

Your Inspection Report

Somewhere Lane
Osseo, WI 54758

PREPARED FOR:
SAMPLE REPORT

INSPECTION DATE:
Tuesday, September 18, 2018

PREPARED BY:
Scott Semingson



Hakuna Matata Home Inspection
W13444 Fairway Lane
Osseo, WI 54758

715-533-9175

www.hakunamatatahomeinspection.com
hakunamatata@tcc.coop



January 20, 2019

Dear Sample Report,

RE: Report No. 1041, v.2
Somewhere Lane
Osseo, WI
54758

Thanks very much for choosing Hakuna Matata Home Inspection to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Wisconsin State Standards of Practice (SOP). This document defines the scope of a home inspection. <https://docs.legis.wisconsin.gov/statutes/statutes/440/XI/975>

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing Hakuna Matata Home Inspection to perform your home inspection.

Sincerely,

Scott Semingson
on behalf of
Hakuna Matata Home Inspection

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INVOICE

January 20, 2019

Client: Sample Report

Report No. 1041, v.2

For inspection at:

Somewhere Lane

Osseo, WI

54758

on: Tuesday, September 18, 2018

Home inspection. 0-1999 sq.ft. single family home

\$300.00

Total

\$300.00

PAID IN FULL - THANK YOU!

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Osseo, WI 54758
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SUMMARY

Somewhere Lane, Osseo, WI September 18, 2018

Report No. 1041, v.2

www.hakunamatatahomeinspection.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

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REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Exterior

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

Condition: • [Loose](#)

Implication(s): Fall hazard

Location: Exterior

Task: Repair

Structure

FOUNDATIONS \ General

Condition: • [Cracked horizontally](#)

Recommend further evaluation by a qualified contractor.

Implication(s): Chance of structural movement

Task: Further evaluation

Condition: • [Bowed, bulging or leaning](#)

Recommend further evaluation by a qualified contractor.

Implication(s): Chance of structural movement | Weakened structure

Task: Further evaluation

Electrical

DISTRIBUTION SYSTEM \ Cover plates

Condition: • [Missing](#)

On the day of the inspection the cover plate on the exterior garage light was missing. Recommend repairing.

Implication(s): Electric shock

Location: Garage

Task: Provide

DISTRIBUTION SYSTEM \ Lights

Condition: • [Poor stairway lighting](#)

On the day of the inspection there was no 3-way switch for the basement stairway light. Recommend contacting a qualified electrician for improvement.

Implication(s): Trip or fall hazard

Task: Improve

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for

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improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

General Information / Description

General: • DEFINITIONS

SATISFACTORY: The system or component is functional and is performing as designed. Regular and routine maintenance should be expected and performed to keep the system or component in optimum condition for maximum life expectancy. This rating is a general guideline and unexpected repairs or maintenance may be necessary with any system or component.

TYPICAL OR MINOR MAINTENANCE: Regular upkeep of physical properties (i.e. Land, Buildings, and Equipment) including recurring, preventive and on-going maintenance necessary to delay or prevent the failure of critical and non-critical building systems and equipment.

MARGINAL: The system or component is aging and/or nearing the end of its useful life expectancy or may not be performing optimally. Repairs or replacement of the system or component may be expected in the near future and budgeting for repairs or replacement should be considered. This rating is a general guideline and unexpected repairs or maintenance may be necessary with any system or component.

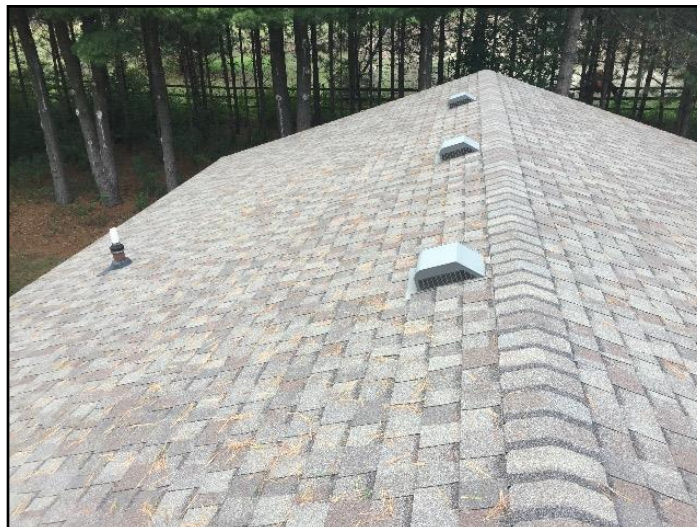
ILLUSTRATIONS: Illustrations are placed in the home inspection report for example only. Contact your state and local personal for current building standards and codes.

Sloped roofing material: • [Asphalt shingles](#)

Observations / Recommendations

SLOPED ROOFING \ Asphalt shingles

1. **Condition:** • Satisfactory condition. Miinor or typical maintenance may be required.



Satisfactory condition. Miinor or typical...

SLOPED ROOF FLASHINGS \ Pipe/stack flashings

2. **Condition:** • Satisfactory condition. Miinor or typical maintenance may be required.

ROOFING

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A build up of roofing tar was visible around the electrical service mast flashing. Recommend monitoring for future leaks and resealed when needed.

Task: Monitor

Time: Regular maintenance



Service mast flashing

SLOPED ROOF FLASHINGS \ Drip edge flashings

3. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

SLOPED ROOF FLASHINGS \ Roof vent

4. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

Inspection Methods / Limitations

Inspection performed: • By walking on roof

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General Information / Description

Gutter & downspout material: • No gutters or downspouts

Lot slope: • [Towards building](#) • [Flat](#)

Soffit (underside of eaves) and fascia (front edge of eaves): • [Aluminum](#)

Wall surfaces and trim: • [Vinyl siding](#)

Driveway: • Asphalt

Walkway: • Concrete

Deck: • Raised

Exterior steps: • Concrete

Garage: • Detached designed for 1 car.

Observations / Recommendations

ROOF DRAINAGE \ Gutters and Downspouts

5. Condition: • Missing

Task: Provide

Time: Discretionary

WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)

6. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

WALLS \ Trim

7. Condition: • Satisfactory condition. Minor or typical repairs may be needed.

WALLS \ Vinyl siding

8. Condition: • Satisfactory condition with typical or minor repairs needed. Recommend filling small cracks or holes with clear exterior chalk to prevent water intrusion.

9. Condition: • [Mechanical damage](#)

Location: Garage

Task: Repair or replace

Time: Discretionary

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Garage siding damaged



Garage siding damaged

10. Condition: • [Discolored](#)

On the day of the inspection mildew was visible on the north side of the house and garage. Recommend cleaning as regular maintenance.

Implication(s): Material deterioration | Shortened life expectancy of material



Discolored



Discolored

WINDOWS \ General

11. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

12. Condition: • Damage

On the day of the inspection the basement windows were in need of general maintenance and repair.

Implication(s): Reduced comfort | Increased heating and cooling costs

Location: Basement

Task: Repair or replace

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Time: Discretionary



Broken window

13. Condition: • Paint and Caulking - deteriorated / missing

On the day of the inspection chalk was visible around the exterior of the window frames. Recommend monitoring and resealing as regular maintenance to prevent water intrusion.

Time: Regular maintenance



Paint and Caulking - deteriorated / missing

EXTERIOR GLASS/WINDOWS \ Window wells

14. Condition: • [Missing](#)

Recommend window wells be installed.

Implication(s): Material deterioration | Chance of water damage to contents, finishes and/or structure

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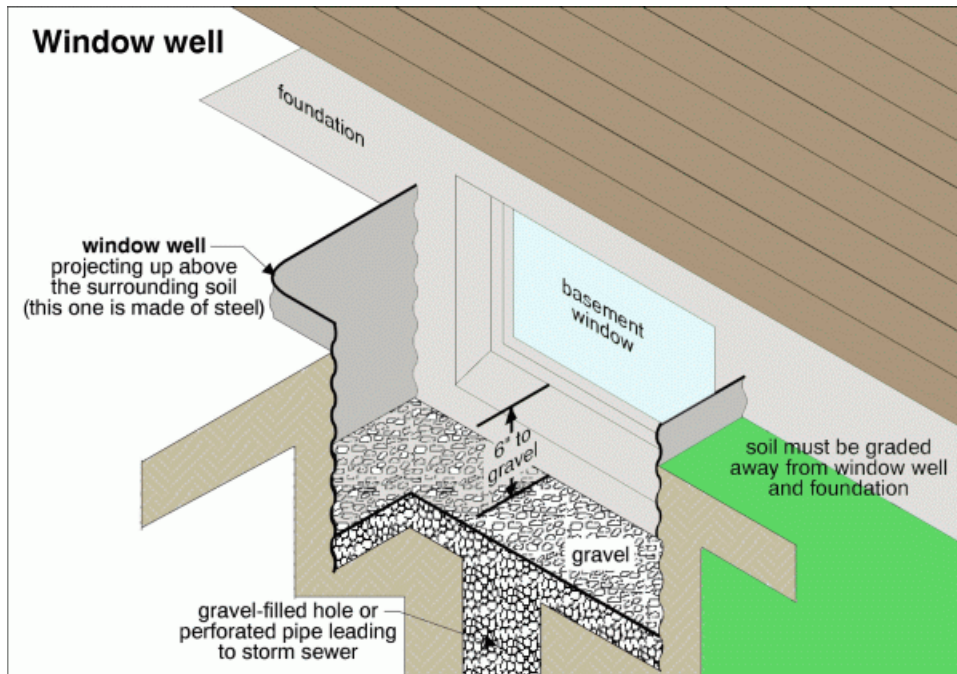
COOLING

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DOORS \ Doors and frames

15. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

16. Condition: • Marginal

On the day of the inspection the garage service door latch was missing.

Location: Garage

Task: Repair or replace

Time: Discretionary



Marginal

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General

17. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Floors

18. Condition: • [Paint or stain needed](#)

Implication(s): Shortened life expectancy of material

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Stairs and landings

19. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

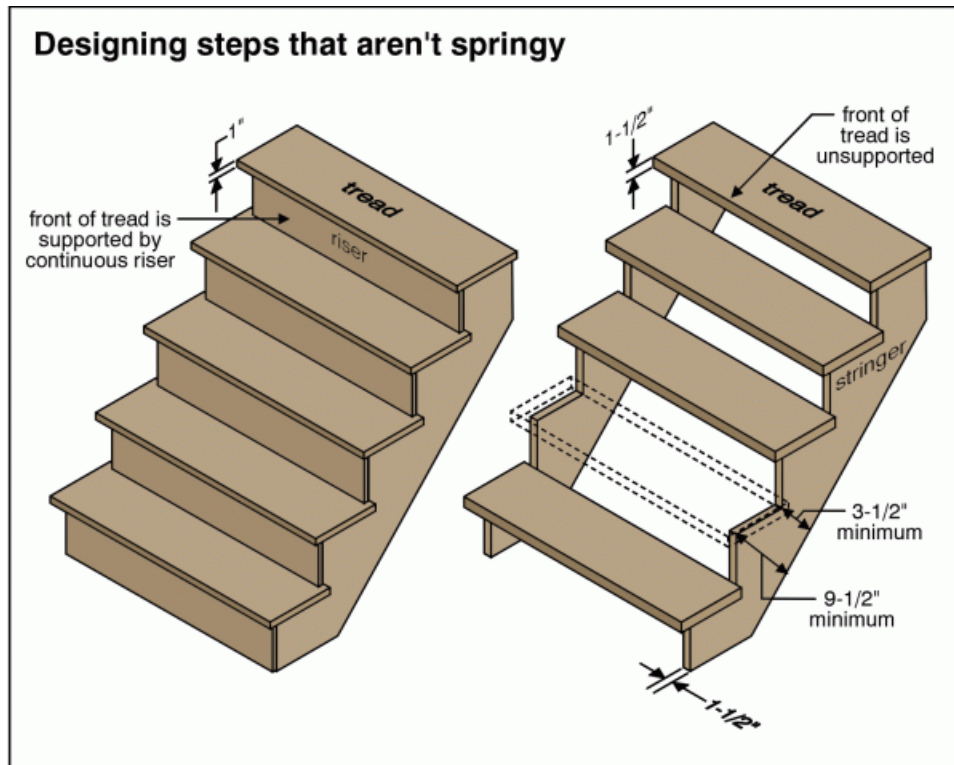
20. Condition: • [Steps springy, loose or sagging](#)

On the day of the inspection the steps on the deck appeared to be springy with sag in the middle.

Implication(s): Trip or fall hazard

Location: Exterior

Task: Repair



PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

21. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

22. Condition: • [Missing](#)

Implication(s): Fall hazard

Location: Exterior

Task: Provide

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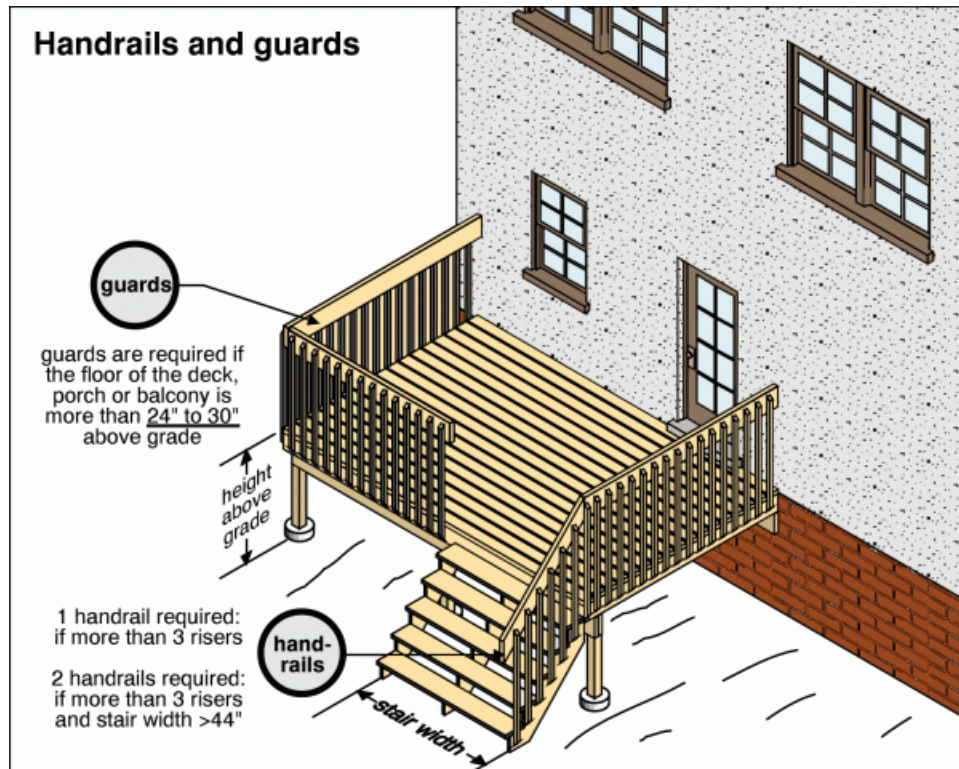
INSULATION

PLUMBING

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Handrails and guards



Missing hand rail on deck

23. Condition: • [Loose](#)

Implication(s): Fall hazard

Location: Exterior

Task: Repair

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Loose guard rail on deck.

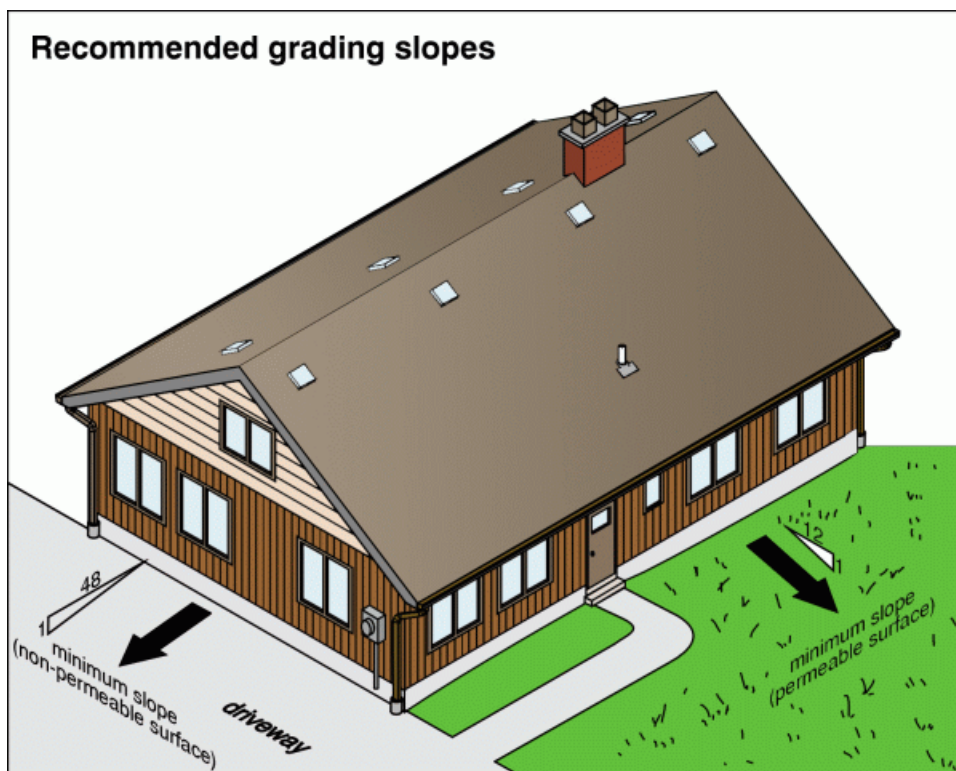
LANDSCAPING \ Lot grading

24. Condition: • [Improper slope or drainage](#)

The ground appears to have settled in various areas around the house. Recommend filling low spots to move the water away from the foundation.

Implication(s): Chance of water damage to contents, finishes and/or structure

Task: Improve



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LANDSCAPING \ Walkway

25. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

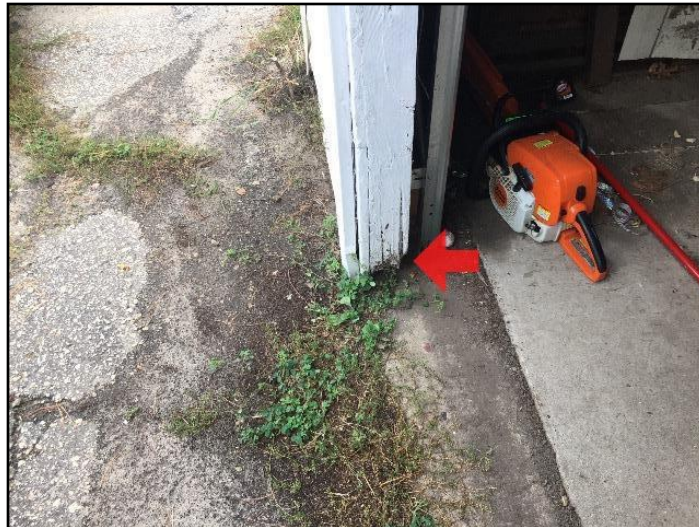
LANDSCAPING \ Driveway

26. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

GARAGE \ Ceilings and walls

27. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

The garage appears to be in satisfactory condition structurally. Areas of rot at the bottom of the structure may be in need of repair or replacement.



Rot at the bottom of garage door frame

GARAGE \ Floor

28. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

GARAGE \ Door into garage / Man-door

29. Condition: • Latch not effective

Implication(s): Reduced operability

GARAGE \ Vehicle doors

30. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

GARAGE \ Vehicle door operators

31. Condition: • At the time of inspection the overhead garage door was in satisfactory condition. The pressure-activated automatic reverse feature was tested and appeared to be operating in a satisfactory manner at the time of the inspection. The photoelectric sensor designed to activate the automatic-reverse at the overhead garage door responded to testing as designed.

EXTERIOR

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Inspection Methods / Limitations

Inspection limited/prevented by: • Storage in garage

General Information / Description

Configuration: • [Basement](#)

Foundation material: • [Masonry block](#)

Floor construction: • [Joists](#)

Roof and ceiling framing: • Rafters

Observations / Recommendations

FOUNDATIONS \ General

32. Condition: • [Cracked horizontally](#)

Recommend further evaluation by a qualified contractor.

Implication(s): Chance of structural movement

Task: Further evaluation



Cracked horizontally

33. Condition: • [Mechanical damage](#)

On the day of the inspection a hole was visible from the rear exterior of the house. Recommend filling to prevent water intrusion and insect intrusion.

Task: Repair



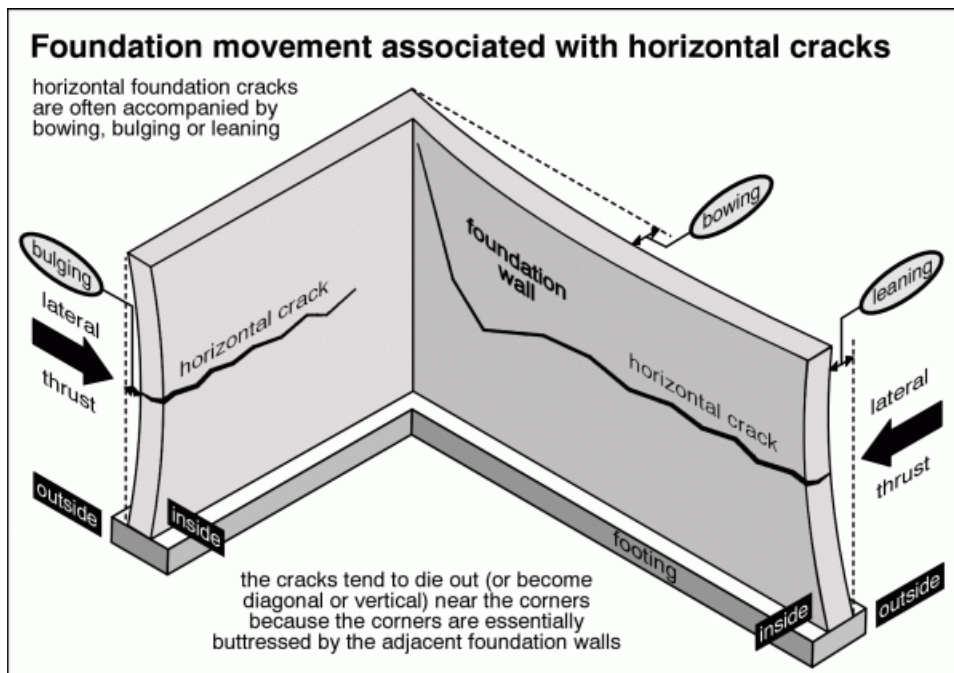
Hole in block

34. Condition: • [Bowed, bulging or leaning](#)

Recommend further evaluation by a qualified contractor.

Implication(s): Chance of structural movement | Weakened structure

Task: Further evaluation





Bowed, bulging or leaning

FLOORS \ Joists

35. **Condition:** • Satisfactory condition.

FLOORS \ Concrete slabs

36. **Condition:** • Satisfactory condition. Minor or typical repairs may be required.

FLOORS \ Sheathing / Subflooring

37. **Condition:** • Satisfactory condition. Minor or typical repairs may be required.

ROOF FRAMING \ Rafters/trusses

38. **Condition:** • Satisfactory condition.

General Information / Description

Service entrance cable and location: • [Overhead aluminum](#)

Service size: • [200 Amps \(240 Volts\)](#)

Main disconnect/service box rating: • [200 Amps](#)

Main disconnect/service box type and location: • [Breakers - basement](#)

System grounding material and type: • [Copper - ground rods](#)

Electrical panel manufacturers: • GE

Auxiliary panel (subpanel) type and location: • [Breakers - garage](#)

Distribution wire material and type: • [Copper - non-metallic sheathed](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom](#) • [GFCI - kitchen](#)

Smoke alarms (detectors): • None noted

Carbon monoxide (CO) alarms (detectors): • None noted

Observations / Recommendations

SERVICE DROP AND SERVICE ENTRANCE \ Service drop

39. Condition: • Satisfactory condition.

SERVICE DROP AND SERVICE ENTRANCE \ Service size

40. Condition: • Satisfactory condition.

SERVICE BOX, GROUNDING AND PANEL \ System grounding

41. Condition: • Satisfactory condition.

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

42. Condition: • On the day of the inspection dead insects were visible at the bottom of the service box.

Location: Basement

Task: Clean



Dead insects in electrical service box.

43. Condition: • Recommend flat end screw be installed on the panel.



Missing screw

44. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

45. Condition: • [Poor access](#)

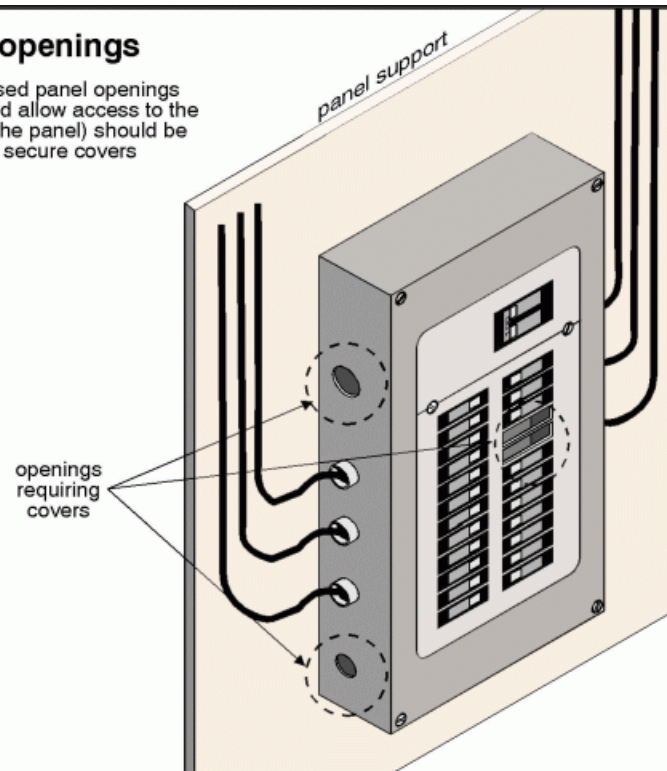
On the day of the inspection the washing machine blocked recommended access to the panel.

Implication(s): Difficult to service

Task: Improve

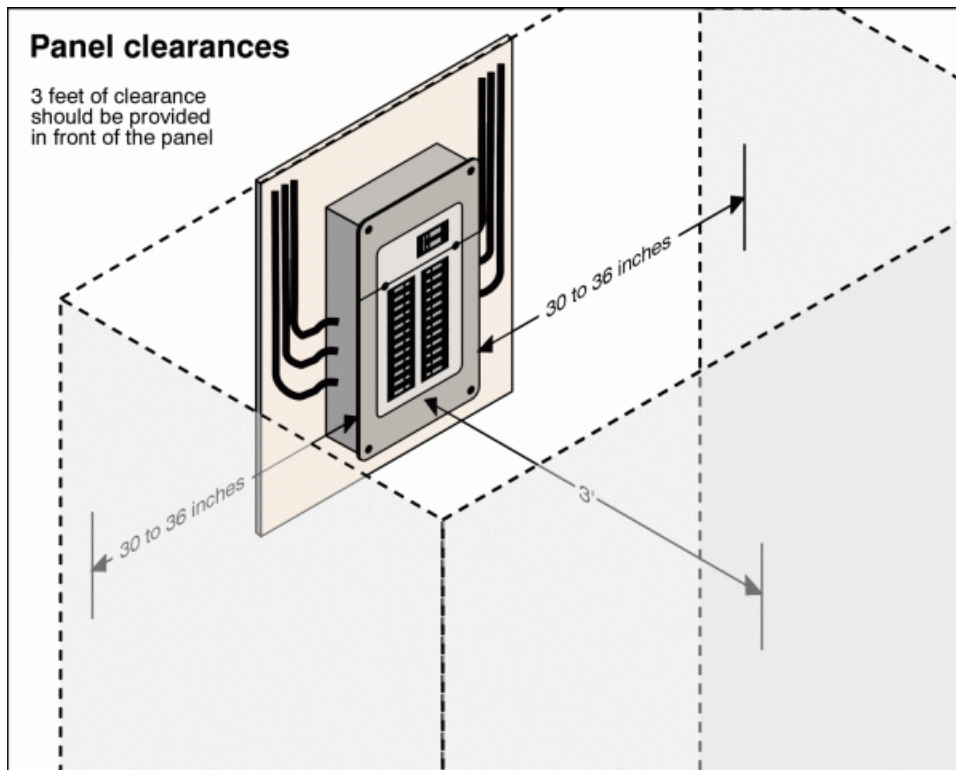
Panel openings

any exposed panel openings (that would allow access to the inside of the panel) should be fitted with secure covers



Panel clearances

3 feet of clearance should be provided in front of the panel

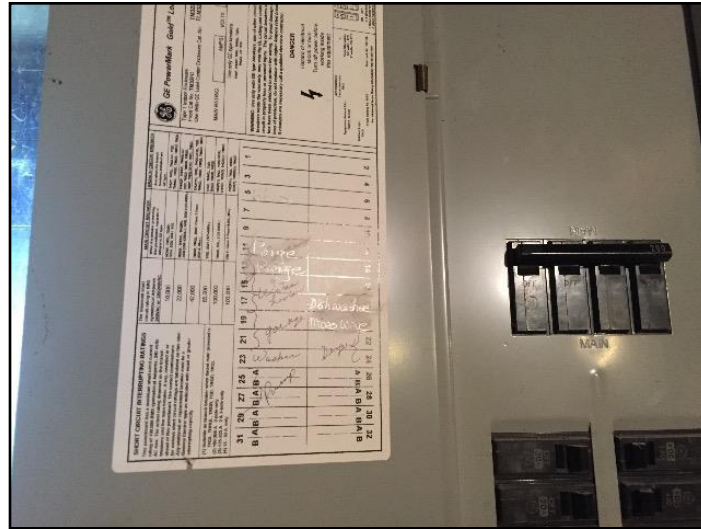


46. Condition: • [Circuits not labeled](#)

Recommend updating the electrical ledger to include all circuits.

Implication(s): Nuisance

Task: Improve



Circuits not labeled

SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers

47. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

SERVICE BOX, GROUNDING AND PANEL \ Auxiliary panel (subpanel)

48. Condition: • Satisfactory conditions. Minor or typical maintenance may be required.

DISTRIBUTION SYSTEM \ Outlets (receptacles)

49. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

50. Condition: • [GFCI/GFI needed \(Ground Fault Circuit Interrupter\)](#)

GFCI receptacles were required in houses starting in 1971. Originally they were only required at the exterior of the house and by swimming pool equipment. Over the years, GFCI receptacles have been required in more locations such as garages, bathrooms, kitchens, basement, etc. Please check with your local building department for GFCI recommended locations.

Implication(s): Electric shock

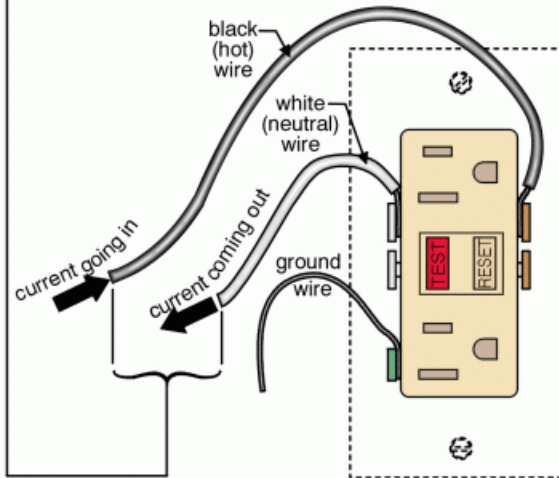
Ground fault interrupter

the GFI circuitry within the outlet checks constantly for a difference between the current in the black and white wires

if there is a difference (even as little as 5 milliamps), there is a current leak (possibly through your body) and the GFI shuts down the receptacle and other receptacles downstream

note:

if the GFI is in the panel, the entire circuit will be shut down



GFCI/GFI needed (Ground Fault Circuit...

DISTRIBUTION SYSTEM \ Switches

51. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

DISTRIBUTION SYSTEM \ Cover plates

52. **Condition:** • [Missing](#)

On the day of the inspection the cover plate on the exterior garage light was missing. Recommend repairing.

Implication(s): Electric shock

Location: Garage

Task: Provide



Missing cover plate

DISTRIBUTION SYSTEM \ Lights

53. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

54. Condition: • [Inoperative](#)

On the day of the inspection the light controlled by a pull string did not operate.

Implication(s): Inadequate lighting

Location: Garage

Task: Repair or replace



Inoperative garage light.

55. Condition: • [Poor stairway lighting](#)

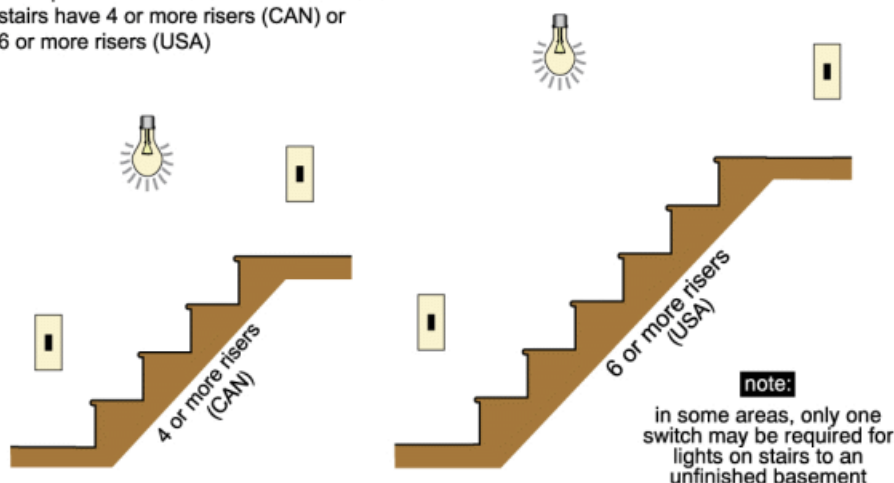
On the day of the inspection there was no 3-way switch for the basement stairway light. Recommend contacting a qualified electrician for improvement.

Implication(s): Trip or fall hazard

Task: Improve

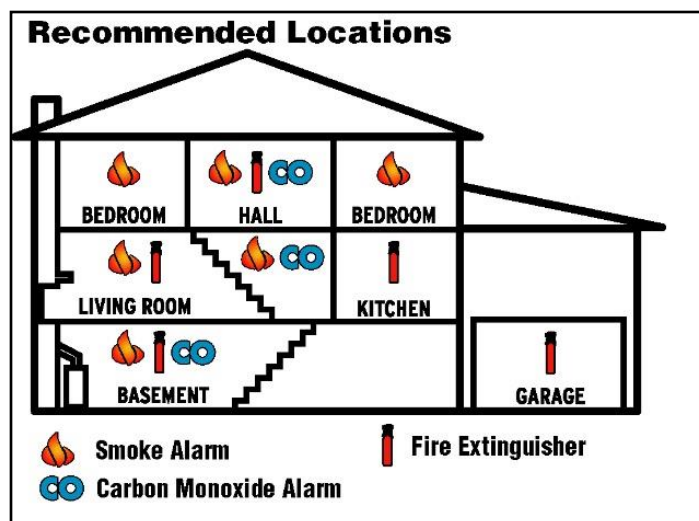
Stairway lighting

stairway lighting requires switches at both the top and bottom of the stairs when the stairs have 4 or more risers (CAN) or 6 or more risers (USA)



DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

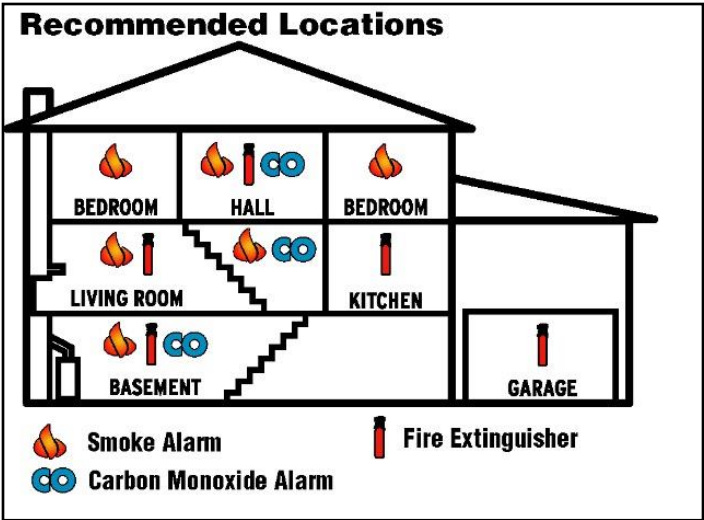
56. Condition: • Recommended smoke alarm locations.



Recommended smoke alarm locations.

DISTRIBUTION SYSTEM \ Carbon monoxide (CO) alarms (detectors)

57. Condition: • None detected. Recommend CO detectors in the suggested areas.



None detected. Recommend CO detectors in...

General Information / Description

System type: • [Furnace](#)

Fuel/energy source: • [Gas](#)

Furnace manufacturer:

• York

The serial number indicates the furnace was manufactured in 1999.

Serial number: EAHMO32124

Exhaust venting method: • [Forced draft](#)

Typical life expectancy: • 15 to 25 years. This average varies based on the quality of the unit, how it's used and whether it has been properly maintained.

Main fuel shut off at: • Basement

Exhaust pipe (vent connector): • PVC plastic

Location of the thermostat for the heating system: • Hallway

Observations / Recommendations

FURNACE \ Cabinet

58. Condition: • [Rust](#)

On the day of the inspection the hose connections inside the furnace cabinet had prior leaking issues causing rust. Recommend repairing the connections.

Implication(s): Reduced system life expectancy | Material deterioration

Task: Repair



Rust in furnace cabinet

GAS FURNACE \ Gas piping

59. Condition: • Satisfactory condition.

HEATING

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GAS FURNACE \ General

60. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

GAS FURNACE \ Thermostat

61. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

GAS FURNACE \ Distribution air fan (blower)

62. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

GAS FURNACE \ Venting system

63. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

COOLING & HEAT PUMP

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COMMENTS \ Additional

64. Condition: • None

General Information / Description

Attic/roof insulation material: • [Cellulose](#)

Attic/roof ventilation: • [Roof vent](#) • [Gable vent](#)

Observations / Recommendations

ATTIC/ROOF \ Insulation

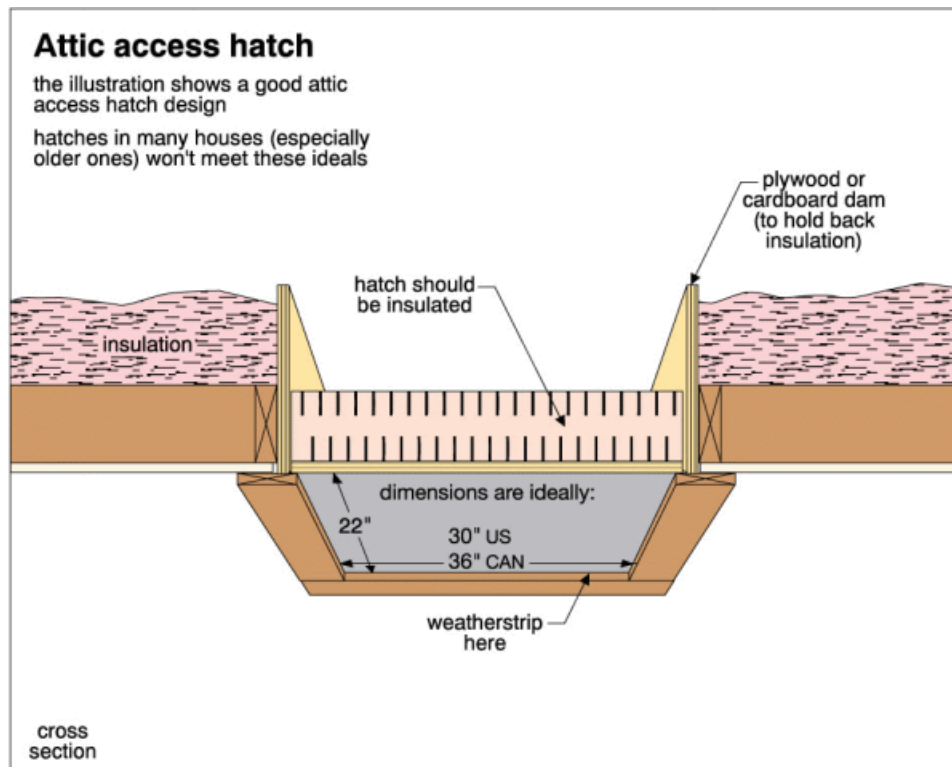
65. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

ATTIC/ROOF \ Hatch/Door

66. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

67. Condition: • [Inaccessible](#)

Implication(s): Difficult access



ATTIC/ROOF \ Roof vents

68. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

General Information / Description

Service piping into building: • [Copper](#)

Supply piping in building: • [Copper](#)

Main water shut off valve at the: • Basement

Water flow and pressure: • [Functional](#)

Water heater type: • [Conventional](#)

Water heater fuel/energy source: • [Electric](#)

Water heater manufacturer:

• Bradford White

The serial number indicates the manufacture year to be 2013.

Serial number: KC17922571

Water heater typical life expectancy: • The lifespan of a water heater will vary with the brand of the tank, water quality, and plumbing system. A collection of data showing the average lifespan of a water heater is displayed at: waterheaterdb.com

Waste and vent piping in building: • [PVC plastic](#) • [Cast iron](#)

Floor drain location: • None found

Main fuel shut off valve at the: • Basement

Exterior hose bibb (outdoor faucet): • Present

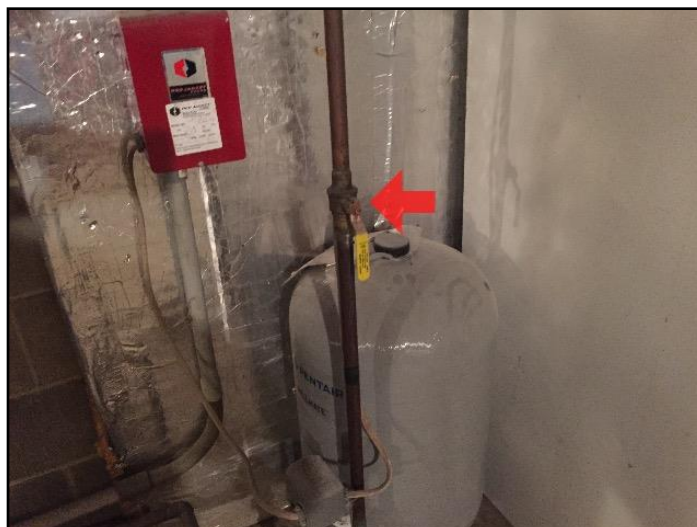
Observations / Recommendations

SUPPLY PLUMBING \ Water service pipe

69. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

SUPPLY PLUMBING \ Shut off valve

70. Condition: • Satisfactory condition. Minor or typical maintenance may be required.



Main water shut off valve

WATER HEATER \ General

71. Condition: • Satisfactory condition. Minor or typical maintenance may be required. Producing hot water on the day of the inspection.

WATER HEATER \ Hot/cold piping

72. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

WATER HEATER \ Temperature/pressure relief valve

73. Condition: • Satisfactory condition. Minor or typical maintenance may be required..

WATER HEATER \ Isolating valve/Cold water shut-off valve

74. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

WATER HEATER - ELECTRIC \ Wiring

75. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

WASTE PLUMBING \ Traps - installation

76. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

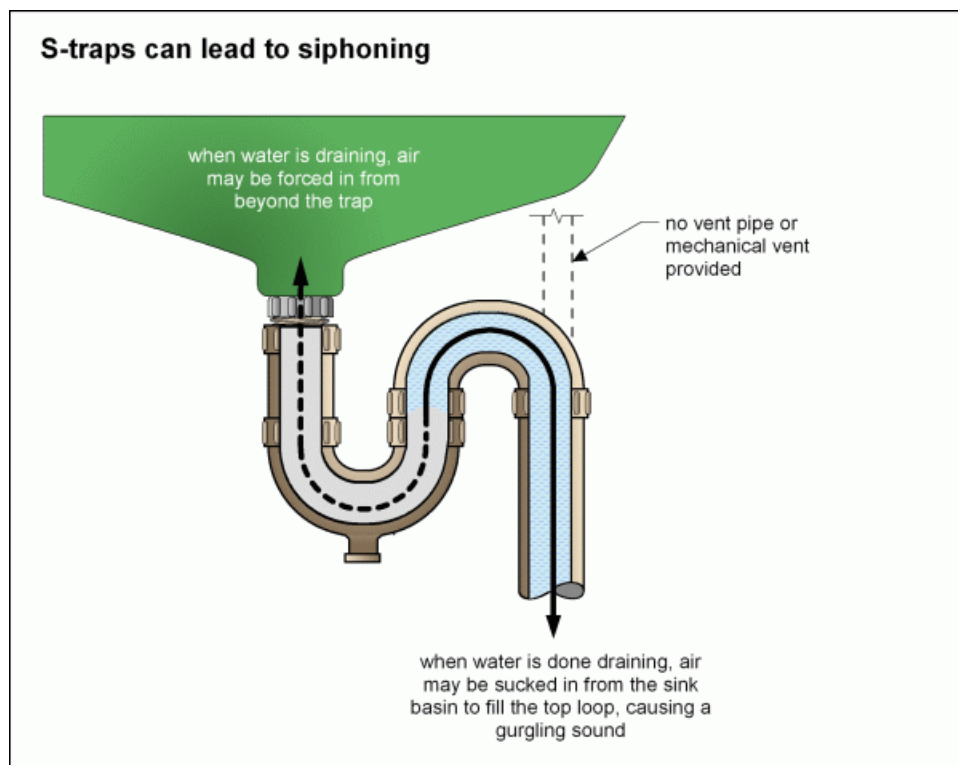
77. Condition: • [Nonstandard shape or material](#)

S-trap is visible at the kitchen sink. May cause the water to be siphoned out of the trap.

Implication(s): Fixtures slow to drain | Reduced operability

Location: Kitchen

Task: Monitor





S-trap

WASTE PLUMBING \ Floor drain

78. Condition: • [Not found](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

WASTE PLUMBING \ Venting system

79. Condition: • Satisfactory condition. Minor or typical repairs may be required.

WASTE PLUMBING \ Sump pump

80. Condition: • None found.

FIXTURES AND FAUCETS \ Hose bib or bibb (outdoor faucet)

81. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

FIXTURES AND FAUCETS \ Faucet

82. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

83. Condition: • [Loose](#)

Implication(s): Equipment failure

Location: Bathroom

Task: Improve



Loose facet control

FIXTURES AND FAUCETS \ Basin, sink and laundry tub

84. Condition: • Satisfactory condition. Minor or typical repairs may be required.

85. Condition: • Drain stop ineffective

On the day of the inspection the vanity drain plug was inoperable.

Implication(s): Reduced operability | Nuisance

Location: Basement



Drain stop ineffective

FIXTURES AND FAUCETS \ Toilet

86. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

General Information / Description

Major wall finishes: • [Plaster/drywall](#)

Major ceiling finishes: • [Plaster/drywall](#)

Windows: • [Single/double hung](#)

Oven type: • Conventional

Oven fuel: • Electricity

Appliances: • Refrigerator • Dishwasher • Microwave oven • Door bell

Laundry facilities: • Hot/cold water supply • 120-Volt outlet • 240-Volt outlet

Kitchen ventilation: • Range hood • Recirculating type

Bathroom ventilation: • None

Observations / Recommendations

CEILINGS \ Plaster or drywall

87. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

WALLS \ Plaster or drywall

88. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

FLOORS \ General

89. Condition: • Satisfactory condition. Minor or typical repairs may be required.

WINDOWS \ General

90. Condition: • Satisfactory condition. Minor or typical maintenance may be required.

91. Condition: • Difficult to operate

Implication(s): System inoperative or difficult to operate

Location: Bedroom

Task: Improve



Difficult to operate

WINDOWS \ Means of egress/escape

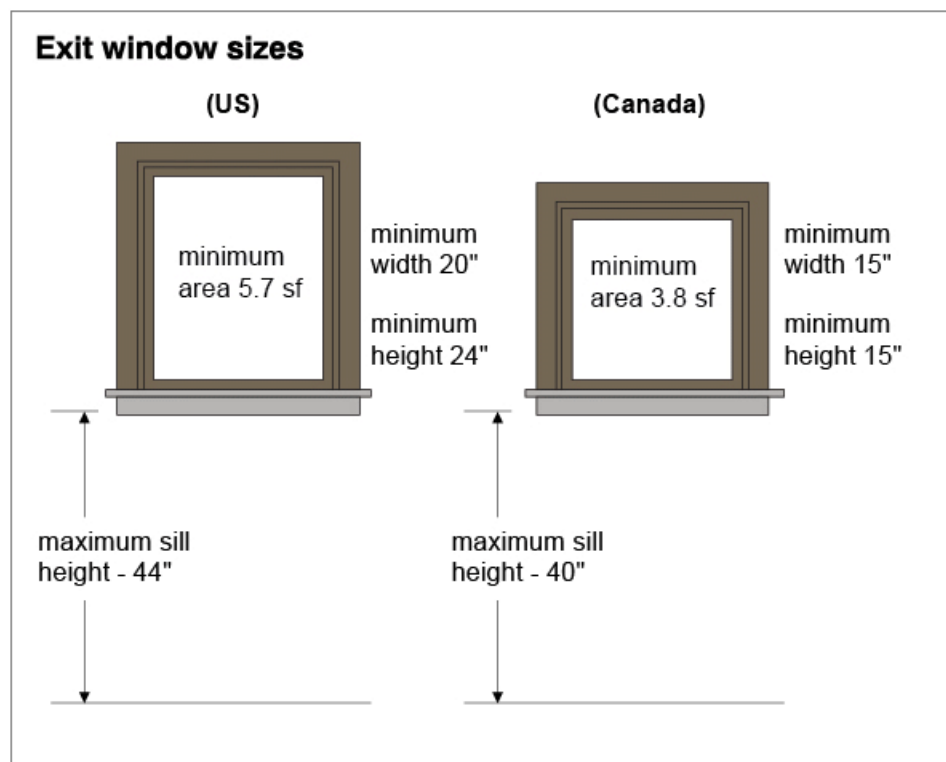
92. Condition: • [Missing](#)

At the time of the inspection the basement was not finished into living quarters. Recommend egress windows be installed if the basement is finished for living quarters. Check with your local and state building codes for required measurements.

Implication(s): Restricted emergency exits

Location: Basement

Time: Discretionary



DOORS \ Doors and frames

93. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

CARPENTRY \ Cabinets

94. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

CARPENTRY \ Countertops

95. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

STAIRS \ General

96. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

STAIRS \ Handrails and guards

97. **Condition:** • Satisfactory condition. Minor or typical repairs may be required.

EXHAUST FANS \ Kitchen range exhaust system

98. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

APPLIANCES \ Refrigerator

99. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

APPLIANCES \ Oven

100. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

APPLIANCES \ Microwave oven

101. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

APPLIANCES \ Dishwasher

102. **Condition:** • On the day of the inspection the dishwasher worked as it should when the door was completely latched.

103. **Condition:** • Satisfactory condition. Minor or typical maintenance may be required.

APPLIANCES \ Doorbell

104. **Condition:** • Inoperative

Implication(s): Equipment inoperative

END OF REPORT

REFERENCE LIBRARY

Somewhere Lane, Osseo, WI September 18, 2018

Report No. 1041, v.2

www.hakunamatatahomeinspection.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS