDDLEVILLE MI  
Model No: MI403S6FBN  
Serial No: DC8920927 D/N:  
Cap. 40(gal.)  
Input: 40000 (Btu/hr.) Gas: NAT  
Gas press. Manifold: 4.0 ("w.c.)  
Supply Max: 14.0 ("w.c.) Min. 5.0  
For closet installation.  
MINIMUM CLEARANCES FROM COMBUSTIBLE  
CONSTRUCTION: 4 INCHES FRONT, 0  
0 IN. RIGHT, 0 INCHES BACK, 12  
6 INCHES FROM VENT CONNECTOR.  
ANS Z21.10.1-2004\*CSA 4.1-2004  
Press: Test 300 (psi), Working 150

A white Bradford White Defender water heater is shown in a utility room. The heater has a black label with 'DEFENDER' and 'BRADFORD WHITE' written on it. Handwritten in black marker on the right side of the tank is 'SANTANA 2/27/97 20-18 Plumbing'. Several warning and instruction labels are affixed to the front of the unit. The heater is connected to pipes and a vent pipe. To the right, a white cabinet is partially visible.

AUTOMATIC STORAGE WATER HEATER					
					
ANSI Z21.10.1B - CSA 4.1B - 2006					
MODEL NUMBER		GAS TYPE		ITEM #	
GS64GYBRT		NATURAL		521661016	
INPUT BTU/H		RECOVERY GALLON		SERIAL NUMBER	
40000		39.32		M07A062344	
GAS PRESSURE IN PSI		WATER HEATING		CITY OF NEW YORK	
NATURAL GAS		PRESSURE IN PSI		OF BUILDING	
4.00		150		121-07-E	
MFD. BY		STATE INDUSTRIES, INC.			
ASHLAND CITY, TN USA					
					
Model Number GS64GYBRT		Serial Number M07A062344			

Page 42 of 63

State

**Typical life expectancy:** • 75 gallon plus water heaters Life expectancy: approximately 15-20 years

**Typical life expectancy:** • 8 to 12 years

**Waste disposal system:** • Septic system

**Waste and vent piping in building:** • ABS plastic • PVC plastic • Copper • Cast Iron

**Gas piping:** • Steel • CSST (Corrugated Stainless Steel Tubing)

## Limitations

**Items excluded from a building inspection:** • Irrigation systems are outside the scope of a standard home inspection. Consult a irrigation/ sprinkler expert for further evaluation.



### Items excluded from a building inspection:

- Septic system

The inspection of the septic system is not part of this home inspection. It is highly recommended to have this system inspected before closing.

- Isolating/relief valves & main shut-off valve
- Concealed plumbing
- Tub/sink overflows
- Water heater relief valves are not tested
- The performance of floor drains or clothes washing machine drains

## Recommendations

### SUPPLY PLUMBING \ Pressure regulator

**13. Condition:** • Recommended due to high supply water pressure

148psi was measured at laundry tub in basement. The standard water pressure for residential systems should not exceed 80 psi, when the water pressure exceeds 80, it can harm the supply plumbing system ex. Plumbing joints/connections, faucets, fixtures, etc.. I would recommend a licensed plumber to repair/ replace the water pressure regulator.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Damage to equipment

**Location:** Basement laundry tub

**Task:** Repair/ replace pressure regulator/ improve

**Time:** Near future



*Recommended due to high supply water...*

### WATER HEATER \ Temperature/pressure relief valve

**14. Condition:** • Discharge tube missing

The water heater was missing the discharge tube that is connected to the temperature relief valve. I would suggest to have a licensed plumber install in order to prevent hot water being discharged uncontrollably and causing an unintentional accident. This is a safety concern.

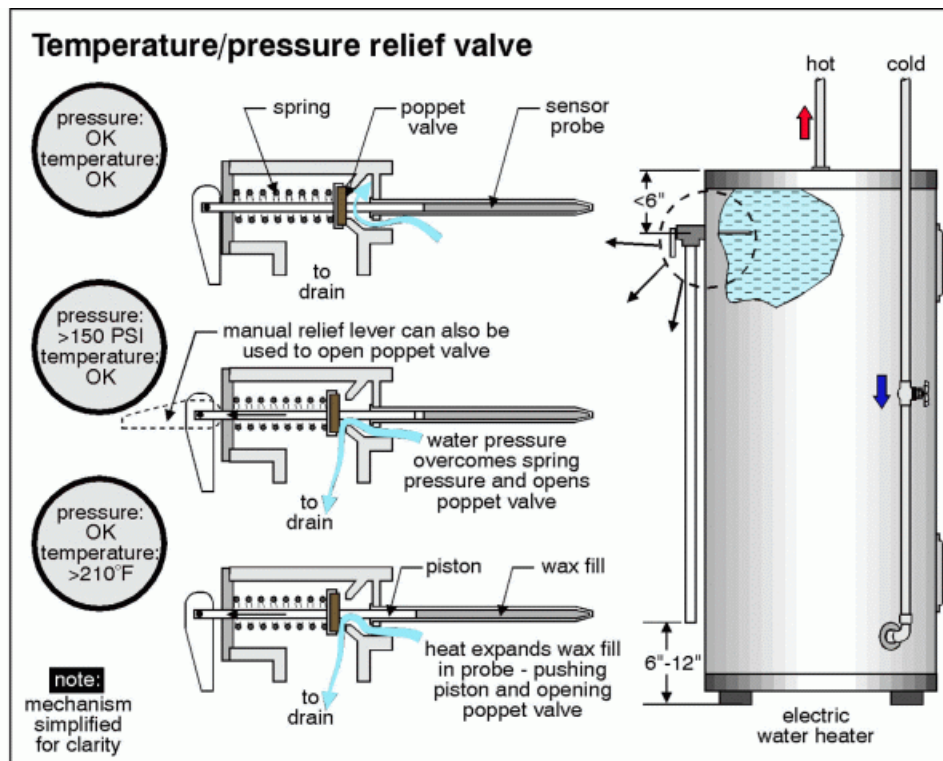
**Implication(s):** Scalding

**Location:** Main house basement

**Task:** Install discharge tube / improve

**Time:** ASAP





*Discharge tube missing*

## **FIXTURES AND FAUCETS \ Basin, sink and laundry tub**

### **15. Condition:** • Slow drains

Very slow drain/ clogged drain was observed at the kitchen sink; have a plumber inspect and repair as needed.

# PLUMBING

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Kitchen

**Task:** Repair/ improve

**Time:** As needed



*Slow drains*

## **FIXTURES AND FAUCETS \ Toilet**

**16. Condition:** • Loose

The toilet in the masterbathroom is loose and should be secured ASAP to prevent future leakage (see illustration). Note: wax ring may also need to be replaced.

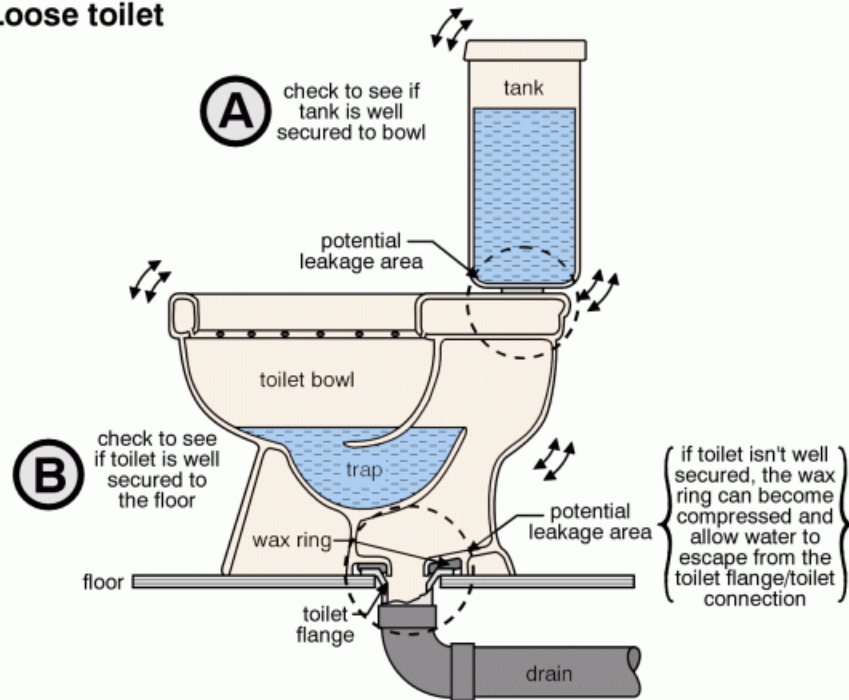
**Implication(s):** Chance of water damage to contents, finishes and/or structure | Sewage entering the building

**Location:** Master bathroom

**Task:** Secure/ improve

**Time:** ASAP

## Loose toilet



Loose

## FIXTURES AND FAUCETS \ Shower stall enclosure

**17. Condition:** • Caulking loose, missing or deteriorated

The caulking at the corner of the front left side bathroom shower enclosure is deteriorated and a minor gap where water can penetrate into the wall/ structure was observed (see picture); improve/seal to prevent water penetration and possible damage to the structure.

# PLUMBING

75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** 2nd floor front left bathroom

**Task:** Seal/ caulk/ improve

**Time:** As needed



*Caulking loose, missing or deteriorated*

## GAS SUPPLY \ Gas piping

**18. Condition:** • Piping not properly bonded

The corrugated stainless steel gas piping was observed not to be properly bonded to the electric system. I recommend a licensed electrician install a bonding wire between the copper water system and the gas piping for safety.

**Implication(s):** Fire or explosion

**Location:** Main house and cottage

**Task:** Properly bond the pipes/ improve

**Time:** ASAP

# PLUMBING

75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

[www.inspectioneeringpgh.com](http://www.inspectioneeringpgh.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

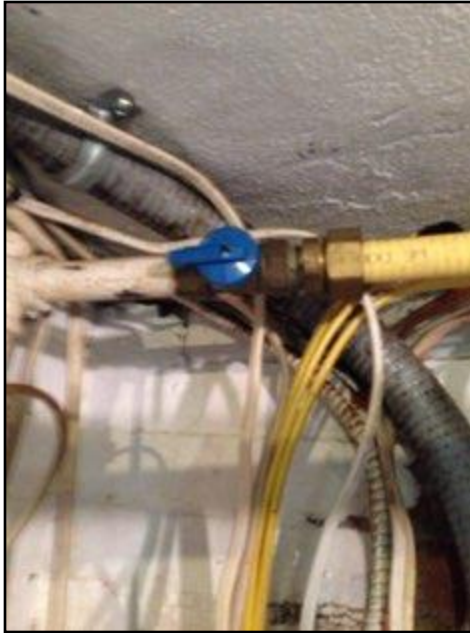
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



*Piping not properly bonded*



## Description

**Major floor finishes:** • Carpet • Hardwood • Quarry tile • Tile

**Major wall finishes:** • Plaster/drywall • Paneling

**Major ceiling finishes:** • Plaster/drywall • Suspended tile

**Windows:** • Single/double hung • Casement • Wood • Vinyl-clad wood

**Glazing:** • Single • Double • Primary plus storm

**Exterior doors - type/material:**

- French
- Wood
- Plastic/fiberglass
- Garage door - wood
- Cottage
- Garage door - metal

**Doors:** • Inspected

**Evidence of basement leakage:**

- Floor patched around perimeter

The basement floor was patched around the left side perimeter due to a sump pump and interior french drain being installed. This basement at sometime in the past had water issues, and that the current owners have made repairs/ remedied the situation. At time of inspection no moisture issues were noted. Suggestion, keep gutters,downspouts clean and operating as intended, check exterior grading for positive slope away from foundation, and discharge excess water 4'-6' away from foundation.

**Oven type:** • Convection

**Oven fuel:** • Gas

**Range fuel:** • Gas

**Appliances:** • Range hood • Dishwasher • Waste disposal • Door bell

**Laundry facilities:** • Washer • Laundry tub • Hot/cold water supply • Dryer • Vented to outside • 120-Volt outlet • 240-Volt outlet • Gas piping

**Kitchen ventilation:** • Range hood • Discharges to exterior

**Bathroom ventilation:** • Window

**Bathroom ventilation:** • Exhaust fan

**Counters and cabinets:** • Inspected

**Stairs and railings:** • Inspected

## Limitations

### Inspection limited/prevented by:

- Storage/furnishings
- Storage in closets/cupboards



*Storage in closets/cupboards*

**Cosmetics:** • No comment offered on cosmetic finishes

## Recommendations

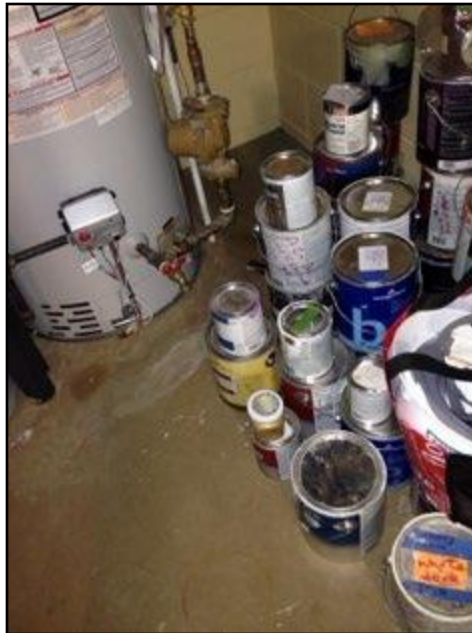
### General

**19.** • I would suggest to NOT store paint and flammables next to open flames, such as the water heater.

**Location:** Basement

**Task:** Move flammables / improve

**Time:** ASAP



**20. •** Evidence of interior french drains at cottage garage and the right side main house garage. Interior french drains collect excessive water and divert it away from the house.

Note: No issues were observed with this system.

**Location:** Cottage garage/ main house garage



## **RECOMMENDATIONS \ Overview**

**21. Condition: •** After taking possession of a new home, there are some maintenance and safety issues that should be addressed immediately. The following checklist should help you undertake these improvements:

Change the locks on all exterior entrances, for improved security.

Check that all windows and doors are secure. Improve window hardware as necessary. Security rods can be added to sliding windows and doors. Consideration could also be given to a security system.

Install smoke detectors on each level of the home. Ensure that there is a smoke detector outside all sleeping areas. Replace batteries on any existing smoke detectors and test them. Make a note to replace batteries again in one year. Create a plan of action in the event of a fire in your home. Ensure that there is an operable window or door in every room of the house. Consult with your local fire department regarding fire safety issues and what to do in the event of fire. Examine driveways and walkways for trip hazards. Undertake repairs where necessary.

Examine the interior of the home for trip hazards. Loose or torn carpeting and flooring should be repaired. Undertake improvements to all stairways, decks, porches and landings where there is a risk of falling or stumbling. Review your home inspection report for any items that require immediate improvement or further investigation. Address these areas as required.

Install rain caps and vermin screens on all chimney flues, as necessary

## REGULAR MAINTENANCE

### EVERY MONTH

Check that fire extinguisher(s) are fully charged. Re-charge if necessary

Remove debris from window wells.

Carefully inspect the condition of shower enclosures. Repair or replace deteriorated grout and caulk. Ensure that water is not escaping the enclosure during showering. Check below all plumbing fixtures for evidence of leakage.

Repair or replace leaking faucets or shower heads.

Secure loose toilets, or repair flush mechanisms that become troublesome.

### SPRING AND FALL

Examine the roof for evidence of damage to roof coverings, flashings and chimneys.

Look in the attic (if accessible) to ensure that roof vents are not obstructed. Check for evidence of leakage, condensation or vermin activity. Level out insulation if needed.

Inspect the exterior walls and foundation for evidence of damage, cracking or movement. Watch for bird nests or other vermin or insect activity.

Survey the basement and/or crawl space walls for evidence of moisture seepage. Look at overhead wires coming to the house. They should be secure and clear of trees or other obstructions.

Ensure that the grade of the land around the house encourages water to flow away from the foundation.

Inspect all driveways, walkways, decks, porches, and landscape components for evidence of deterioration, movement or safety hazards.

Clean windows and test their operation. Improve caulking and weather-stripping as necessary. Watch for evidence of rot in wood window frames. Paint and repair window sills and frames as necessary.

Test all ground fault circuit interrupter (GFCI) devices, as identified in the inspection report.

Shut off isolating valves for exterior hose bibs in the fall, if below freezing temperatures are anticipated.

Inspect for evidence of wood boring insect activity. Eliminate any wood/soil contact around the perimeter of the home.

Test the overhead garage door opener, to ensure that the auto-reverse mechanism is responding properly. Clean and lubricate hinges, rollers and tracks on overhead doors.

Replace or clean exhaust hood filters.

Clean, inspect and/or service all appliances as per the manufacturers recommendations.

### ANNUALLY

Replace smoke detector batteries.

Have the heating, cooling and water heater systems cleaned and serviced.  
 Have chimneys inspected and cleaned. Ensure that rain caps and vermin screens are secure.  
 Flip the breakers on and off to ensure that they are not sticky. That they reset.  
 If the house utilizes a well, check and service the pump and holding tank. Have the water quality tested. If the property has a septic system, have the tank inspected (and pumped as needed).  
 If your home is in an area prone to wood destroying insects (termites, carpenter ants, etc.), have the home inspected by a licensed specialist. Preventative treatments may be recommended in some cases.

## **CEILINGS \ General**

**22. Condition:** • Water damage

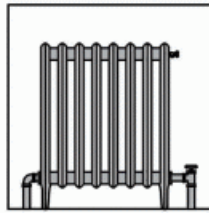
Water stains visible at laundry room in basement drop ceiling. I tested those areas with a tramex moisture meter and they were found to be dry at time of inspection.

**Implication(s):** Cosmetic defects | Chance of movement

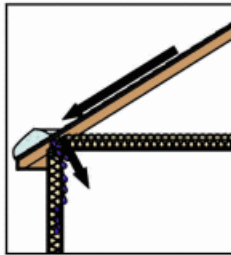
**Location:** Basement laundry area



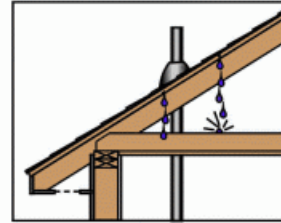
## Sources of interior water damage



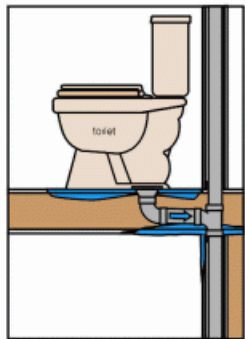
heating leaks



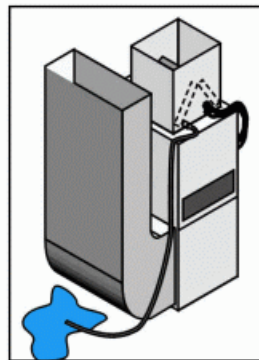
ice damming  
and condensation



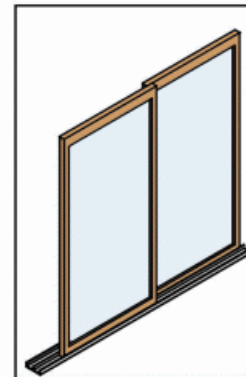
roof or  
flashing leaks



plumbing leaks



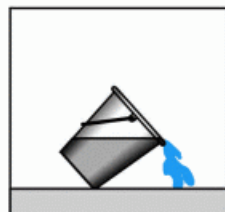
air conditioning leaks



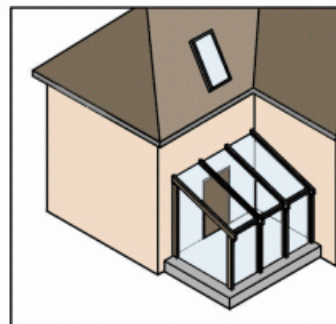
door leaks



melting snow



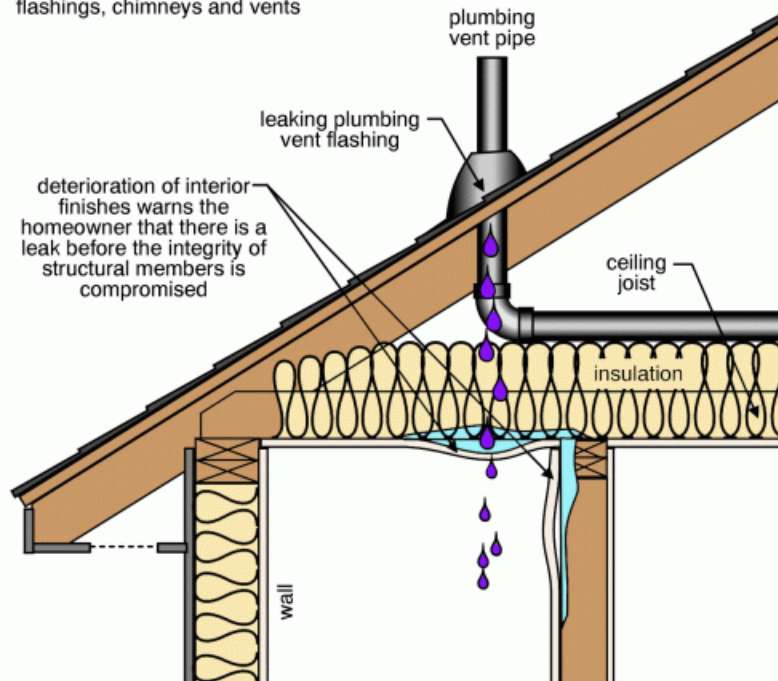
accidental spills



wall, window, solarium and skylight leaks

## Common locations for water damage

water damage to walls is common below windows, bathrooms, roof flashings, chimneys and vents



Water damage



Water damage



*Water damage*

## 23. Condition: • Stains

Water stains were observed at the dormer of the attic (see pictures); no moisture was detected at the time of the inspection; Request more information if available regarding these stains from current owners (old repaired leak? Active under certain conditions?), eliminate the water source if still active.

**Implication(s):** Cosmetic defects

**Location:** Attic

**Task:** Eliminate if still active / improve

**Time:** As needed



*Stains*

## CEILINGS \ Plaster or drywall

### **24. Condition:** • Crumbly or powdery

Signs of water damage were observed on the ceiling near the rear French doors . This area was tested with the moisture meter and found to be dry at the time of the inspection.

**Implication(s):** Cosmetic defects | Chance of movement

**Location:** rear near French doors



*powdery*



*powdery*

## WINDOWS \ Hardware

### **25. Condition:** • Inoperable

Several of the windows throughout were either missing the locking mechanisms or the locks did not operate as intended. Also, one of the casement windows in the kitchen did not operate at all. I would suggest to have a licensed contractor install or repair so as the windows operate as intended.

**Implication(s):** System inoperative or difficult to operate

**Location:** Kitchen/ second floor / throughout

**Task:** Repair/ replace/ improve

**Time:** As needed

# INTERIOR

75 Sample Crt, Pittsburgh, PA May 22, 2015

Report No. 1498, v.4

[www.inspectioneeringpgh.com](http://www.inspectioneeringpgh.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



*Missing*



*Inoperable*



*Inoperable*

## **DOORS \ Doors and frames**

### **26. Condition:** • Damage

The left side entry door has been customized for a dog door. If you do not own a pet or pets are not in your future plans, this door should be replaced.

**Implication(s):** Cosmetic defects

**Location:** left side door into mud room

**Task:** Replace door/ improve



**Time:** Discretionary



*Damage*

## **BASEMENT \ Wet basement - evidence**

**27. Condition:** • Some typical signs of moisture like efflorescence were visible. Efflorescence is a mineral deposit present in the foundation wall due to some moisture. This condition is very typical and expected to be present in old basement. Monitor for any change in current condition.

Note: ensure gutters and downspouts are clean and clear of debris.

**Location:** Cottage



*Some typical signs of moisture like...*

## 28. Condition: • Mold

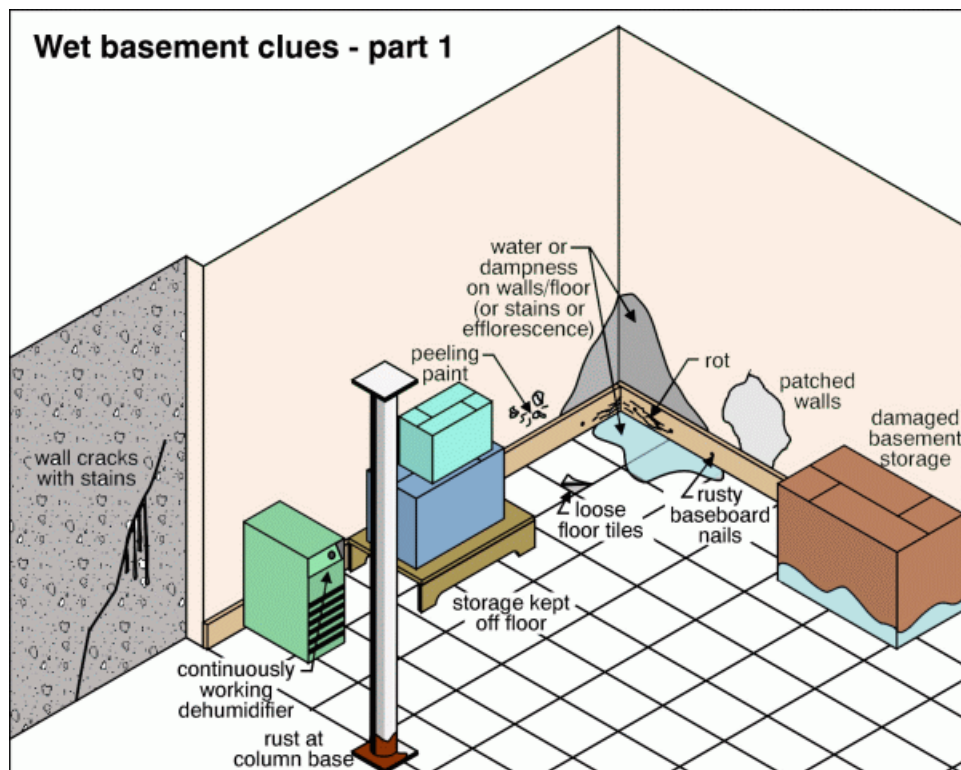
Some bio-growth black stains that may be mold were observed at the front basement door (see picture). Note: identifying this black substance as Mold is out side the scope of this inspection; consult an environmental expert for identification/ correction if needed.

**Implication(s):** Cosmetic defects | Chance of water damage to contents, finishes and/or structure | Contaminants may enter building air

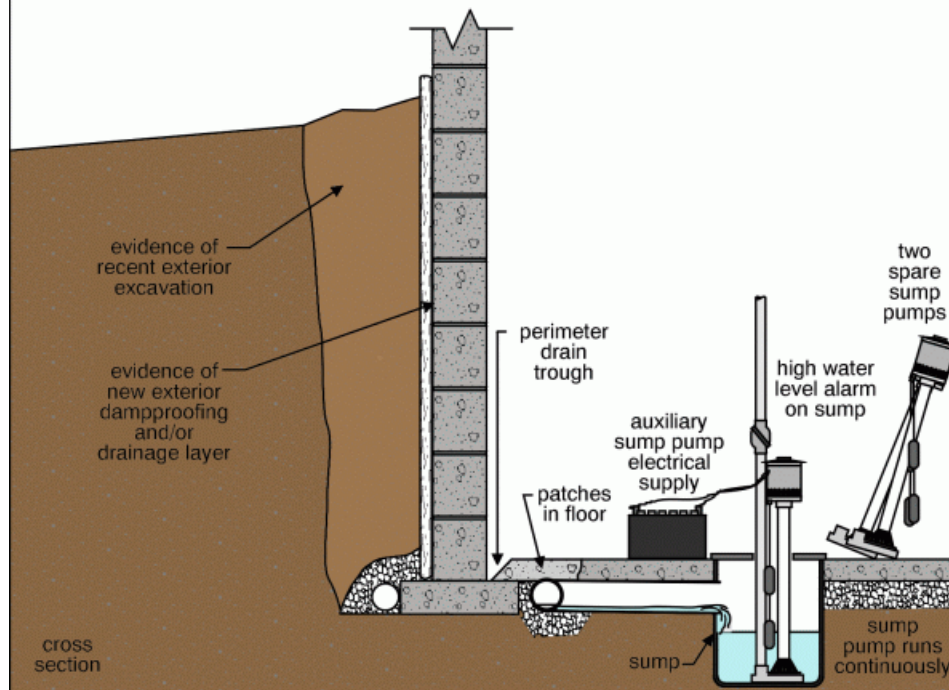
**Location:** Front basement door

**Task:** Further evaluation if concerned

**Time:** Discretionary



## Wet basement clues - part 2



*Mold*

**END OF REPORT**

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS