

# INSPECTION REPORT



For the Property at:  
**6266 SKY-VIEW DRIVE**  
PARK CITY, UT 84098

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Prepared for: SAMPLE REPORT  
Inspection Date: Wednesday, September 21, 2016  
Prepared by: Mathew Stouffer



Redstone Home Inspections  
6266 Park Ridge Drive  
Park City, UT 84098  
435-640-7308

Thank You.



October 22, 2016

Dear Sample Report,

RE: Report No. 6398, v.5  
6266 Sky-View Drive  
Park City, UT  
84098

Thank you for choosing Redstone Home Inspections to perform your inspection. I trust the experience will be both useful and enjoyable. For your convenience the summary will provide you with the components and conditions that need service or further evaluation. Please print a copy of your invoice located on the next page and send it with a check or money order to the address located below.

YOUR INVOICE IS LOCATED ON THE THIRD PAGE OF THE INSPECTION REPORT. PLEASE PRINT A COPY FOR YOUR RECORDS. INVOICES ARE NOT SENT VIA MAIL. Please send a check payable to Mathew Stouffer, 6266 Parkridge Drive, Park City, UT, 84098.

A majority of the items noted within the report are commonly found in buildings built within this time frame or the items are routine punch list items due to age and or possible deferred maintenance. Various recommendations may also be included, although these may be general simple recommendations which do not necessarily need to be addressed. The majority of the issues within the report would not be categorized as significant. The items noted within the inspection are considered observations, which may vary from opinions or evaluations of differing professionals. Please call if you have questions regarding the inspection.

Sincerely,

Mathew Stouffer  
on behalf of  
Redstone Home Inspections

Redstone Home Inspections  
6266 Park Ridge Drive  
Park City, UT 84098  
435-640-7308



## INVOICE

October 22, 2016

Client: Sample Report

Report No. 6398, v.5

For inspection at:

6266 Sky-View Drive

Park City, UT

84098

on: Wednesday, September 21, 2016

Home Inspection	\$915.00
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Radon Test	\$150.00
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Total	<u>\$1,065.00</u>
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PAID IN FULL - THANK YOU!

Redstone Home Inspections  
6266 Park Ridge Drive  
Park City, UT 84098  
435-640-7308

# AGREEMENT

Report No. 6398, v.5

6266 Sky-View Drive, Park City, UT September 21, 2016

## PARTIES TO THE AGREEMENT

### Company

Redstone Home Inspections  
6266 Park Ridge Drive  
Park City, UT 84098

### Client

Sample Report

**Total Fee: \$1,065.00**

This is an agreement between Sample Report and Redstone Home Inspections.

IMPORTANT: After reading the contract, scroll to the bottom of the page, fill in the required fields, and click SUBMIT to accept.

This version of the contract (Inspection Agreement) has a clause that limits the liability of the inspector.

## PLEASE READ CAREFULLY BEFORE SIGNING.

The Inspection of this property is subject to the Limitations and Conditions set out in this Agreement. It is based on a VISUAL examination of the readily accessible features of the building. The Inspection is performed in accordance with the Standards of Practice of the American Society of Home Inspectors. A copy of these Standards is available at <http://www.inspectionsscope.com/II/>

The Home Inspector's report is an opinion of the present condition of the property. The Inspection and report are not a guarantee, warranty or an insurance policy with regards to the property.

The inspection report is for the exclusive use of the client named above. No use of the information by any other party is intended.

## LIMITATIONS AND CONDITIONS OF THE HOME INSPECTION

These Limitations and Conditions explain the scope of your Home Inspection. Please read them carefully before signing this Agreement.

The purpose of your Home Inspection is to evaluate the general condition of a property. This includes determining whether systems are still performing their intended functions. It is NOT intended as a code enforcement inspection, as Home Inspectors are not Code Enforcement Inspectors. If concerns are present regarding code deficiencies, the authority having jurisdiction needs to be contacted. For legal purposes, the term "code" is not utilized within your report.

There are limitations to the scope of this Inspection. It provides a general overview of the more obvious repairs that may be needed. It is not intended to be an exhaustive list. The ultimate decision of what to repair or replace is yours. One homeowner may decide that certain conditions require repair or replacement, while another will not.

1. The Home Inspection provides you with a basic overview of the condition of the property. Because your Home Inspector has only a limited amount of time to go through the property, the Inspection is not technically exhaustive. If you have concerns about any of the conditions noted, please consult the text that is referenced in the report.

Some conditions noted, such as foundation cracks or other signs of settling in a house, may either be cosmetic or may

indicate a potential structural problem that is beyond the scope of the Home Inspection. Inspection of building components, including but not limited to items such as foundations and structural components (ie beams, footings, columns, joists, stem walls, foundation walls) is a simple visual inspection intended to identify cracking. It is not an inspection designed to determine and evaluate structural capabilities of the aforementioned systems.

If you are concerned about any conditions noted in the report, we strongly recommend that you consult a qualified licensed contractor or engineering specialist. These professionals can provide a more detailed analysis of any conditions noted in the report at an additional cost.

2. A Home Inspection does not include identifying defects that are hidden behind walls, floors or ceilings. This includes wiring, structure, plumbing and insulation that is hidden or inaccessible.

Some intermittent conditions may not be obvious on a Home Inspection because they only happen under certain circumstances. As an example, your Home Inspector may not discover leaks that occur only during certain weather conditions or when a specific tap or appliance is being used in everyday life.

Home Inspectors will not find conditions that may only be visible when storage or furniture is moved. Inspectors do not remove wall coverings, including wallpaper, or lift flooring, including carpet to look underneath.

A Home Inspection is a sampling exercise with respect to house components that are numerous, such as bricks, windows and electrical receptacles. As a result, some conditions that are visible may go un-reported.

3. The Inspection does not include hazardous materials that may be in or behind the walls, floors or ceilings of the property, whether visible or not. This includes building materials that are now suspected of posing a risk to health such as phenol-formaldehyde and urea-formaldehyde based products, fiberglass insulation and vermiculite insulation. The Inspector does not identify asbestos roofing, siding, wall, ceiling or floor finishes, insulation or fire proofing. We do not look for lead or other toxic metals in such things as pipes, paint or window coverings.

The Inspection does not deal with environmental hazards such as the past use of insecticides, fungicides, herbicide or pesticides. The Inspector does not look for, or comment on, the past use of chemical termite treatments in or around the property.

4. We are not responsible for and do not comment on the quality of air in a building. The Inspector does not try to determine if there are irritants, pollutants, contaminants, or toxic materials in or around the building. The Inspection does not include spores, fungus, mold or mildew including that which may be concealed behind walls or under floors, for example. You should note that whenever there is water damage, there is a possibility that visible or concealed mold or mildew may be present unseen behind a wall, floor or ceiling.

If anyone in the home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens.

5. Your Home Inspector does not look for, and is not responsible for, fuel oil, septic or gasoline tanks that may be buried on the property.

If fuel oil or other storage tanks remain on the property, you may be responsible for their removal and the safe disposal of any contaminated soil. If you suspect there is a buried tank, we strongly recommend that you retain a qualified

# AGREEMENT

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Environmental Consultant to determine whether this is a potential problem.

6. We will have no liability for any claim or complaint if conditions have been disturbed, altered, repaired, replaced, or otherwise changed before we have had a reasonable period of time to investigate.

The liability of the Home Inspector (and the Home Inspection Company) arising out of this Inspection and Report, for any cause of action whatsoever, whether in contract or in negligence, is limited to a refund of the fees that you have been charged for this inspection, or \$1,000.00, whichever is greater.

7.        ATTENTION PLEASE READ CAREFULLY!!! PAYMENT IS DUE WITHIN 14 DAYS OF THE INSPECTION DATE, NOT WHEN THE CLIENT RECEIVES THE INSPECTION REPORT. IF PAYMENT IS NOT RECEIVED ON THE 14TH DAY THE CLIENT WILL BE CHARGED A 20 PERCENT LATE FEE BASED ON THE COST OF THE INSPECTION AND A 50 DOLLAR PROCESSING FEE. AN ADDITIONAL 20 PERCENT LATE FEE BASED ON THE ORIGINAL COST OF THE INSPECTION WILL BE CHARGED EVERY 30 DAYS FROM UNTIL FULL PAYMENT OF THE ORIGINAL INSPECTION AND ACRUED FEES IS RECEIVED. IF THE DEBT CONTINUES TO REMAIN DELINQUENT IT WILL BE PROCESSED IN SMALL CLAIMS COURT AND OR THE DEBT WILL BE TURNED OVER TO A COLLECTION AGENCY. FURTHERMORE, THIS INSPECTION AGREEMENT MUST BE SIGNED AND DATED AND RETURNED TO REDSTONE HOME INSPECTIONS BEFORE THE REPORT WILL BE RELEASED. IF FOR ANY REASON THIS AGREEMENT IS NOT SIGNED AND RETURNED TO REDSTONE HOME INSPECTIONS THE INSPECTION REPORT AND ALL CONTENTS AND INFORMATION CONTAINED IN THE INSPECTION REPORT ARE VOID AND THE CLIENT WAIVES ALL RIGHTS. ON SITE VISITS/CONSULTATIONS FROM CLIENTS DURING INSPECTION MAY INCUR CHARGES IN ADDITION TO INSPECTION FEE.

**I, Sample Report (Signature)\_\_\_\_\_ , (Date)\_\_\_\_\_ , have read, understood and accepted the terms of this agreement.**

## Description

**General:** • For reference purposes the front of the home, determined by the location of the main entry, was considered to be facing north.

**General:** • Thank you for choosing Redstone Inspections. Your invoice is located on the third page of the report. Please print a copy for your records, and please send a check payable to Mathew Stouffer to the address listed on the invoice upon receipt of this report. THIS IS THE ONLY COPY OF THE INVOICE YOU WILL RECEIVE. AN INVOICE IS NOT MAILED VIA TRADITIONAL MAIL.

**Sloped roofing material:** • [Wood shakes](#)

## Recommendations

### General

1. • The weather cap is missing on the west vent termination, spark arrestors are missing on the three flue terminations within the south chimney shroud and the termination in the southwest chimney, and various stones around all three chimneys are detaching from the chimneys. Furthermore, copper flashing around the southwest and west chimneys is poorly installed, there are gaps around the flashings, and the flashings have been faced nailed. Repair is recommended.

**Location:** Roof



*Detached stones*



*Gap in flashing*

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

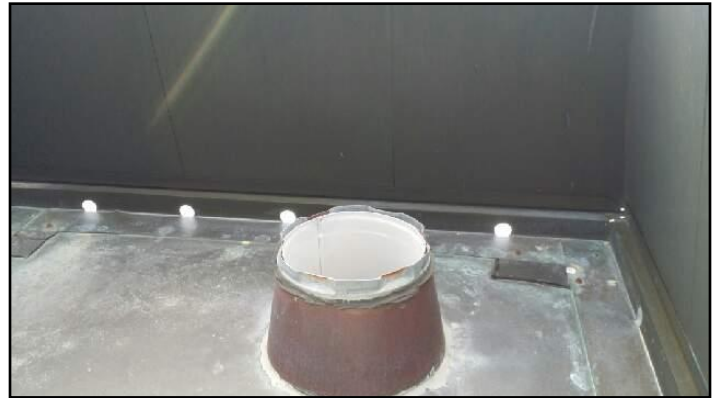
PLUMBING

INTERIOR

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Gaps



Missing weather cap



Detached stones



Gaps



# ROOFING

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ROOFING

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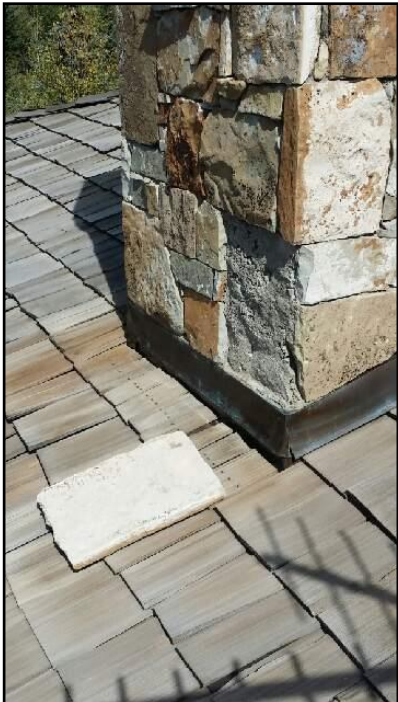
COOLING

INSULATION

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*Detached stone*



*Gap*



*Missing weather cap*

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Areas noted



Gap

## **SLOPED ROOFING \ Wood shingles and shakes**

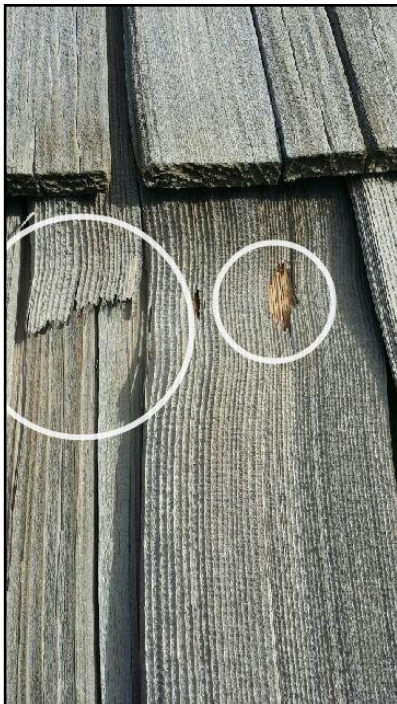
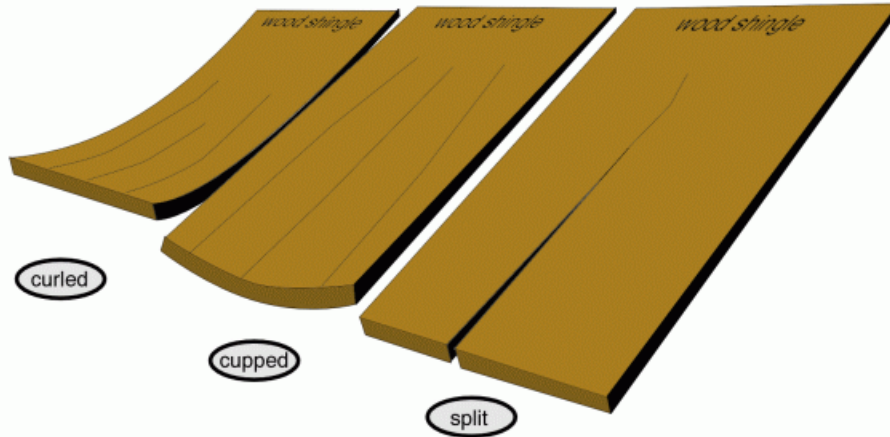
### **2. Condition:** • [Splitting](#)

The home is equipped with a wood shake roof. According to industry standards and averages, wood shake roofing typically has a 15 to 22 year life span in this area. Loose shakes, damaged shakes, splitting and UV burn through are present on various aspects of the roof. Based on age, condition and average life expectancy for cedar shake roofing in this area, the roof is nearing the end of its useful life span. Additional evaluation by a roofing contractor is recommended to provide a bid for maintenance, remaining useful life, and replacement cost.

**Location:** Roofing



## Curling, cupping and splitting wood shingles



*Burn through*



*Missing shakes*

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Loose staples

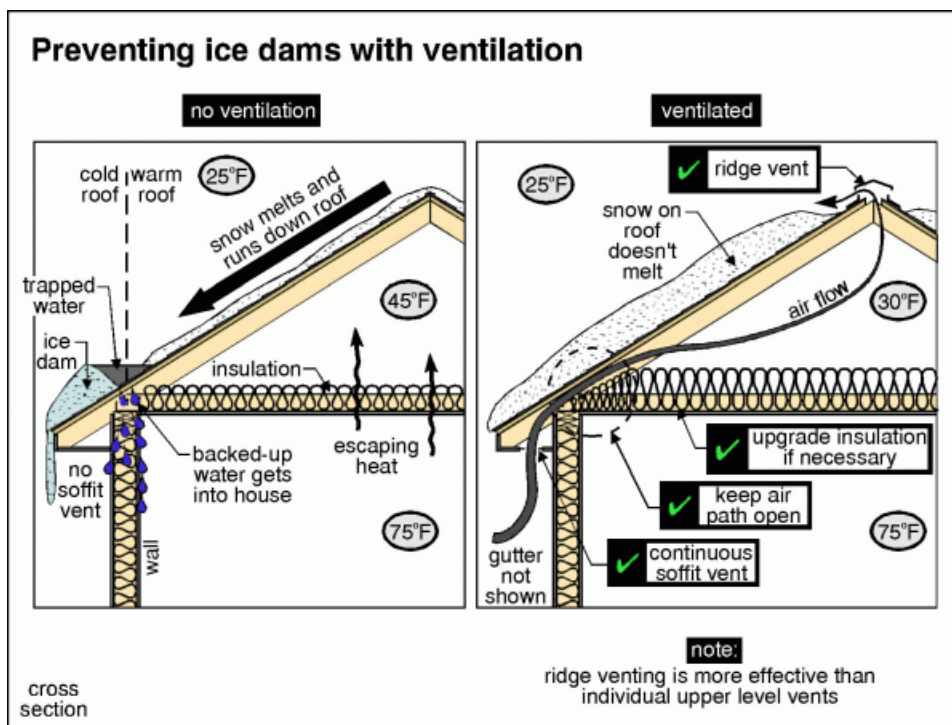


Missing shakes

### 3. Condition: • [Vulnerable to ice damming](#)

Due to the amount of snow received in this area, you may want to consider installation of heat tape throughout the roof eaves and valleys, in particular in the valleys.

**Location:** Various Areas Of The Roof





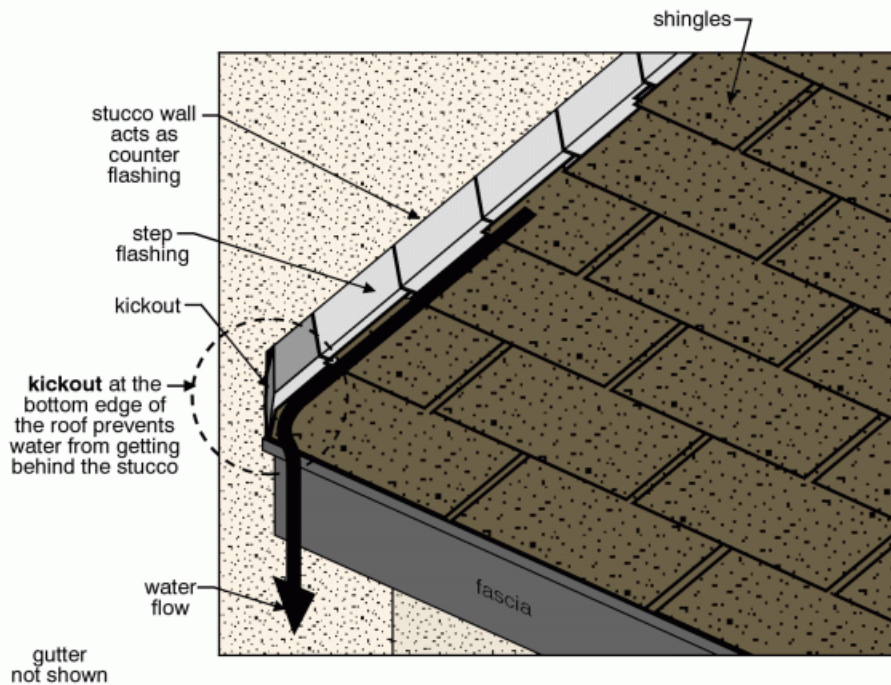
## SLOPED ROOF FLASHINGS \ Roof/sidewall flashings

### 4. Condition: • [No kickout flashing](#)

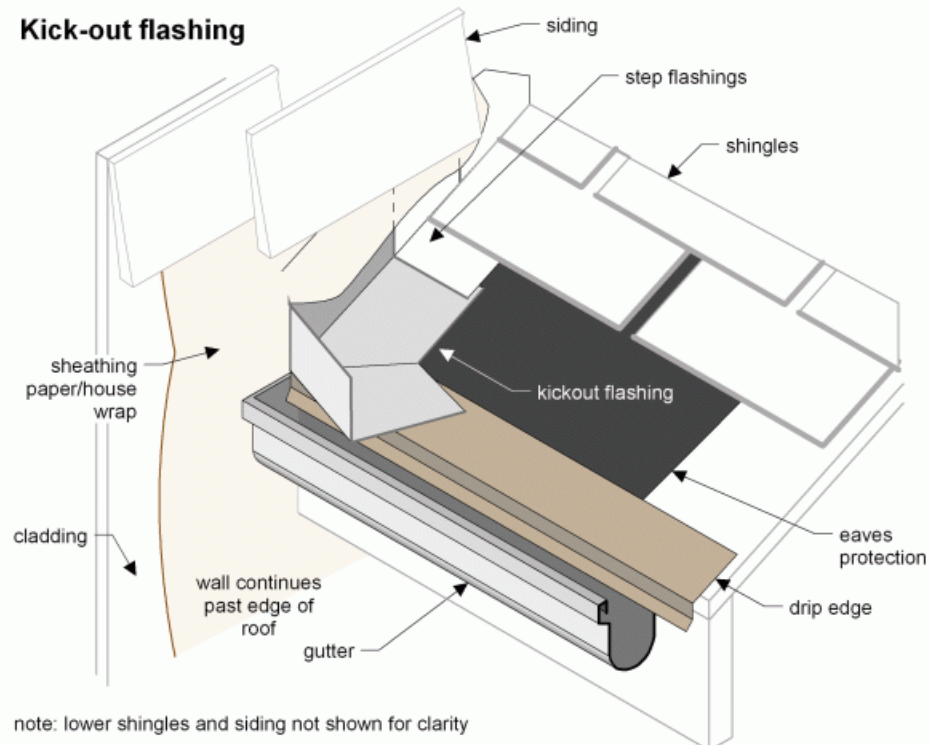
A kick out flashing is missing at the southwest roof wall intersection along the chimney.

**Location:** West Exterior

### Kickout prevents siding/wall damage



### Kick-out flashing



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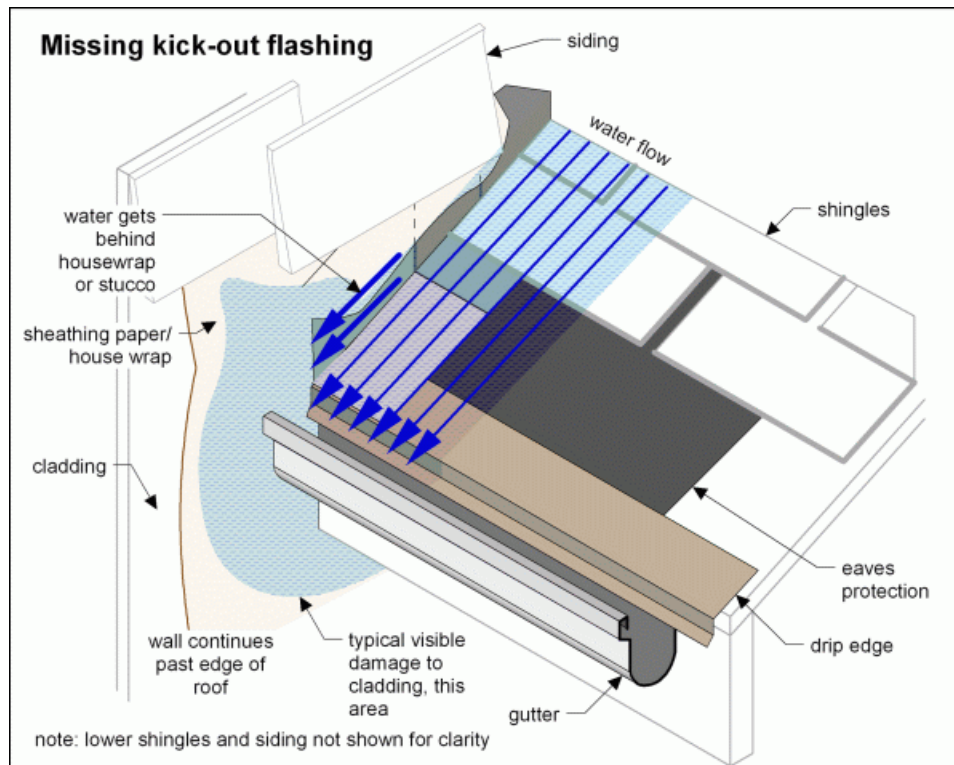
COOLING

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ROOFING

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## Description

**Gutter & downspout material:** • No gutters or downspouts

**Lot slope:** • Sloped

**Wall surfaces - wood:** • [Boards](#)

**Wall surfaces - masonry:** • [Stone](#)

**Soffit and fascia:** • [Wood](#)

**Retaining wall:** • [Stone](#)

**Driveway:** • Asphalt • Stamped concrete

**Walkway:** • Stamped concrete

**Deck:** • Sealed

**Deck:** • Wood

**Porch:** • Stamped concrete

**Exterior steps:** • Stamped concrete

**Exterior steps:** • Flagstone

**Patio:** • Stamped concrete • Flagstone

## Limitations

**Inspection limited/prevented by:** • Irrigation systems are beyond the scope of a home inspection. However, it appears a back flow preventer is missing on the water supply line for the system. The back flow preventer may be located in the yard; although, I was unable to locate one.

**Inspection limited/prevented by:** • Landscaping is equipped with exterior lighting systems that are beyond the scope of a home inspection. You may want to consider servicing the system to verify the lighting is functional and free of damage.

**Inspection limited/prevented by:** • The home is equipped with a water feature. Water features are beyond the scope of a home inspection.



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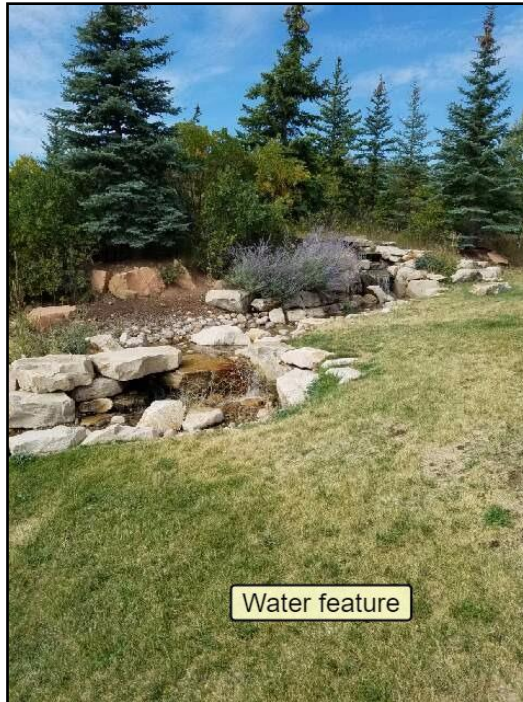
COOLING

INSULATION

PLUMBING

INTERIOR

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## Recommendations

### General

5. • Maintaining the seal around exterior timber columns at the penetration into the capstones is recommended, and sealing any checking within the columns is also recommended to prevent moisture penetrating the timber columns and masonry. Furthermore, capstones around several exterior timber columns are loose.

**Location:** Various Aspects Of The Exterior





# EXTERIOR

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Checking



## ROOF DRAINAGE \ Gutters

### 6. Condition: • [Missing](#)

Roof lines drain onto the driveway, decks, and adjacent to exterior concrete surfaces which has resulted in settlement and cracking of the surfaces, deterioration of the sealed deck surface, trip hazards approaching the garage slabs, and will likely result in slip hazards during winter months. Installation of gutters is recommended; although, this is not required.

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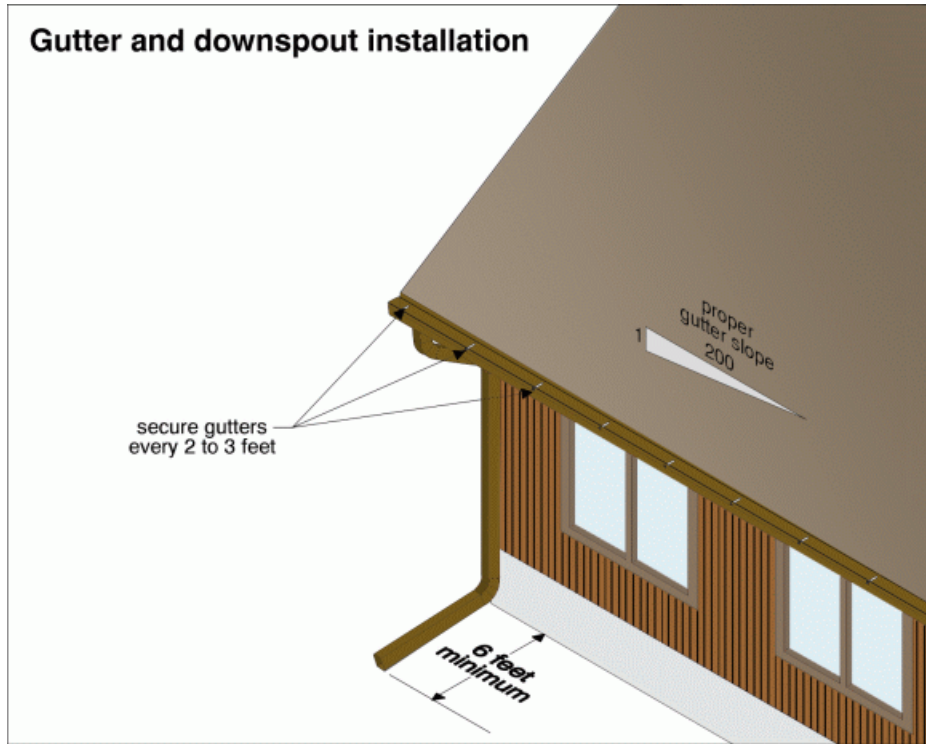
PLUMBING

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**Location:** Various Aspects Of The Exterior

## Gutter and downspout installation



*Settlement/trip hazard*



*Settlement*



# EXTERIOR

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Cracked



## WALLS \ Soffits and fascia

**7. Condition:** • Signs of bird activity is present in the soffit to the west of the entry porch, and an opening is present the corner of the soffit as well.

**Location:** North Exterior

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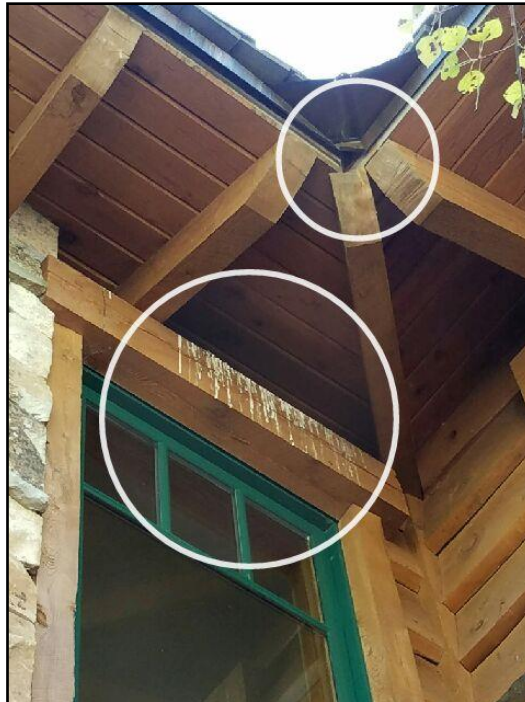
COOLING

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## WALLS \ Wood siding

**8. Condition:** • Finish is fading from the garage vehicle doors and various areas of the exterior wood siding and wood surfaces. Obtaining a bid from a painting contractor to refinish the exterior wood surfaces is recommended. Sealing the gaps along the ends of the wood board siding is recommended as well. Additional items associated with the exterior and deferred maintenance are: maintaining the seal on various exterior door thresholds, repair of settled flagstones along the south aspect of the hot tub, trimming various tree branches contacting the siding and roofing surfaces, and repair or replacement of various damaged exterior light sconce covers.

**Location:** Various Aspects Of The Exterior



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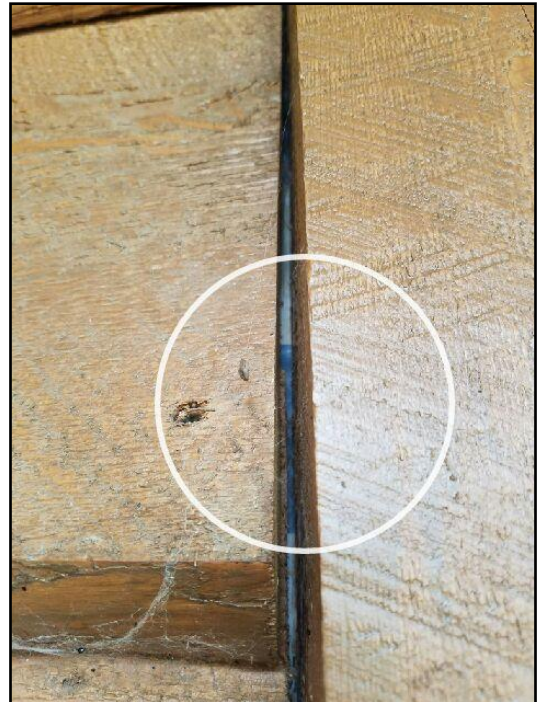
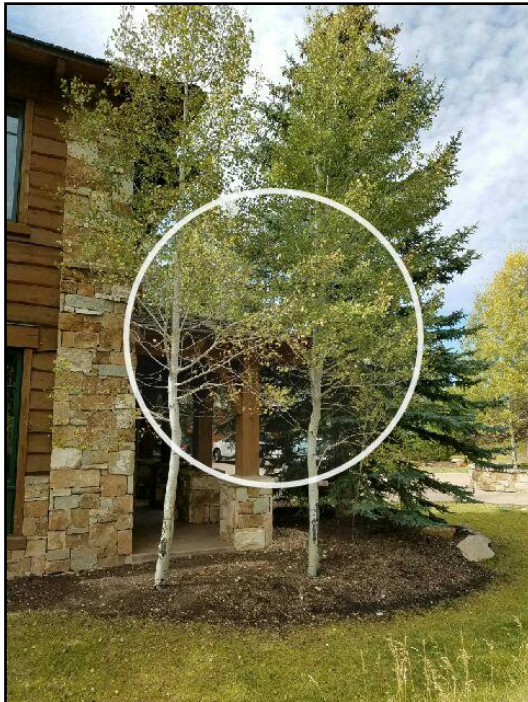
COOLING

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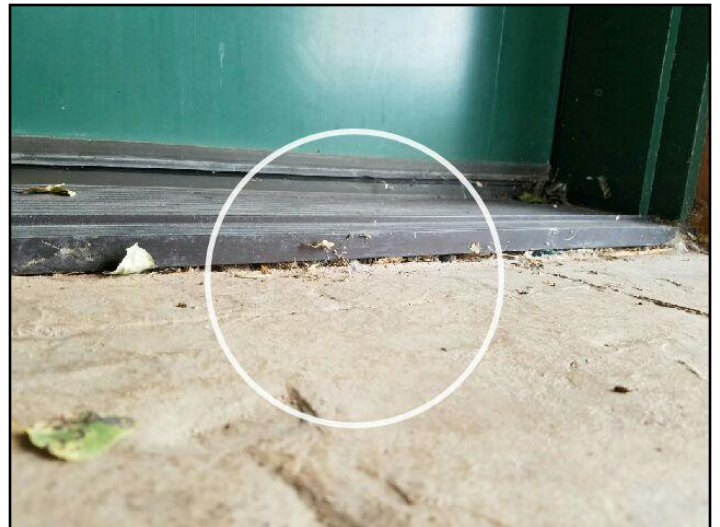
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Gaps



Gaps



Gap

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*Settlement*



*Damaged*

## **PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Floors**

**9. Condition:** • Signs of moisture penetration are present beneath the deck floors. Moisture staining is also present along the perimeter of the decks and on the beams and columns. Dry rot is visible along the underside of the west deck floor. Evaluation of the decks by a licensed decking contractor is recommended to determine a course of action. A significant portion of the water penetration is likely due to cracking in the concrete decking and gaps between the concrete floor, walls, and around newel posts. All of the deck guardrails need to be refinished as well, and checking in the horizontal rails and vertical newel posts need to be sealed.

**Location:** Decks



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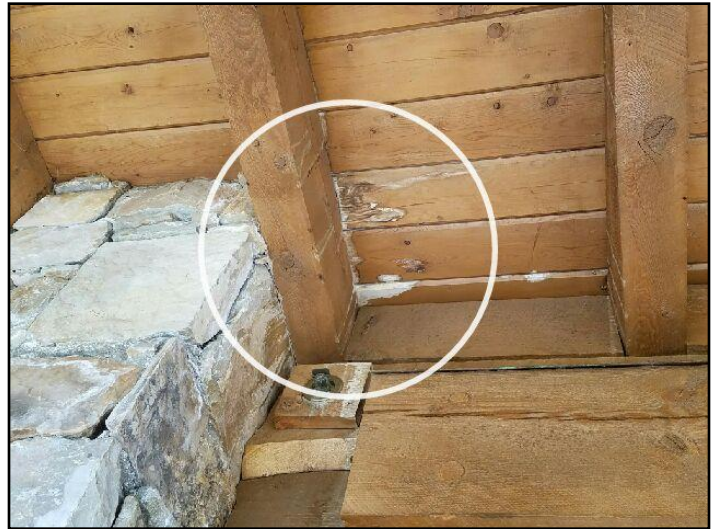
PLUMBING

INTERIOR

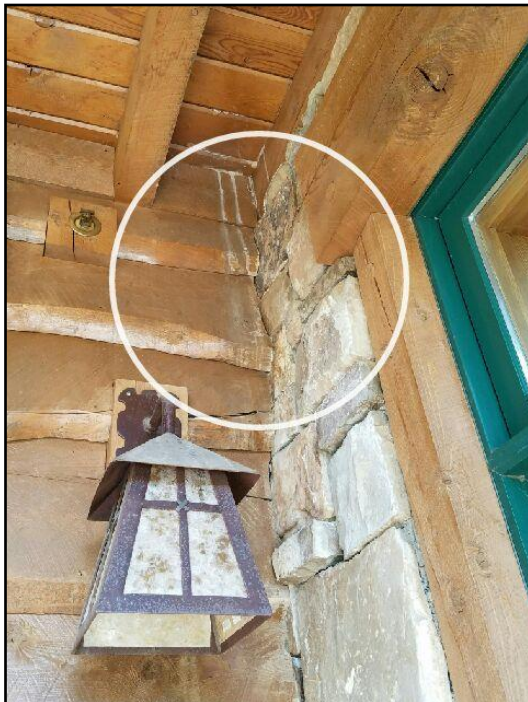
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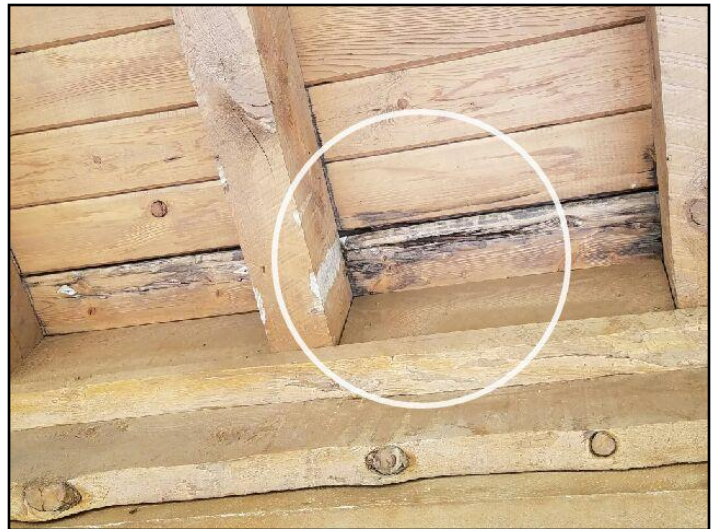
*Staining*



*Staining*



*Signs of previous leakage*



*Dry rot*



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## LANDSCAPING \ Driveway

**10. Condition:** • Cracking, typically associated with concrete settlement, is present in the driveway surface.

**Location:** Driveway



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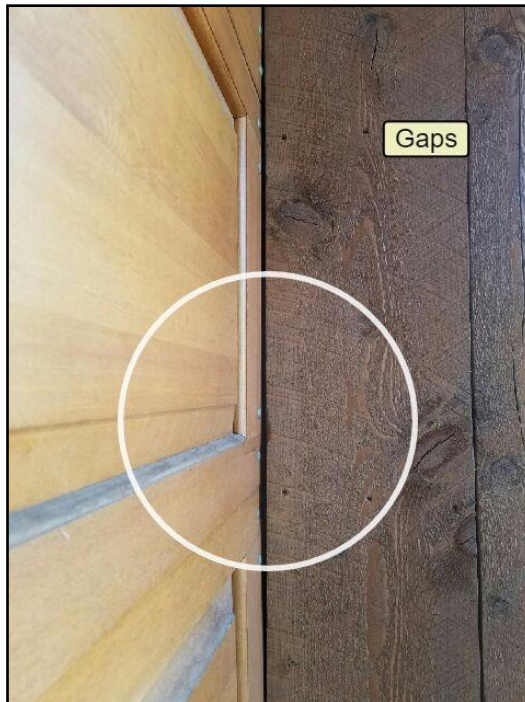
REFERENCE



## **GARAGE \ Vehicle doors**

**11. Condition:** • Small gaps are present around the garage door/doors. This is minor.

**Location:** Garage



## Description

**Configuration:** • [Crawl space](#)

**Foundation material:** • [Poured concrete](#)

**Floor construction:** • [Wood I-joists](#)

**Exterior wall construction:** • [Wood frame](#)

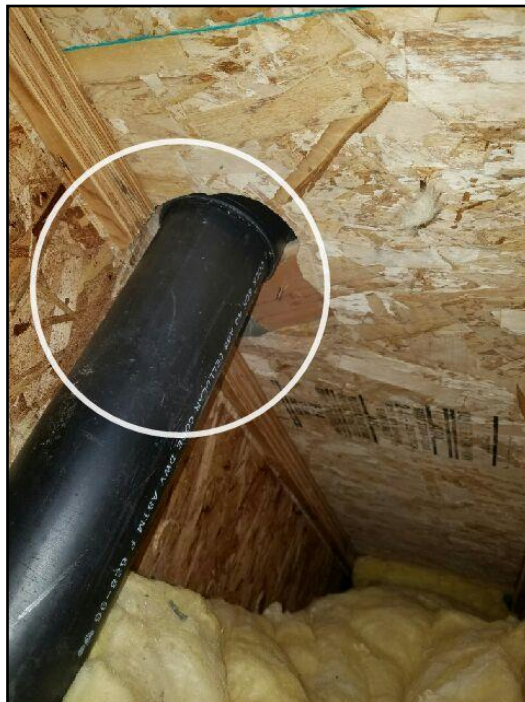
**Roof and ceiling framing:** • [Rafters/roof joists](#) • [Trusses](#)

## Recommendations

### FLOORS \ Joists

**12. Condition:** • A manufactured joist in the northeast crawl space has been cut. Cutting the top or bottom chord of a manufactured joist is not recommended. Repair is recommended.

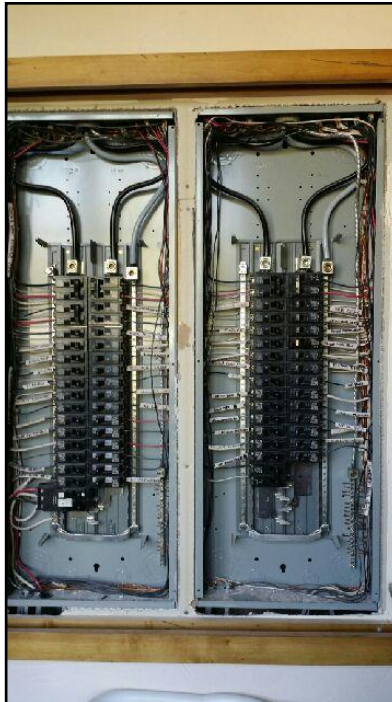
**Location:** Northeast Crawl Space



*Notched*

## Description

**General:** • The electrical distribution panels appeared to be correctly wired.



**Service entrance cable and location:** • [Underground - not visible](#)

**Service size:** • [125 Amps \(240 Volts\)](#) • [125 Amps \(240 Volts\)](#) • [125 Amps \(240 Volts\)](#)

**Main disconnect/service box rating:** • The information tag was missing

**Distribution panel rating:** • The rating panel in the master bedroom closet electrical distribution panel was covered. • 225 Amps • 225 Amps

**Distribution panel type and location:** • Master Closet • Breakers - laundry room

**Type and number of outlets (receptacles):** • The majority of the visible outlets in each room, in bathrooms, and in the kitchen were tested. GFCI outlets are tripped and reset during inspection. Inaccessible outlets behind furniture or in inaccessible locations are not tested.

**Type and number of outlets (receptacles):** • [Grounded - typical](#)

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • [GFCI - bathroom](#) • [GFCI - outside](#) • [GFCI - garage](#) • GFCI - kitchen

**Smoke detectors:** • [Present](#)

**Carbon monoxide (CO) detectors:** • Present

## Limitations

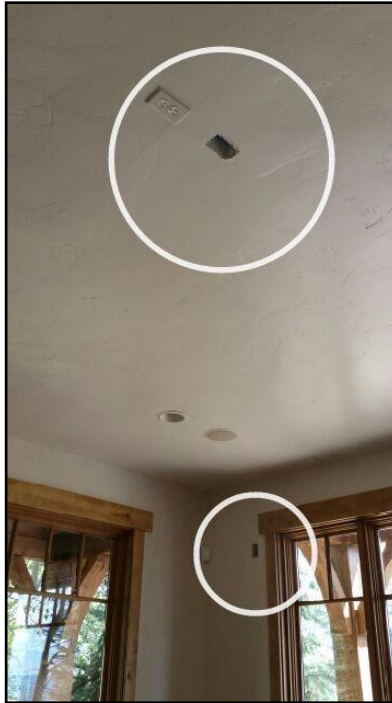
**General:** • I was unable to determine what various light switches operated in various areas of the house.

## Recommendations

### General

**13.** • Minor incomplete electrical work appears to be present in the bonus room.

**Location:** Bonus Room



### DISTRIBUTION SYSTEM \ Outdoor wiring

**14. Condition:** • Modified Romex electrical cable is utilized as an extension cord for the irrigation timer along the west exterior wall and the Romex is susceptible to mechanical damage. Installation of a factory power cord is recommended for the timer.

**Location:** West Exterior





## DISTRIBUTION SYSTEM \ Smoke detectors

**15. Condition:** • You may want to consider upgrading any of the original or older smoke detectors. Smoke detectors typically have ten year life expectancy recommendations per the manufacturer.

**Location:** Various Aspects Of The Interior

# HEATING

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## Description

Fuel/energy source: • [Gas](#)

System type: • [Boiler](#)

Boiler manufacturer: • Dunkirk

Heat distribution: • [Hot water radiant piping](#)

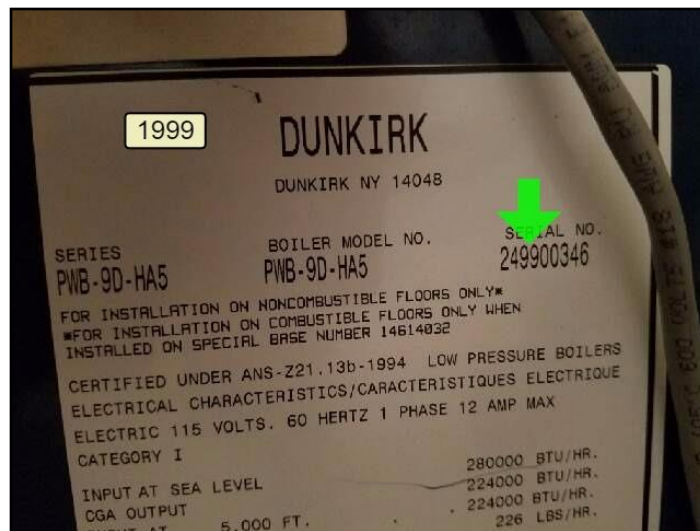
Approximate capacity: • 280,000 BTU/hr

Efficiency: • [Mid-efficiency](#)

Exhaust venting method: • [Forced draft](#)

Approximate age:

• [17 years](#)



Typical life expectancy: • Boiler 20 to 30 years

Main fuel shut off at: • Meter

Failure probability: • [High](#)

Exhaust pipe (vent connector): • Single wall • Double wall

Fireplace: • [Wood-burning fireplace](#)

Carbon monoxide test: • 0 parts per million - approximate

Combustion air source: • Outside

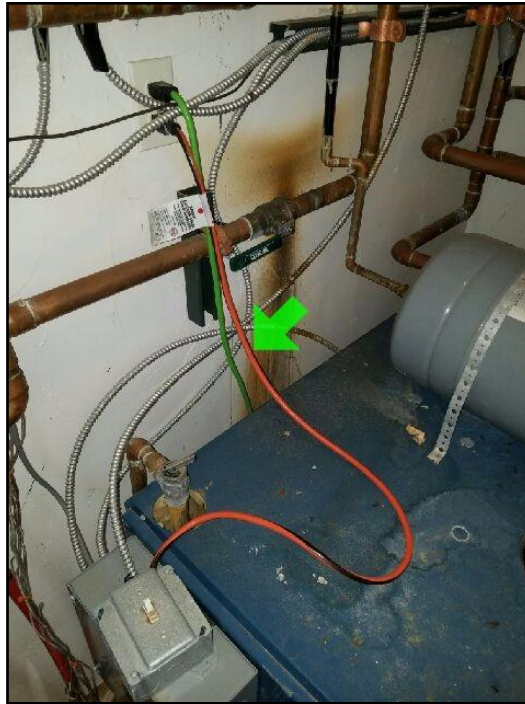
Humidifiers: • Not present

## Recommendations

### General

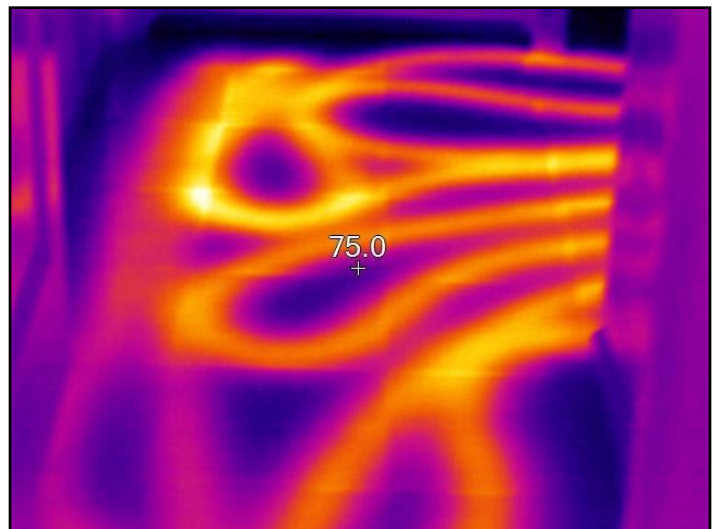
16. • Modified extension cords are utilized for the boiler and boiler circulation pump. Installation of factory power cords is recommended.

**Location:** Utility Room



17. • Annual service of radiant heating systems/boilers is recommended. Determine the last date of service and service accordingly. During inspection, in-floor radiant heating was functional and each zone responded to the corresponding thermostat, with the exception of the zone in the foyer/living room. Service and repair is needed.

**Location:** Radiant





# HEATING

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18. • The space heater dedicated to the garage was functional. However, the unit is noisy and needs to be serviced.

**Location:** Garage

19. • Radiant heat tubing for an exterior snowmelt system appears to be present in the driveway; although, the system is incomplete. The radiant heat manifold along the east aspect of the lower driveway is damaged.

**Location:** Driveway



*Damaged*



*Radiant heat tubing*

## GAS HOT WATER BOILER \ Life expectancy

20. **Condition:** • According to industry standards, this type of boiler typically has an average life expectancy of approximately 20 to 30 years, depending on usage and maintenance.

The boiler is original.

**Location:** Boiler

## GAS HOT WATER BOILER \ Thermostat

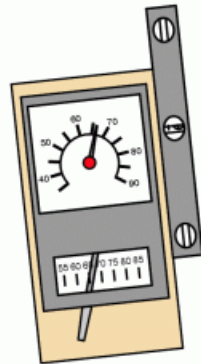
21. **Condition:** • [Poor adjustment or calibration](#)

The thermostats for the radiant heat may need to be calibrated. The temperature of the interior upon arrival was approximately 73°. However, the thermostats were set at 60° to 63 degrees.

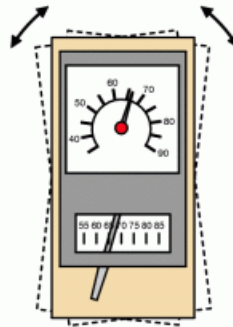
**Location:** Thermostats



## Thermostat conditions to watch for



● not level



● loose



● damaged

● poor location

● dirty

● poor adjustment/calibration

● anticipator problems

## GAS HOT WATER BOILER \ Pipes

### 22. Condition: • [Poor support](#)

Various radiant heat piping and water lines are loose in the crawlspace and need to be properly secured, and corrosion is present on a manifold in the central crawlspace.

**Location:** Crawl Space



Loose



Corrosion/loose

## FIREPLACE \ Firebox

**23. Condition:** • A clamp is missing on the damper in the fireplace. The clamp prevents the damper from closing tightly. Clamps are installed on the damper when gas log igniters are present in the fireplace to prevent gas buildup in the firebox if the valve is accidentally opened. This is minor.

**Location:** Living Room, Den

**24. Condition:** • [Inappropriate materials](#)

There are combustible materials present within the fireplace of the master bedroom. Repair is needed. Strand board is not intended to be present within the firebox of a wood burning fireplace.

**Location:** Master Bedroom



## CHIMNEY AND VENT \ Inspect/sweep chimney

**25. Condition:** • [Inspect \(and/sweep if needed\) before using](#)

Sweeping of wood-burning fireplace flues is recommended regardless of use or age. Determine the last date of service and service accordingly.

**Location:** Living Room , Den, Master

## CHIMNEY AND VENT \ Metal chimney or vent

**26. Condition:** • [Inadequate fire stopping](#)

Fire stopping is missing around the boiler exhaust vent at the penetration into the utility room ceiling. Furthermore, small areas of moisture staining and corrosion are present on the boiler exhaust vent which is likely caused by a poor seal around the roof vent flashing.

**Location:** Utility Room

# HEATING

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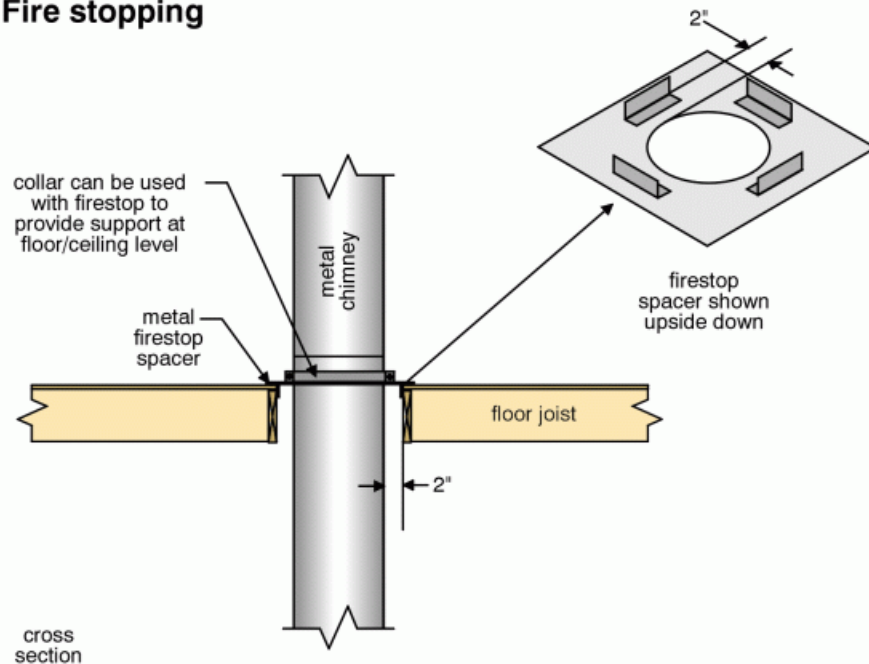
INSULATION

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## Fire stopping



Missing fire stopping



Moisture staining/corrosion

COOLING & HEAT PUMP

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- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR
- REFERENCE

Description

Air conditioning type: • Not present



## Description

**Attic/roof insulation material:** • Not visible

**Attic/roof insulation material:** • [Glass fiber](#)

**Attic/roof insulation amount/value:** • Not determined

**Attic/roof ventilation:** • [Roof vent](#) • [Soffit vent](#)

**Attic/roof air/vapor barrier:** • [Not visible](#)

**Wall insulation material:** • Not visible

**Floor above basement/crawlspace insulation material:** • [Glass fiber](#)

**Crawlspace ventilation:** • Power exhaust vent

## Limitations

**Inspection prevented by no access to:** • Insulation installed between the floor joists in the crawlspace limited inspection.



## Recommendations

### General

**27.** • Improving installation of the vapor retarder is recommended. Sections are missing, damaged, and bunched up. Vapor retarder is the plastic covering the floor of the crawl space designed to impede moisture vapor from entering the crawl space.

**Location:** Crawl Space

# INSULATION AND VENTILATION

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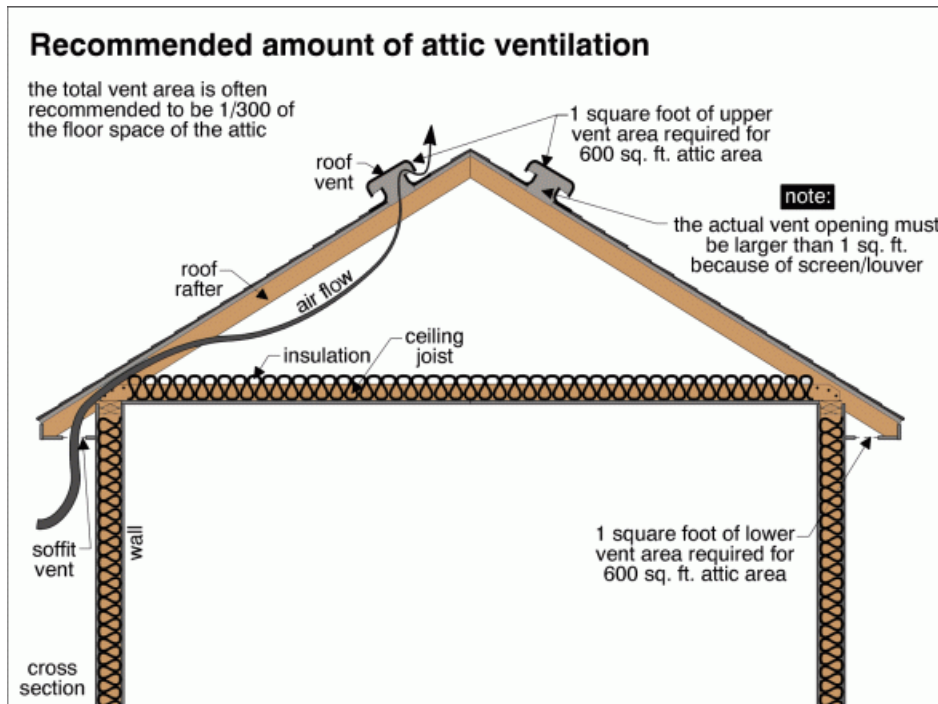


## ATTIC/ROOF \ Roof vents

### 28. Condition: • [Inadequate](#)

Attic ventilation MAY be inadequate. The soffit vents may be insufficient due to various incomplete soffit vents, and the venting may be obstructed by insulation.

**Location:** Soffit Venting



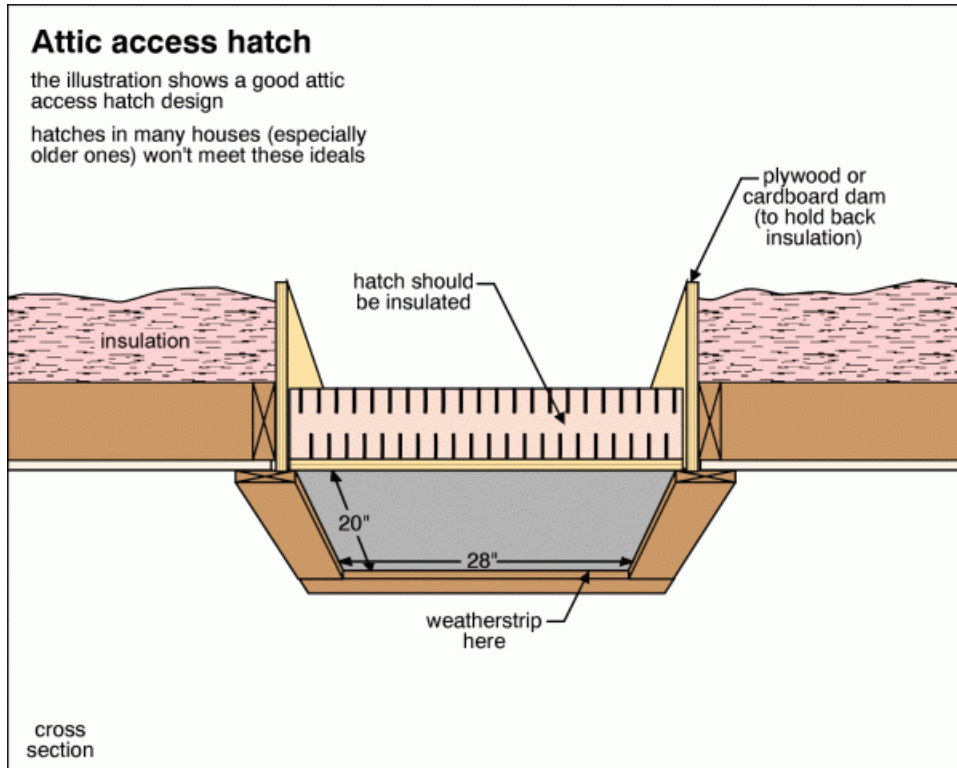
## ATTIC/ROOF \ Hatch

### 29. Condition: • [Missing](#)

The south attic above the second floor is lacking an access, preventing access and inspection of the attic. Attic spaces require accesses. Furthermore, the north attic in the master bedroom closet is difficult to access, and once in the attic the space is inaccessible due to lack of head room and framing. However, insulation in this area has been damaged and compressed due to rodent activity. Improving insulation in the north attic is needed, and installation of an access for the

south attic is needed.

**Location:** Attics



## FOUNDATION \ Interior insulation

**30. Condition:** • Insulation is loose or missing in various areas of the crawlspace.

**Location:** Crawl Space



## FOUNDATION \ Crawlspace ventilation

**31. Condition:** • Crawl space ventilation appears to be provided by a power exhaust vent controlled via humidistat; although, the system failed to engage.

**Location:** Crawl Space





## Description

**TREC Plumbing Supply, Distribution Systems and Fixtures:** • During the inspection plumbing fixtures and faucets including bathtubs, showers, sinks and toilets were engaged and appeared to function as intended. If deficiencies were present the deficiencies will be listed within the recommendation section of the report.

**Water supply source:** • Private

**Supply piping in building:** • [Copper](#)

**Main water shut off valve at the:** • Utility room

**Water flow and pressure:**

• [Functional](#)



**Water heater fuel/energy source:** • [Gas](#)

**Water heater type:** • Indirect fired water heater tank

**Water heater manufacturer:** • Triangle Tube

**Tank capacity:** • [60 gallons](#)

**Water heater approximate age:** • I was unable to determine the age of the Triangle Tube indirect fired water heater using the information on the tank. Indirect fired water heater tanks typically have 12 to 15 year life expectancies in this area. The unit was functional during the inspection.

**Typical life expectancy:** • Indirect fired water heater tanks typically have 12 to 15 year life expectancies in this area. The unit was functional during the inspection.

**Water heater failure probability:** • [High](#)

**Hot water circulating system:** • [Present](#)

**Waste disposal system:** • [Public](#)

**Waste and vent piping in building:** • [ABS plastic](#)

**Floor drain location:** • The water heater is equipped with a drain pan and functional drain line.

**Water treatment system:** • Water softener • Reverse osmosis

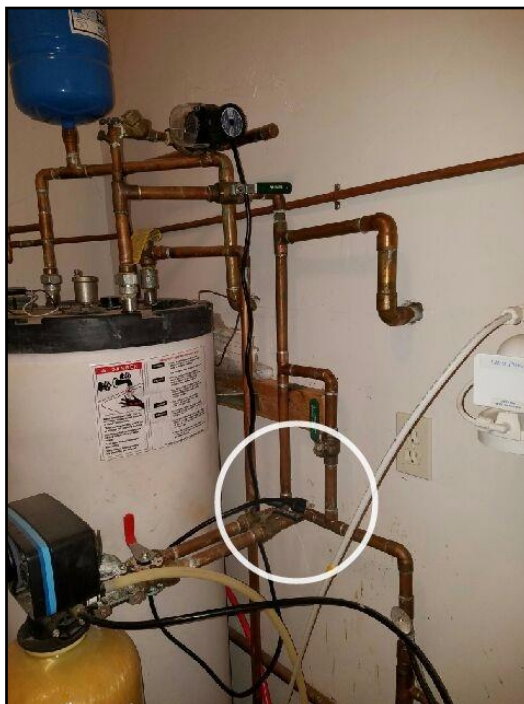
**Gas piping:** • Steel • CSST (Corrugated Stainless Steel Tubing)

**Main fuel shut off valve at the:** • Gas meter

**Exterior hose bibb:** • Present

## Limitations

**Items excluded from a building inspection:** • The hot water circulation pump was unplugged in the utility room during inspection. The unit was not engaged during inspection.



*Unplugged*

## Recommendations

### General

**32.** • I was unable to determine the purpose of the PVC drain line in the central aspect of the north crawlspace. However, the PVC line drains into the crawlspace

**Location:** North Crawl Space



**33.** • Active leakage is present at the pumps located in the southeast crawlspace which appear to be dedicated to the exterior hot tub. Repair is needed

**Location:** Southeast Crawl Space



*Pumps noted*



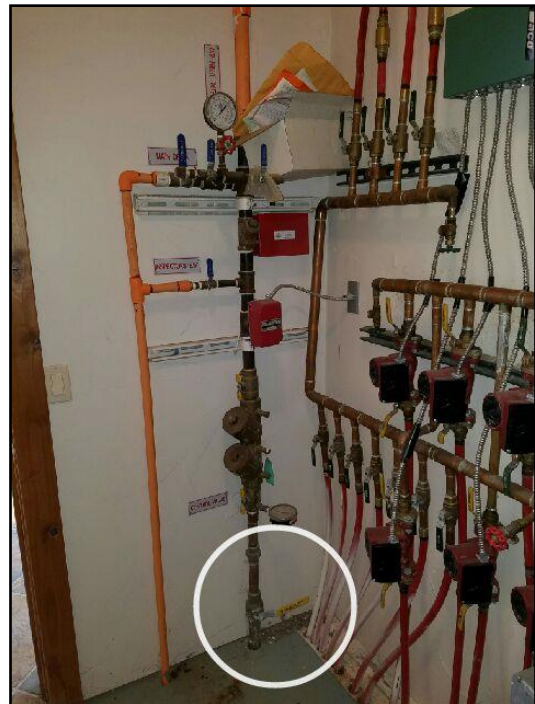
*Active leakage*

**34.** • The home is equipped with a fire suppression system. These systems require annual inspection and service by a fire suppression system contractor to verify the system is in functioning condition and the system is compliant. Furthermore, verify service records.

The system was shut off. Service is needed.

**Location:** Fire Suppression System





## SUPPLY PLUMBING \ Supply piping in building

**35. Condition:** • [Various fittings on water lines and radiant lines in the home may be involved in a class action lawsuit.](#) Fittings marked with F 1807 may be manufactured by Zurn and are alleged to have higher failure rates. Visible fittings in the home appeared to be in good condition, with the exception of corrosion noted on one of the manifolds in the crawlspace.

**Location:** Interior







### WATER HEATER \ Life expectancy

**36. Condition:** • Indirect fired water heater tanks typically have 12 to 15 year life expectancies in this area. The unit was functional during the inspection.

The manufacture date was not determined. However, the unit is likely original.

**Location:** Utility Room

### WATER HEATER \ Tank

**37. Condition:** • Seismic strapping is missing on the water heater tank/tanks. Strapping is recommended on the upper and lower third of the tank.

**Location:** Utility Room



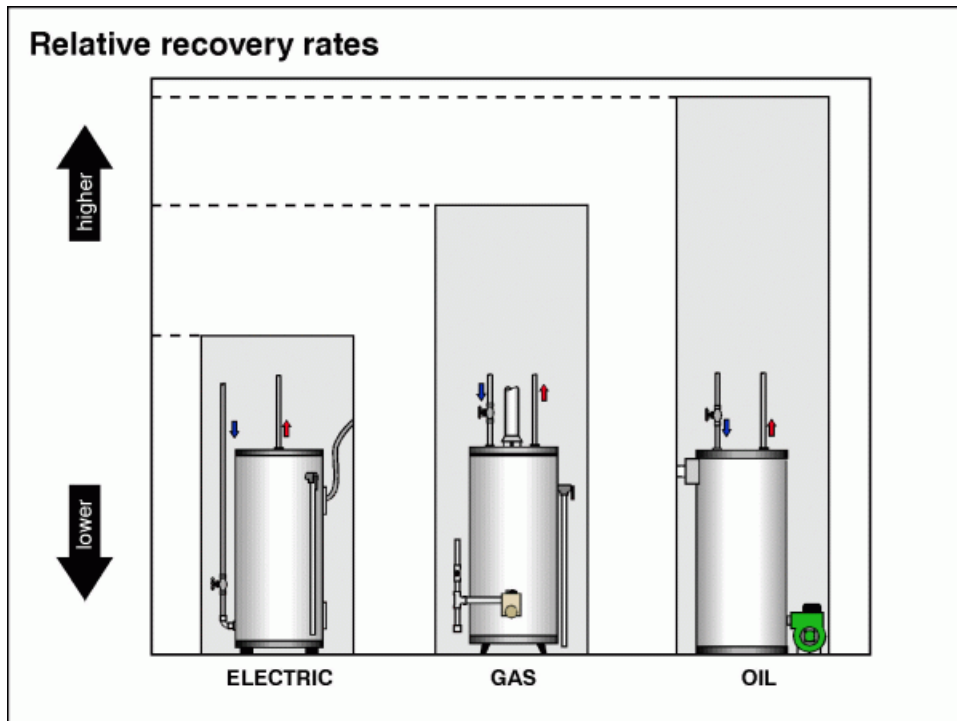
### WATER HEATER \ Capacity

**38. Condition:** • [Inadequate](#)

The water heater dedicated to the home is an indirect fired water heater. The recovery rate is largely based on the BTUs of the boiler; however, the capacity of the water heater may be undersized in terms of the gallons of the tank. The water

heater is only a 60 gallons tank.

**Location:** Utility Room



## FIXTURES AND FAUCETS \ Basin, sink and laundry tub

**39. Condition:** • Consistent with the age of the home and/or general use, various plumbing fixtures such as drain stops and faucets were slightly loose and/or slightly corroded. For example, a tub spout may be loose, a sink faucet and handle fixture may be loose, or a drain stop might be inoperable. If a significant issue was noted pertaining to a plumbing fixture, it will be individually identified.

**Location:** Various Aspects Of The Interior

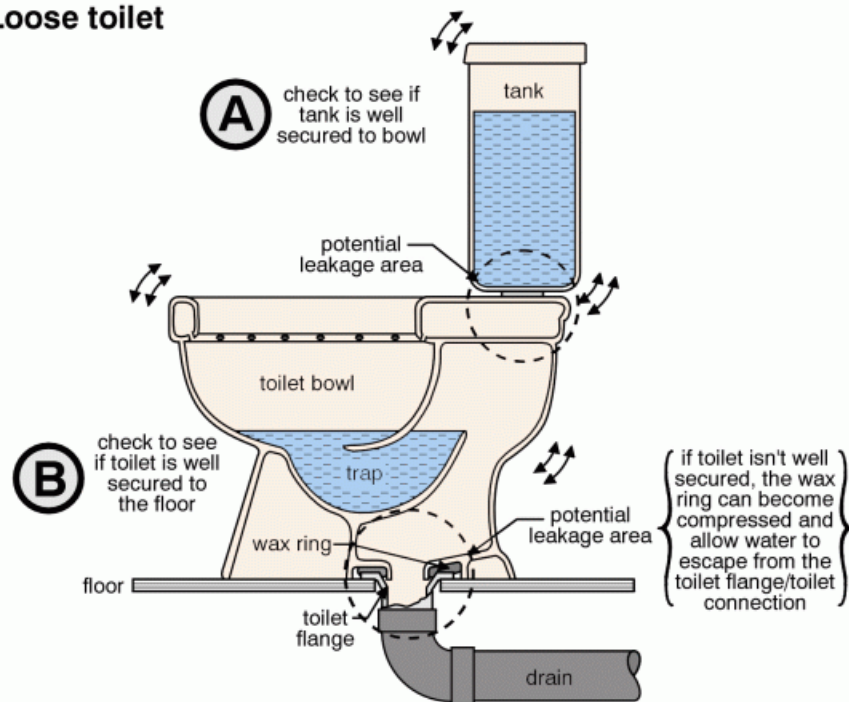
## FIXTURES AND FAUCETS \ Toilet

**40. Condition:** • [Loose](#)

The toilets on the first floor are loose.

**Location:** Various Aspects Of The Interior First Floor

## Loose toilet

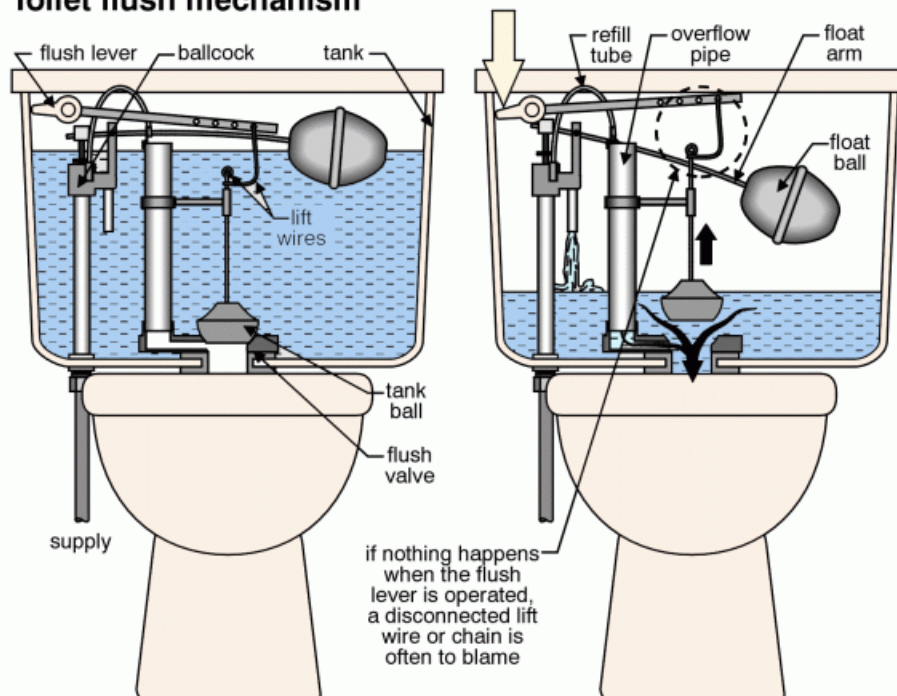


### 41. Condition: • [Running continuously](#)

The northwest second floor bathroom toilet runs continuously.

**Location:** Northwest Second Floor Bathroom

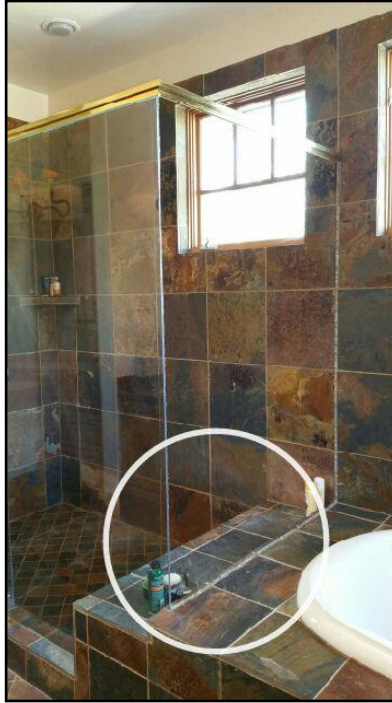
## Toilet flush mechanism



## FIXTURES AND FAUCETS \ Shower stall enclosure

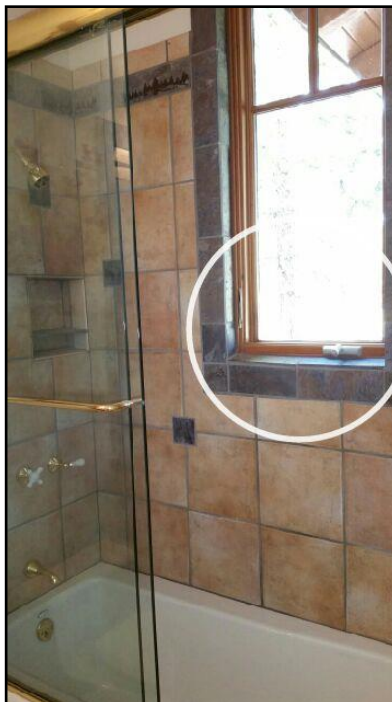
**42. Condition:** • The glass on the east aspect of the shower enclosure of the northwest second floor bathroom has been broken and is missing.

**Location:** Northwest Second Floor Bathroom



**43. Condition:** • There is an unprotected window located in the shower enclosure of the northeast first floor bathroom.

**Location:** Northeast First Floor Bathroom





**44. Condition:** • [Caulking loose, missing or deteriorated](#)

Deterioration of the grout is present in the shower enclosure in the master bathroom. Furthermore, it is suggested that a doorstop should be installed for the glass shower door.

**Location:** Hallway Bathroom

**FIXTURES AND FAUCETS \ Whirlpool bath (Hydro-Massage Therapy Equipment) pump****45. Condition:** • [No pump access](#)

The master bathroom jetted tub is lacking an access panel for the pump.

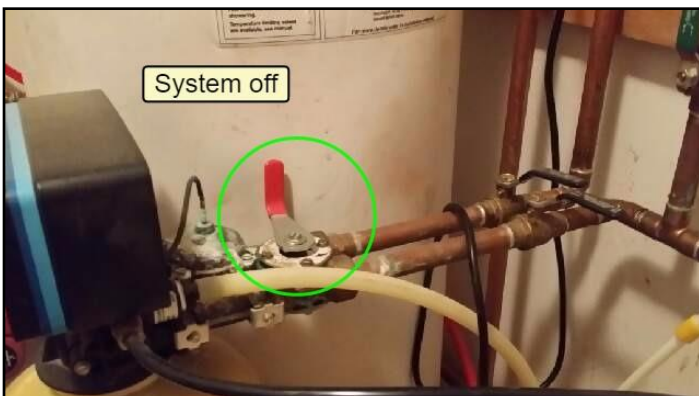
**Location:** Master Bathroom

**WATER TREATMENT \ System**

**46. Condition:** • Reverse osmosis systems, water softeners or filters are beyond the scope of a home inspection. You may want to determine the last date of service and service accordingly.

Furthermore, the water softener was off, and this unit is original. Water softener typically have 10 to 15 year useful lifespans. The system may need to be replaced. Two of the filters have been removed from the RO system in the utility room as well.

**Location:** Water Treatment



# PLUMBING

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## Description

**General:** • [Click on the provided link for information regarding life expectancies of appliances and systems within a home.](#)

**Major floor finishes:** • [Carpet](#) • [Hardwood](#) • Tile

**Major wall and ceiling finishes:** • [Plaster/drywall](#)

**Windows:** • [Fixed](#) • [Casement](#) • Metal-clad wood

**Glazing:** • [Double](#)

**Doors:** • Inspected

**Oven type:** • Conventional • Convection

**Oven fuel:** • Electricity

**Range fuel:** • Gas

**Appliances:** • Range hood • Dishwasher • Dishwasher • Waste disposal • Trash compactor • Microwave oven • Central vacuum

**Laundry facilities:** • I was unable to verify if a floor drain is installed under the washing machine. This is not required.

**Laundry facilities:** • Washer • Laundry tub • Hot/cold water supply • Dryer • Vented to outside • 120-Volt outlet • 240-Volt outlet • Waste standpipe • Gas piping

**Kitchen ventilation:** • Range hood

**Bathroom ventilation:** • Exhaust fan

**Laundry room ventilation:** • Window

**Laundry room ventilation:** • Exhaust fan

**Counters and cabinets:** • Inspected

**Stairs and railings:** • Inspected

## Limitations

**General:** • I was unable to remove the toe kicks from the dishwashers.

**Inspection limited/prevented by:** • The home was furnished during the inspection. Furnishings and storage can limit a home inspection. Limitations include but are not limited to inspection of: flooring, HVAC REGISTERS, areas under sinks, outlets, cupboard, walls, general aspects of the interior, window panes and or areas around windows. Moreover, temperature, exterior lighting and/or both of the aforementioned conditions can limit the evaluation of a window pane or double paned window, limiting the ability to determine if the window has lost the seal on the double glazing. "Fogging" between window panes can vary significantly with exterior temperature and weather.

## Recommendations

### General

**47.** • I was unable to determine the purpose of the retrofitted concrete pad in the southeast crawlspace.

**Location:** Southeast Crawl Space

# INTERIOR

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**48.** • Common in homes in Utah and typically not considered to be destructive. Box elder bugs are present around multiple aspects home. Service by a pest-control contractor is recommended.

**Location:** Interior



## OPTIONAL \ Interior

**49. Condition:** • Other

The following are punch list items; the bottom rail for the sliding screen of the southwest second floor bedroom is inoperable, the shower head in the southwest bathroom on the first floor leaks, the door into the bathroom of the west first floor bedroom does not latch, the exterior door leading to the mudroom has loose hardware, and there is hardware missing from the closet door at the top of the west staircase.

**Location:** Various Aspects Of The Interior



## RECOMMENDATIONS \ Overview

**50. Condition:** • Kitchen appliances typically have 10 to 15 year life expectancies depending on use and maintenance. Appliances appear to be original with the exception of the trash compactor. The appliances are functional. However, one of the dishwashers is loose, and the blower in the range hood appears to be out of balance.

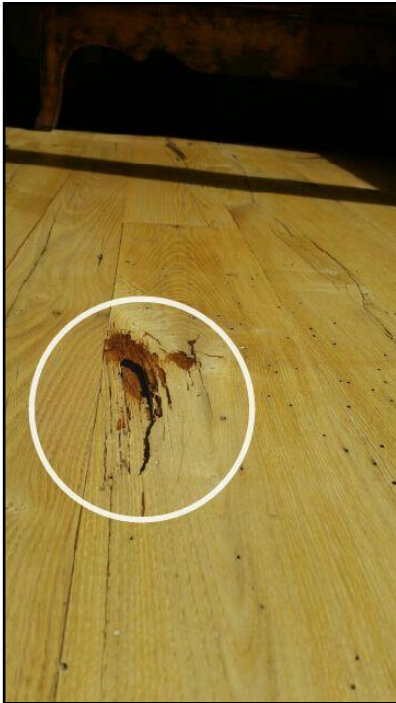
**Location:** Kitchen

## FLOORS \ Wood/laminate floors

**51. Condition:** • The wood floor is faded likely due to U/V exposure.

There is damage present to the wood floor in the master bedroom and small areas in the room have been patched.

**Location:** Master Bedroom, Interior



*Fading*

## CEILINGING \ Plaster or drywall

**52. Condition:** • Water damage due to previous ice damming is present in the ceiling of the master bedroom closet.

**Location:** Master Bedroom



**53. Condition:** • Water damage is present in the west ceiling of the garage. This was likely due to previous ice damming.

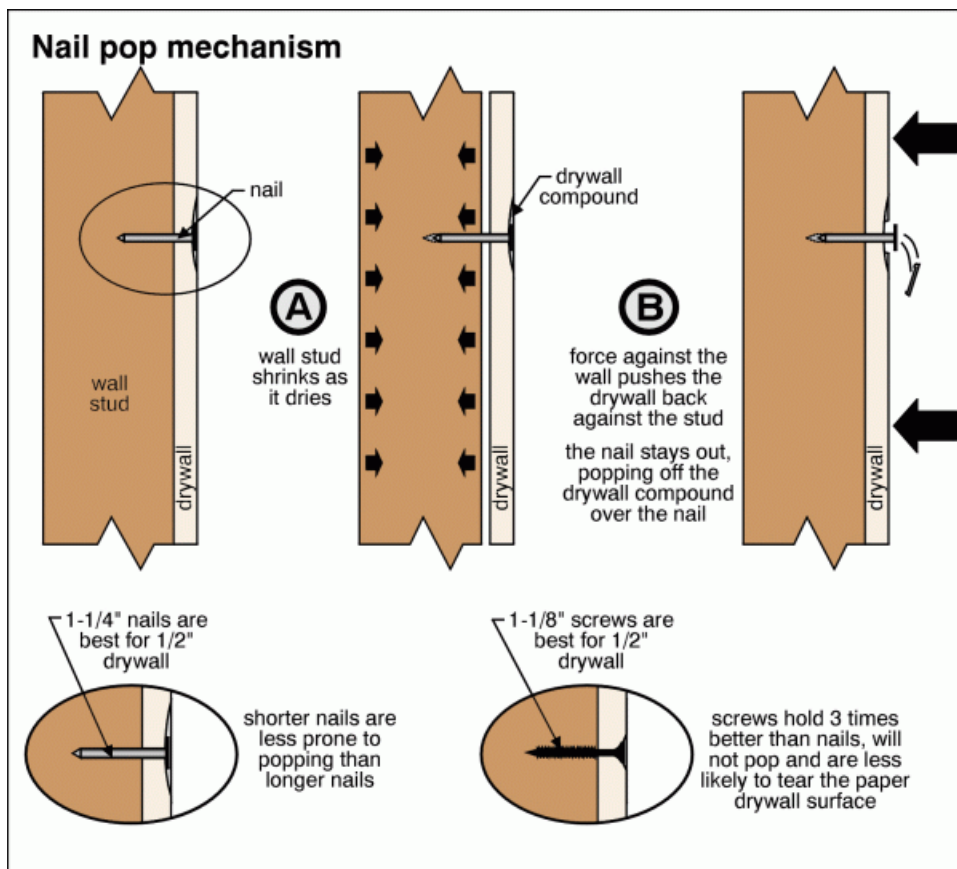
**Location:** West Garage



**54. Condition:** • [Nail pops](#)

Nail pops are present in multiple aspects of the ceilings in the second floor. This may be related to inadequate ventilation in the attic.

**Location:** Various Aspects Of The Interior



## WINDOWS \ General

**55. Condition:** • Hardware is missing or loose on several windows in the garage, and the swing arm is detached from the window in the northwest second floor bedroom.

**Location:** Various Areas

**56. Condition:** • According to industry standards, the average household window typically has an 18 to 25 year life expectancy. Windows in the home appear to be original. Windows and doors appeared to be in serviceable condition during inspection.

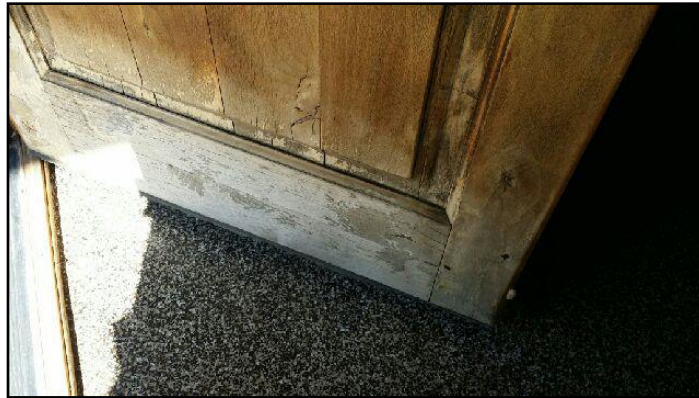
**Location:** Windows And Doors

## DOORS \ Doors and frames

**57. Condition:** • Weather and UV damage are present along with two exterior doors on the west wall of the garage. These doors do not appear to be rated for exterior exposure.

**Location:** West First Floor Garage





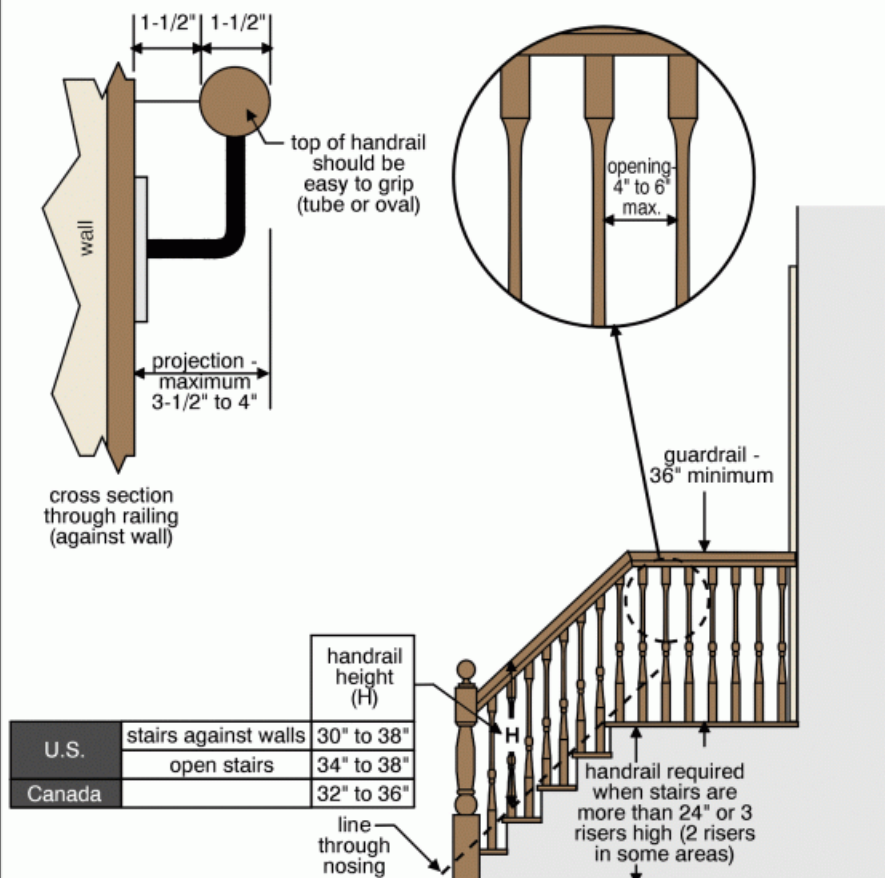
## STAIRS \ Handrails

### 58. Condition: • [Missing](#)

A handrail is missing along north primary staircase.

**Location:** North Second Floor

### Handrails and guards

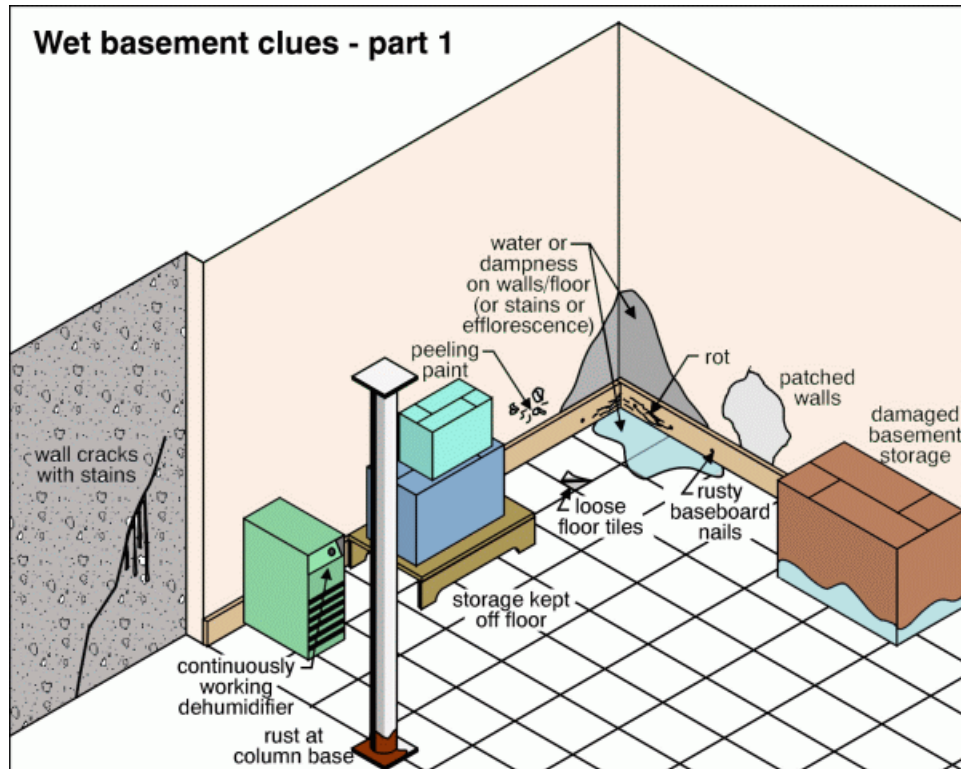


## CRAWLSPACE \ Wet crawlspace - evidence

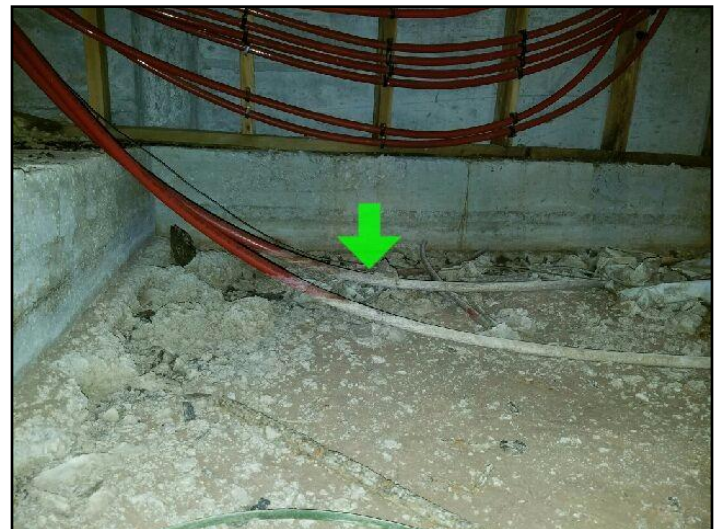
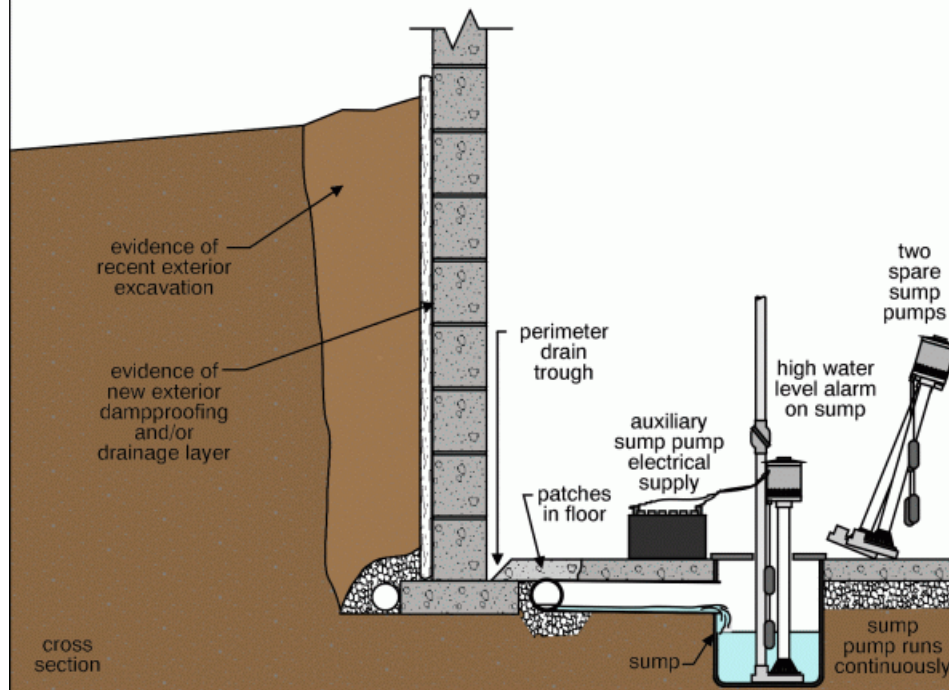
### 59. Condition: • [Water marks](#)

Moisture staining is present on the vapor retarder and high water marks are present throughout the crawlspace likely caused by moisture penetration. Additional evaluation by a contractor specializing in crawl space drainage is recommended to determine if installation of sump pumps are needed.

**Location:** Crawl Space



## Wet basement clues - part 2



Signs of moisture





*Moisture staining*

## **GARAGE \ Vehicle door operators**

**60. Condition:** • Garage door openers typically have 10 to 15 year life expectancies. The unit/units appear to be original. During the inspection, the opener/openers were functional.

**Location:** Garage

**END OF REPORT**

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS