

INSPECTION REPORT



For the Property at:
8 KENYON ROAD
VERNON, BC V1H 2C6

Prepared for: R G
Inspection Date: Friday, September 20, 2019
Prepared by: Matt Bramall



NorthWest Home Inspection
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SUMMARY

8 Kenyon Road, Vernon, BC September 20, 2019

Report No. 1021, v.3

www.nwhomeinspection.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Exterior

LANDSCAPING \ General

Condition: • [Too close to grade or wood/soil contact](#)

The siding which is covering the wood framed walls along the north and south sides of the home is too close to grade. There should be a minimum of 8" of clearance from the ground to the wood framing. This is particularly concerning with this home, as the above-grade downspouts uphill of these areas are directing a lot of water up against the foundation wall.

Implication(s): Chance of water entering building | Weakened structure | Rot | Insect damage

Location: North and south sides of the exterior

Task: Increase clearance from ground to wood framing, slope ground away from structure.

Time: As soon as possible

GARAGE \ Ceilings and walls

Condition: • Not gastight

There is a section of drywall in the ceiling of the garage that is missing. This needs to be replaced, and mudded and taped to ensure the garage is gas tight from the home.

Implication(s): Hazardous combustion products entering home

Location: Garage

Task: Replace drywall, mud and tape seams

Time: Before parking in garage

Structure

General

• There is evidence that the original house has had a significant renovation since it was first constructed. Inquire with the seller and the city to ensure that proper permits were taken out, and that these files were closed at completion.

Implication(s): Possibility of having to remove improvements, pay penalties, and/or make changes to existing improvements to meet current standards.

Location: Throughout

Task: Further evaluation

Time: Before subject removal

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Electrical

General

• Numerous electrical issues have been identified within this report. Engage a licensed electrical contractor to further evaluate and conduct the appropriate repairs.

Implication(s): Electrical/fire hazard, shock hazard.

Location: Throughout

Task: Further evaluation

Time: Immediate

Heating

FURNACE \ Life expectancy

Condition: • Past life expectancy

The furnace in the home is well past its life expectancy. Annual servicing is recommended to extend the life of your furnace. Although the furnace worked on the inspection day, due to its age you should expect to budget for a replacement.

Implication(s): Equipment failure | No heat for building

Location: Utility Room

Task: Service, budget for replacement

Time: Upon possession, Ongoing

Plumbing

WATER HEATER \ Life expectancy

Condition: • Past life expectancy

The water heater is well past its life expectancy and was not currently in use. Budget for a new hot water tank, and expect replacement of the water heater to be a possible requirement for home insurance. Inquire with insurance providers before subject removal.

Implication(s): Chance of water damage to contents, finishes and/or structure | No hot water

Location: Utility Room

Task: Inquire with insurance, budget for replacement

Time: Before subject removal

Interior

FLOORS \ General

Condition: • Not water resistant

Poorly fit flooring can allow water to get to the absorbent high density fibre layer of the floorboards, resulting in swelling further exacerbating the problem.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Kitchen

Task: Improve

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Time: Upon Possession

STAIRS \ Handrails and guards

Condition: • [Loose](#)

The guardrail from the basement to the landing of the staircase is poorly secured. It would not prevent someone from going through it if they were to fall down the stairs, or if someone was to put sufficient weight on it while ascending or descending the stairs, they could also fall.

Implication(s): Fall hazard

Location: Stairway landing

Task: Secure guardrail firmly

Time: Immediate

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs--These are estimated costs only and should not be relied on.](#)

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The home is considered to face : • East

Sloped roofing material:

- [Asphalt shingles](#)



Asphalt shingles



Asphalt shingles

Sloped roof flashing material: • Metal

Limitations

Inspection performed: • By walking on roof

Recommendations

SLOPED ROOFING \ Asphalt shingles

Condition: • [Exposed fasteners](#)

There are exposed fasteners in the shingles at the ends of the ridge caps which require caulking.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Ends of ridge caps

Task: Caulk roof fasteners penetrating shingles

Time: Upon Possession

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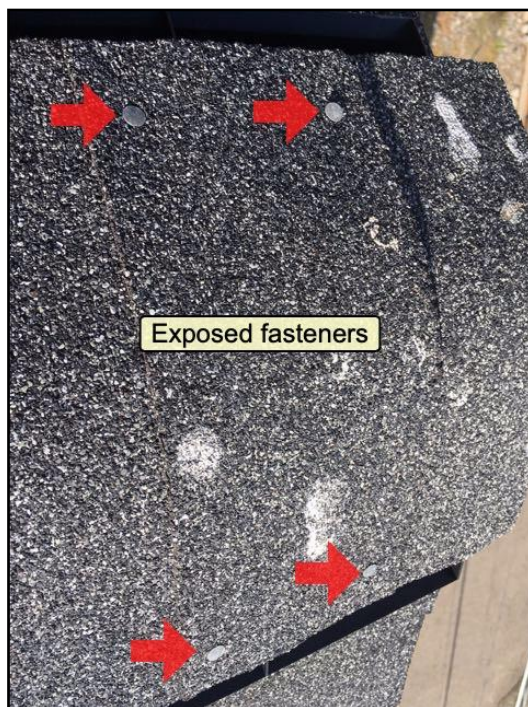
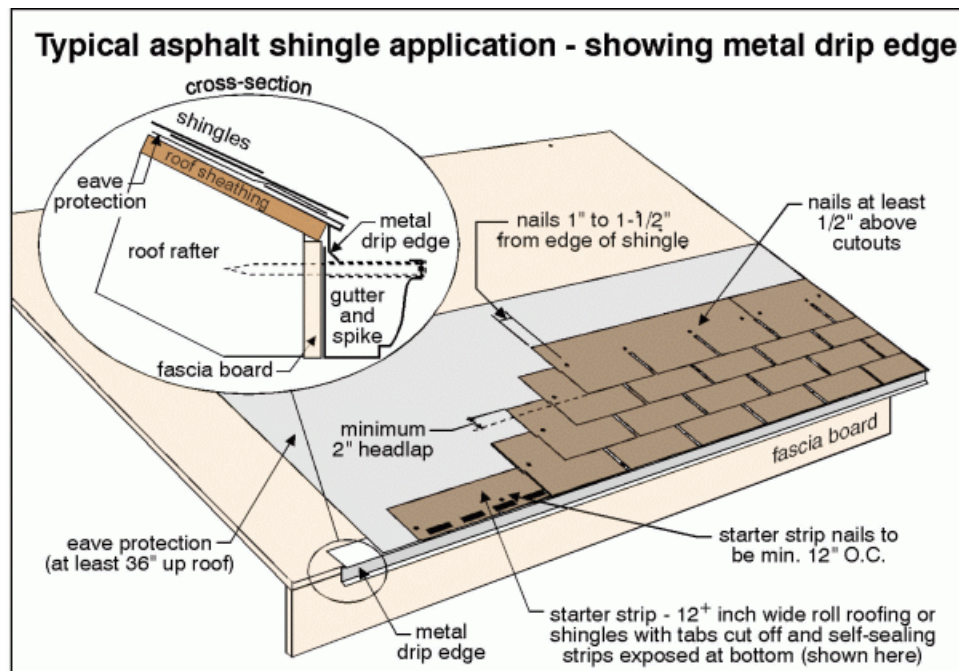
COOLING

INSULATION

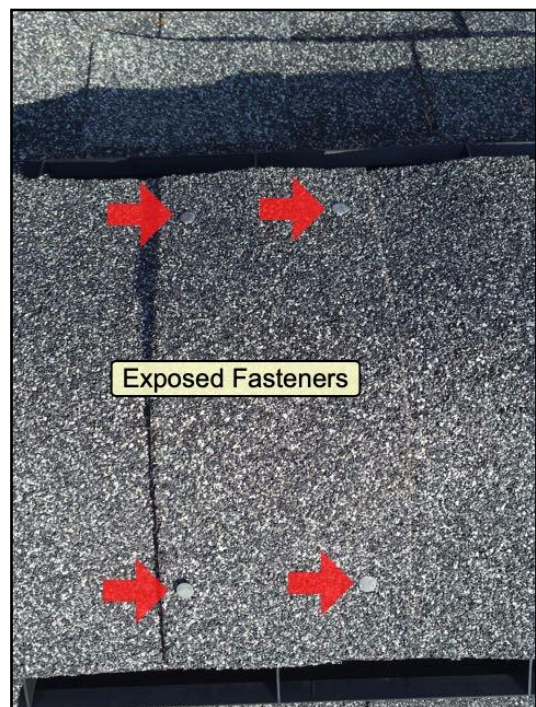
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Exposed fasteners



Exposed fasteners

SLOPED ROOF FLASHINGS \ Pipe/stack flashings

Condition: • Loose

Flashing for cable tv/ mast loose, potential for water ingress, and the associated damage to structure, finishings and contents.

Location: Mast at rear of roof

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Task: Seal gap with caulking

Time: As soon as possible



Loose Flashing

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General: • Exterior photos



Exterior photos



Exterior photos



Exterior photos



Exterior photos

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Exterior photos



Exterior photos

Gutter & downspout material: • [Aluminum](#)

Downspout discharge:

• [Above grade](#)



Above grade

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Lot slope: • [Hillside](#)

Wall surfaces and trim: • [Vinyl siding](#) • [Hardboard](#)

Driveway: • Gravel

Garage:

• Attached



Attached garage

Limitations

General: • Vehicle door to garage not tested.

Note: Vehicle door to garage was locked, no key was provided.

Inspection limited/prevented by:

• New finishes/paint/trim

Recent installation of soffit, new trim boards and new paint meant limited inspection of deck posts, beams, and joists was possible.

Upper floors inspected from: • Ground level

Exterior inspected from: • Ground level

Not included as part of a building inspection: • Underground components (e.g., oil tanks, septic fields, underground drainage systems)

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Recommendations

ROOF DRAINAGE \ Gutters

Condition: • Dirty/debris

The asphalt shingles were recently installed, and have lost a normal amount of granules for a newly installed roof. The gutters also have accumulated some leaves and needles at this time. Clean gutters seasonally to ensure proper drainage and to prevent overflows. Overflowing gutters can damage the fascia and structure below.

Location: Gutters

Task: Clean

Time: Regular maintenance



Dirty/debris



Dirty/debris

ROOF DRAINAGE \ Downspouts

Condition: • [Should discharge 6 feet from building](#)

Downspouts should discharge 6 feet from the house.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Exterior

Task: Extend downspouts 6 feet from house

Time: Upon possession

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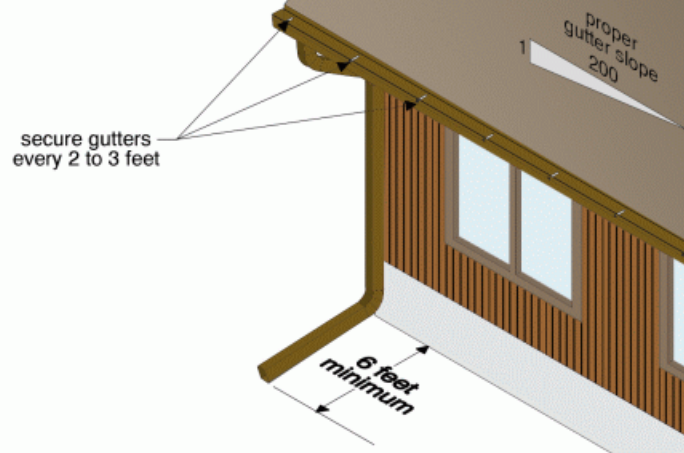
INSULATION

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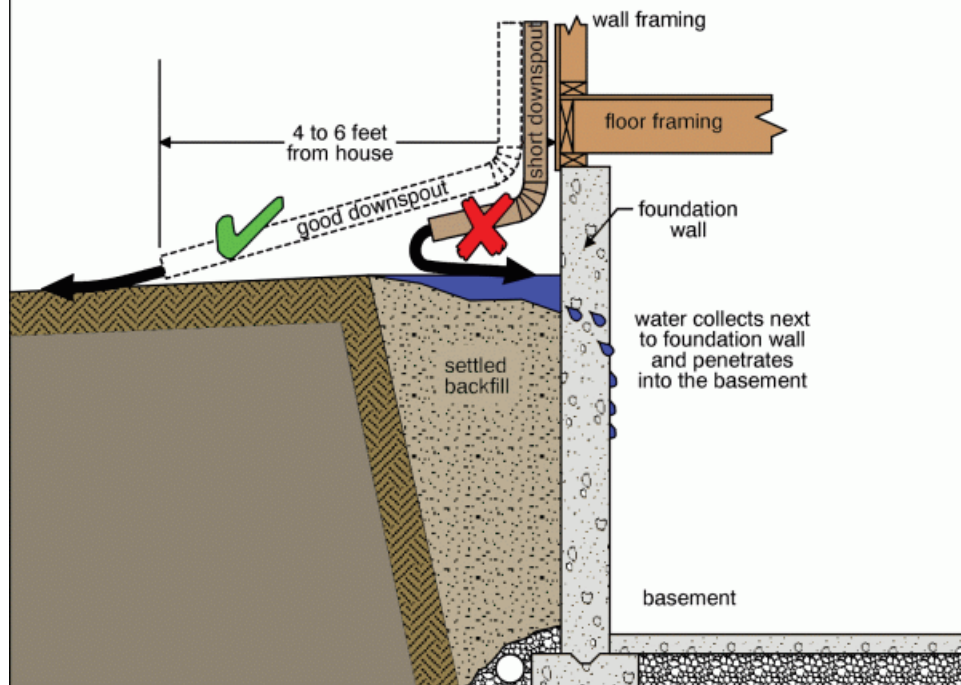
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Gutter and downspout installation



Downspout extension too short



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Should discharge 6 feet from building



Should discharge 6 feet from building



Should discharge 6 feet from building



Should discharge 6 feet from building

WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)

Condition: • [Loose or missing pieces](#)

There is a missing piece of fascia board covering missing on the north side of the home.

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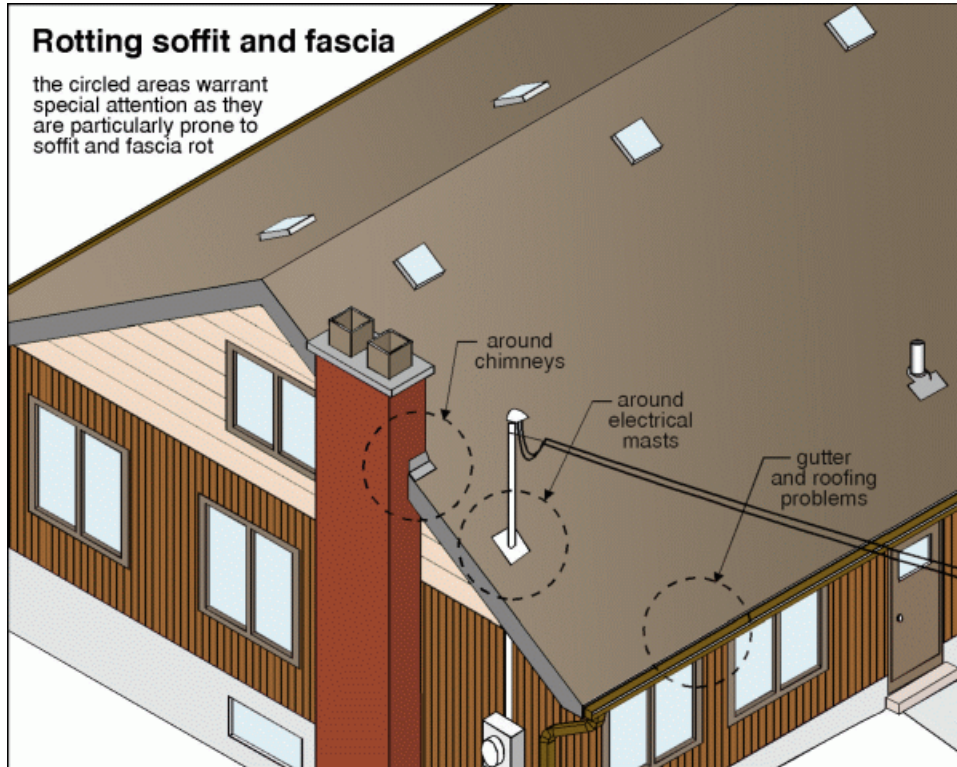
REFERENCE

Implication(s): Chance of water damage to contents, finishes and/or structure | Chance of pests entering building

Location: North

Task: Install fascia covering

Time: As soon as possible



Loose or missing pieces

DOORS \ Hardware

Condition: • Missing or damaged

There is no door hardware installed on the exterior man door to the garage.

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Implication(s): Increased heating and cooling costs | Poor security

Location: Northeast corner of garage

Task: Install hardware

Time: Upon Possession



Missing or damaged

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Stairs and landings

Condition: • [Wood/soil contact](#)

The support posts for the rear entry stairs are buried in the gravel driveway.

Implication(s): Shortened life expectancy of material | Material deterioration

Location: Rear Second Floor

Task: Improve

Time: As soon as possible

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Wood/soil contact



Wood/soil contact

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

Condition: • [Missing](#)

Stairs over 24" from the ground (3 risers) require guards and handrails.

Implication(s): Fall hazard

Location: Rear Second Floor

Task: Install guards and handrails

Time: Upon Possession

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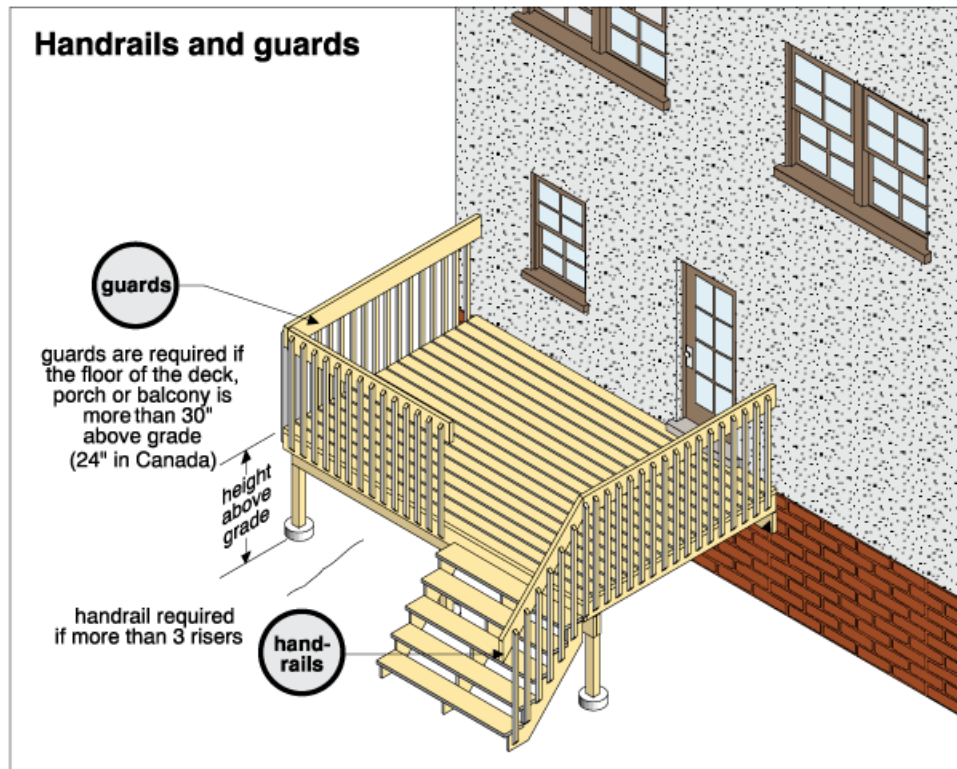
INSULATION

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Handrails and guards



Missing

LANDSCAPING \ General

Condition: • [Too close to grade or wood/soil contact](#)

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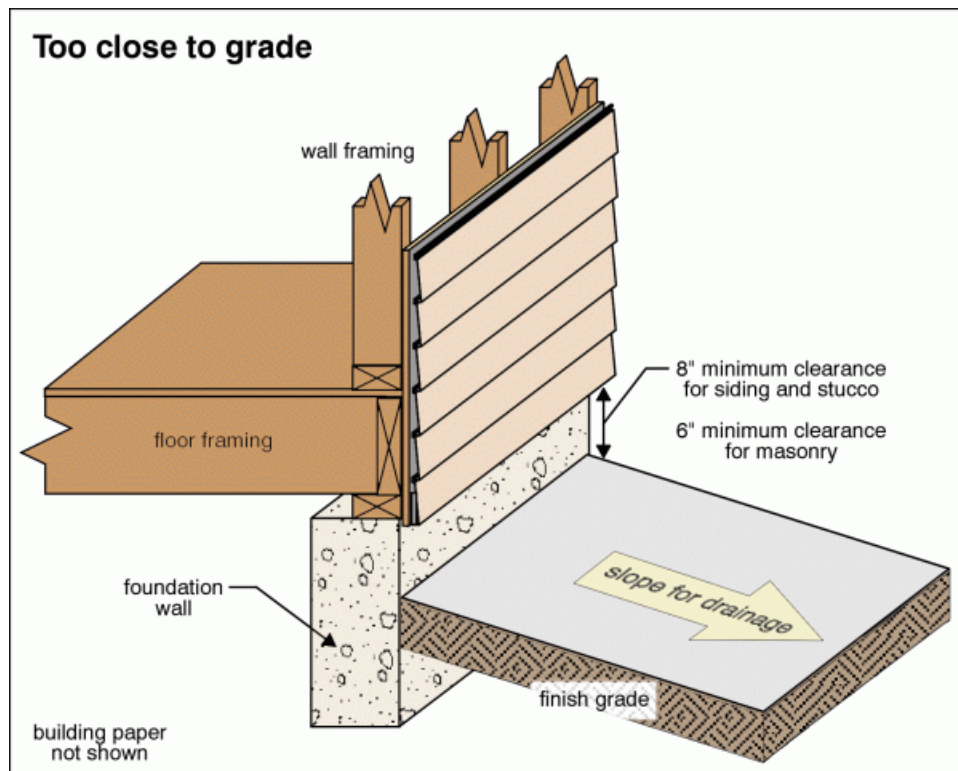
The siding which is covering the wood framed walls along the north and south sides of the home is too close to grade. There should be a minimum of 8" of clearance from the ground to the wood framing. This is particularly concerning with this home, as the above-grade downspouts uphill of these areas are directing a lot of water up against the foundation wall.

Implication(s): Chance of water entering building | Weakened structure | Rot | Insect damage

Location: North and south sides of the exterior

Task: Increase clearance from ground to wood framing, slope ground away from structure.

Time: As soon as possible



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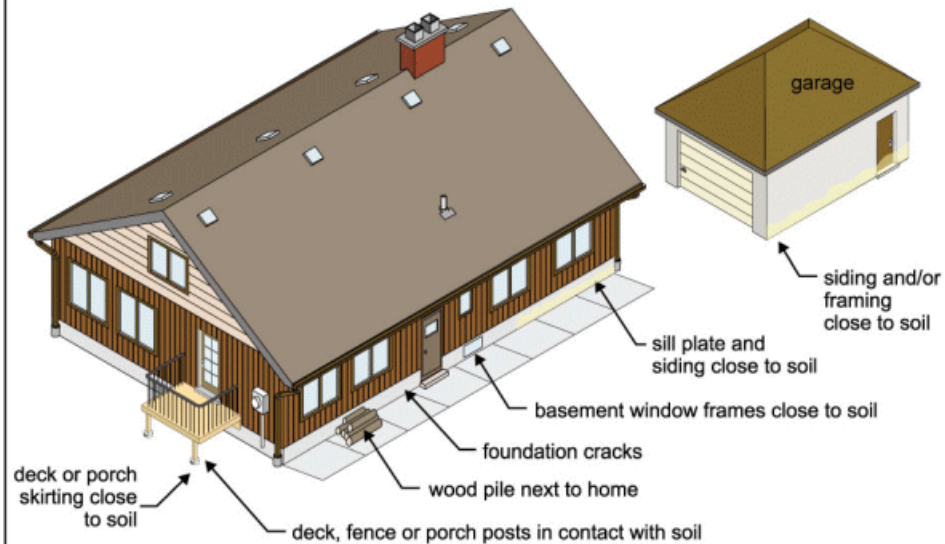
INSULATION

PLUMBING

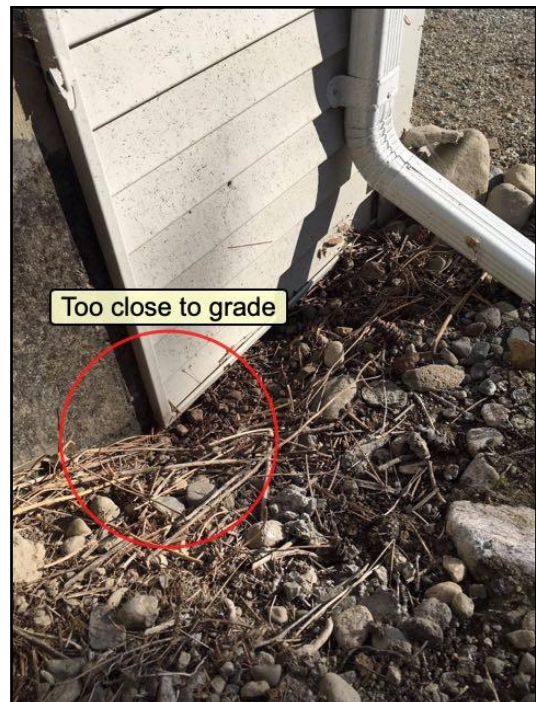
INTERIOR

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Inspecting for subterranean termites – exterior



Too close to grade or wood/soil contact



Too close to grade or wood/soil contact

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Too close to grade or wood/soil contact

GARAGE \ Ceilings and walls

Condition: • Not gastight

There is a section of drywall in the ceiling of the garage that is missing. This needs to be replaced, and mudded and taped to ensure the garage is gas tight from the home.

Implication(s): Hazardous combustion products entering home

Location: Garage

Task: Replace drywall, mud and tape seams

Time: Before parking in garage



Not gastight

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Configuration: • Walk-Out Basement

Foundation material: • [Poured concrete](#)

Floor construction: • [Joists](#)

Exterior wall construction: • [Wood frame](#)

Roof and ceiling framing:

• [Trusses](#)



Trusses



Trusses



Trusses

Limitations

Inspection limited/prevented by: • Ceiling, wall and floor coverings

Attic/roof space:

- Inspected from access hatch

Attic space not traveled due to the depth of insulation and the possibility of causing damage to hidden wiring, lighting or the ceiling below.

Recommendations

General

- There is evidence that the original house has had a significant renovation since it was first constructed. Inquire with the seller and the city to ensure that proper permits were taken out, and that these files were closed at completion.

Implication(s): Possibility of having to remove improvements, pay penalties, and/or make changes to existing improvements to meet current standards.

Location: Throughout

Task: Further evaluation

Time: Before subject removal

FOUNDATIONS \ General

Condition: • Typical minor cracks

Typical shrinkage cracks

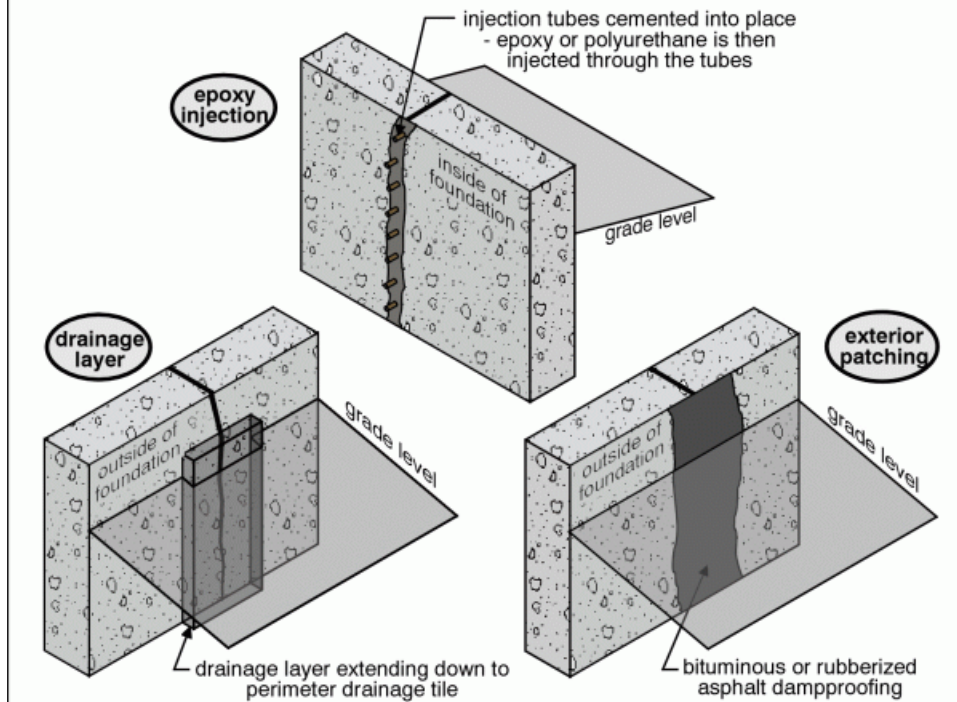
Implication(s): Chance of water entering building

Location: Exterior Foundation Wall

Task: Seal cracks

Time: As soon as possible

Patching cracks



Crack repair - epoxy and polyurethane injection

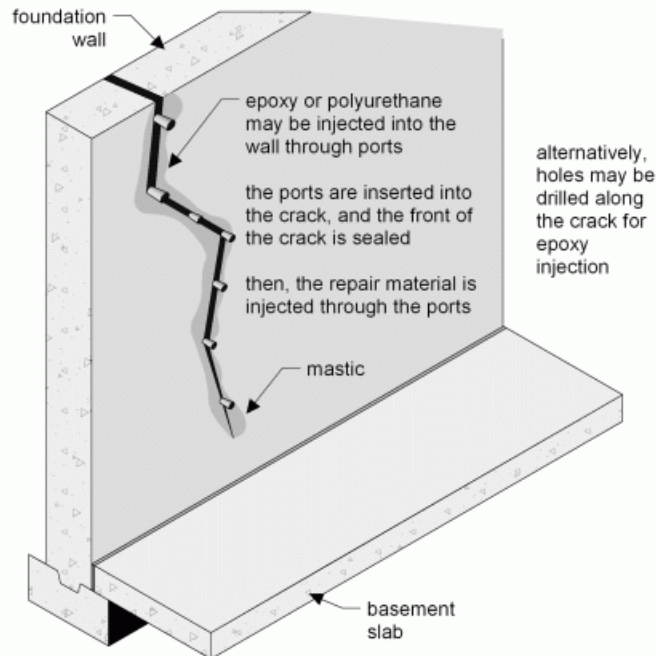
polyurethane is flexible and is not a structural repair, however, it can prevent leakage

it starts out with low viscosity, then expands within the crack

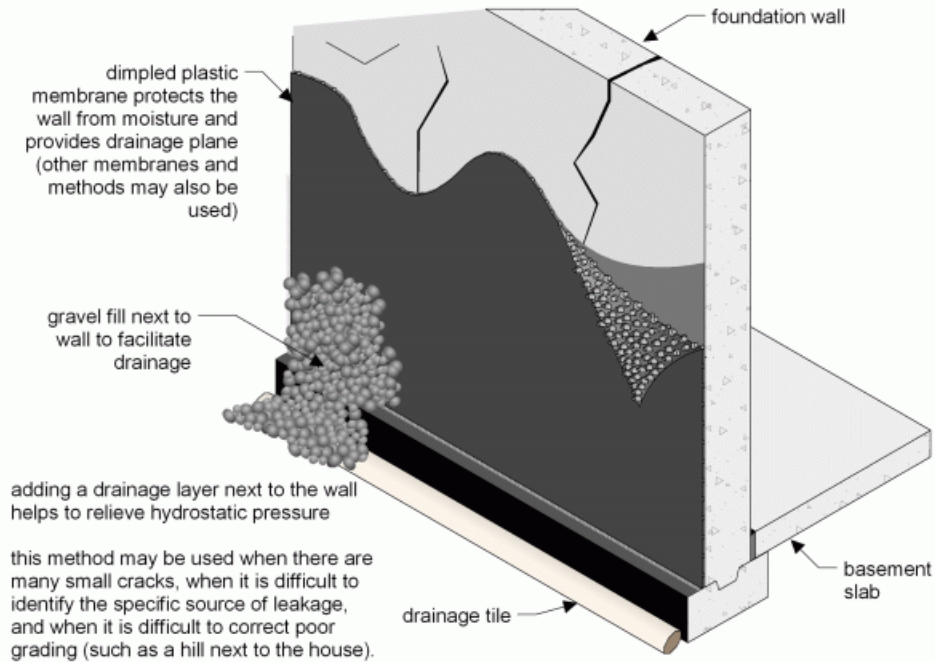
do-it-yourself crack repair kits usually feature polyurethane foam

epoxy is as strong as concrete and forms a structural seal

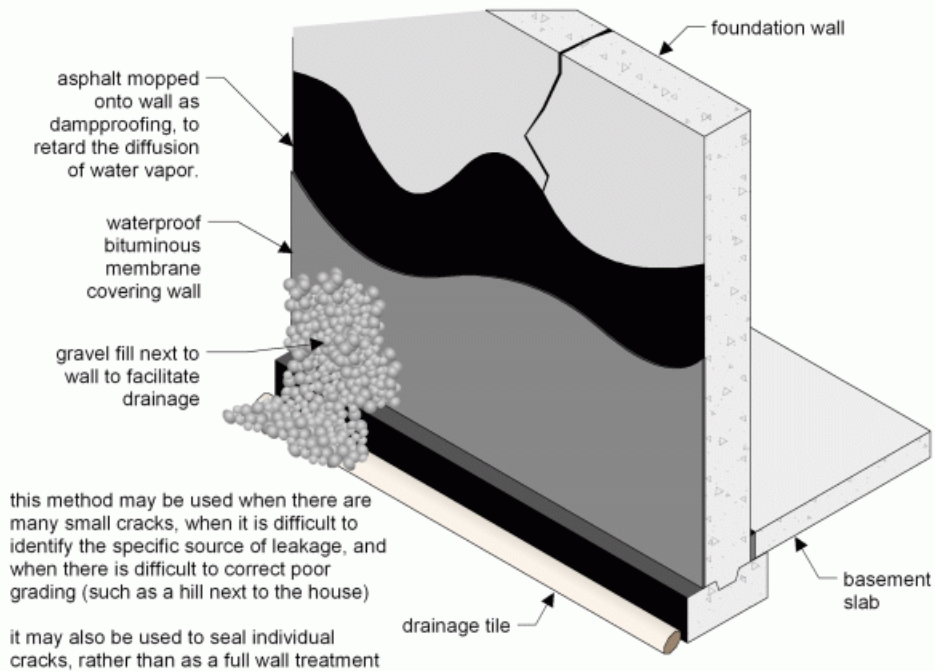
however, it hardens slowly, and if there is space at the back of the crack, it may leak out



Crack repair - drainage layer



Crack repair - exterior patching



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Typical shrinkage crack



Typical shrinkage crack



Typical shrinkage crack

Description

Service size: • [200 Amps \(240 Volts\)](#)

Main disconnect/service box type and location:

- [Breakers - basement](#)



Breakers - basement

Electrical panel manufacturers:

- Federal Pioneer

ELECTRICAL

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Federal Pioneer

Distribution wire (conductor) material and type: • [Copper - non-metallic sheathed](#)

Smoke alarms (detectors):

• [Present](#)

Replace by 2029



Present

Carbon monoxide (CO) alarms (detectors):**• Present**

There was a carbon monoxide detector present on the second floor of the home, however, it is a plug in unit, and should not be expected to be present in the home after the sale.



Present

Limitations

General: • Quality of ground not verified

General: • The accuracy of the circuit index (labels) was not verified

Inspection limited/prevented by:

• Power was off in some areas

Power was turned off to the dryer outlet and the range.



Power was off in some areas



Power was off in some areas

Recommendations

General

- Numerous electrical issues have been identified within this report. Engage a licensed electrical contractor to further evaluate and conduct the appropriate repairs.

Implication(s): Electrical/fire hazard, shock hazard.

Location: Throughout

Task: Further evaluation

Time: Immediate

DISTRIBUTION SYSTEM \ Wiring - installation

Condition: • [Undersized wire](#)

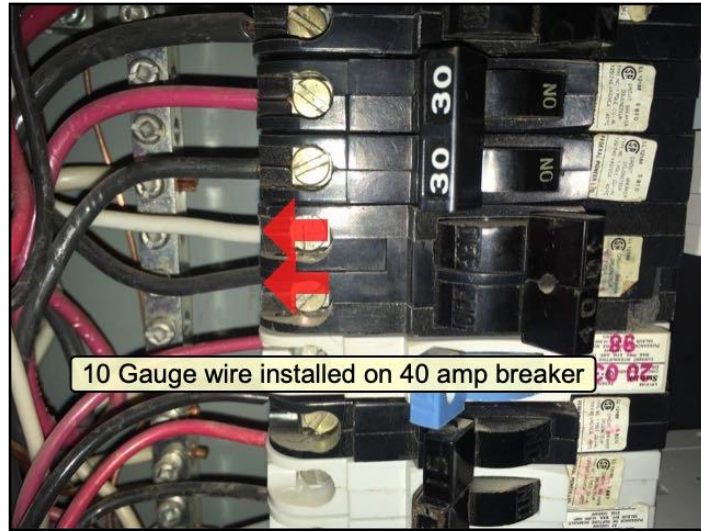
Although the breaker is off and the circuit is not currently in use, the 40 amp breaker for the garage 240 outlet is wired with 10 gauge wiring, and should be 8 gauge wire. Have a qualified electrical contractor further evaluate either changing out the breaker for a 30 amp breaker, or running an 8 gauge wire from the panel to the junction box in the garage.

Implication(s): Electric shock | Fire hazard

Location: Utility Room

Task: Qualified electrical contractor to match breaker size to wire size depending on required garage application.

Time: Immediate



Undersized wire

DISTRIBUTION SYSTEM \ Wiring - damaged or exposed

Condition: • [Exposed on walls or ceilings](#)

The 240V outlet in the garage is currently switched off at the panel, however these wires would become hot if someone was to turn the breaker back on.

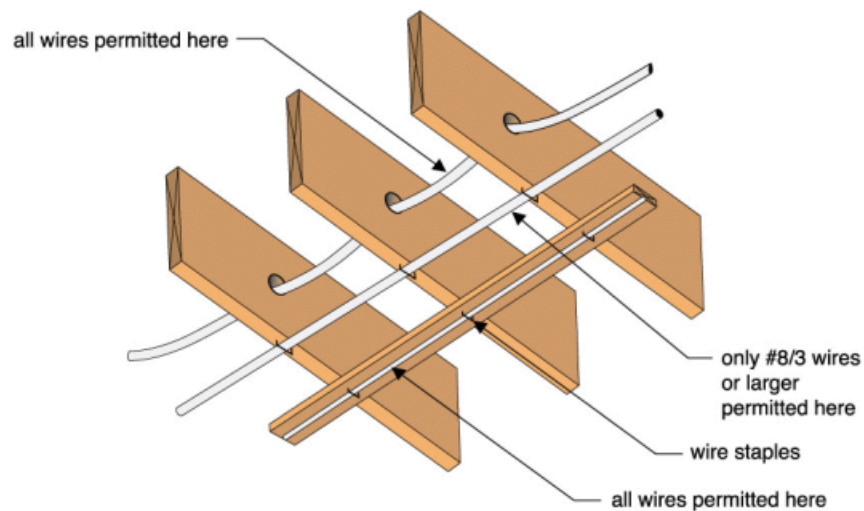
Implication(s): Electric shock

Location: Garage

Task: Install cover panel

Time: Immediate

Wire installations below floors



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Exposed on walls or ceilings

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • [No GFCI/GFI \(Ground Fault Circuit Interrupter\)](#)

Front deck and kitchen outlets not GFCI protected

Implication(s): Electric shock

Location: Deck and kitchen

Task: Install GFCI outlets

Time: Immediate

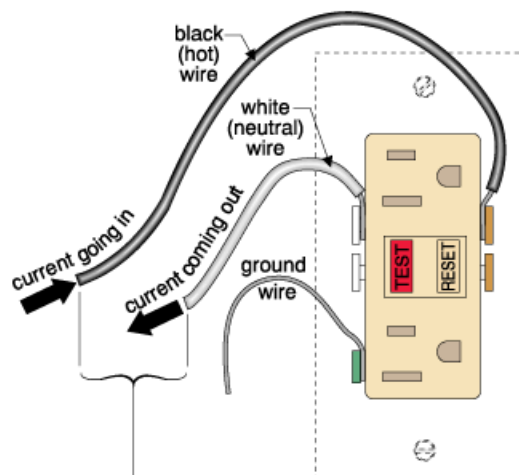
Ground fault circuit interrupter

also known as ground fault interrupter (GFI)

the GFCI circuitry within the outlet checks constantly for a difference between the current in the black and white wires
if there is a difference of at least 5 milliamps, there is a current leak and the GFCI shuts off the outlet and all outlets downstream

note:

if the GFCI is in the panel, the entire circuit will be shut down



No GFCI/GFI (Ground Fault Circuit...



No GFCI/GFI (Ground Fault Circuit...

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No GFCI/GFI (Ground Fault Circuit...

DISTRIBUTION SYSTEM \ Cover plates

Condition: • [Missing](#)

There are a large number of electrical outlets missing cover plates throughout the house.

Implication(s): Electric shock

Location: Throughout

Task: Install cover plates

Time: Immediate

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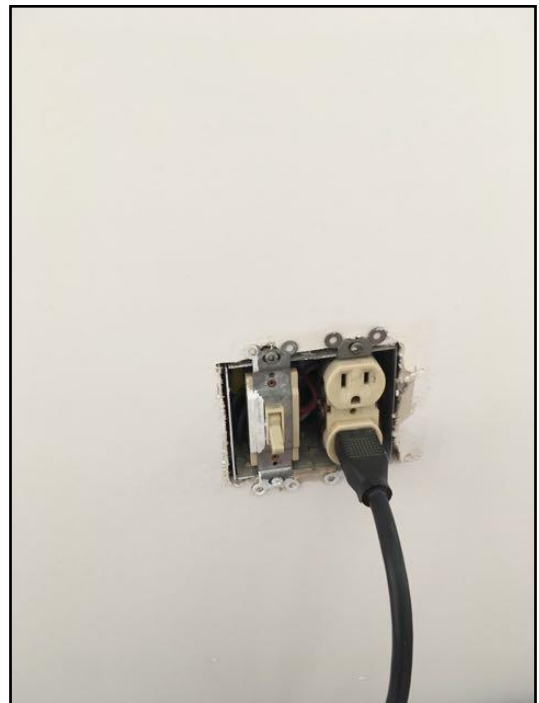
Missing Coverplate



Missing Coverplate



Missing Coverplate



Missing Coverplate

DISTRIBUTION SYSTEM \ Carbon monoxide (CO) alarms (detectors)

Condition: • Replacing all smoke and CO detectors the day you move in is a recommended precaution to protect you and your family. 1 smoke detector per room, and at least 1 CO detector per floor, as well as in any room that has a gas

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appliance should be installed.

Implication(s): Fire hazard/CO poisoning hazard

Location: Throughout

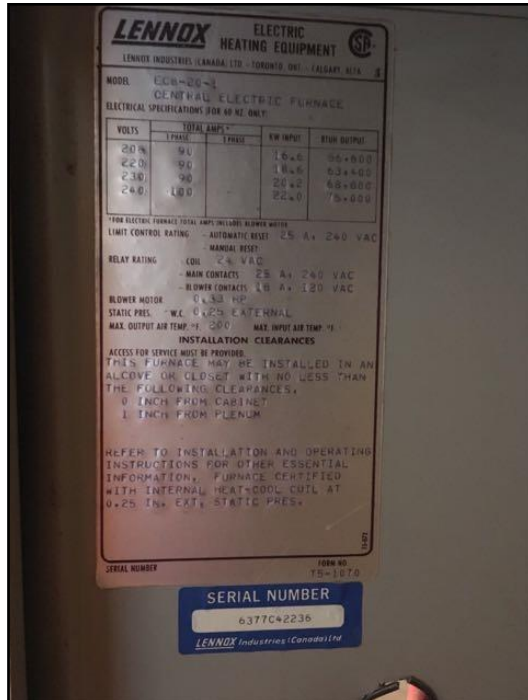
Task: Replace

Time: Upon Possession

Description

System type:

- [Furnace](#)



Furnace



Furnace

Fuel/energy source: • [Electricity](#)

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • [65,000 BTU/hr](#)

Efficiency: • [Conventional](#)

Approximate age:

- Past lifespan

Manufactured March of 1977

Main fuel shut off at: • Electrical panel

Air filter: • 16" x 25" • 1" thick

Fireplace/stove: • None

Chimney liner: • [None](#)

Location of the thermostat for the heating system:

- Hallway

There is an old thermostat currently installed in the home, however it is not mounted correctly. There is a new thermostat in a box on the floor beside the installed one. Inquire with seller as to status of the new programmable thermostat, and if it's to be included as part of sale.

HEATING

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Hallway

Recommendations

FURNACE \ Air filter

Condition: • [Dirty](#)

Implication(s): Equipment ineffective | Increased heating costs | Reduced comfort | Increased maintenance costs

FURNACE \ Life expectancy

Condition: • Past life expectancy

The furnace in the home is well past its life expectancy. Annual servicing is recommended to extend the life of your furnace. Although the furnace worked on the inspection day, due to its age you should expect to budget for a replacement.

Implication(s): Equipment failure | No heat for building

Location: Utility Room

Task: Service, budget for replacement

Time: Upon possession, Ongoing

COOLING & HEAT PUMP

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Air conditioning type: • None present

Heat pump type: • None present

INSULATION AND VENTILATION

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Attic/roof insulation material: • [Glass fiber](#)

Attic/roof insulation amount/value: • R-50

Attic/roof air/vapor barrier:

• [Plastic](#)



Plastic

Attic/roof ventilation: • [Ridge vent](#)

Wall insulation amount/value:

• [R-12](#)

R-12 insulation found on the exterior foundation walls extending down to below the frost line.

INSULATION AND VENTILATION

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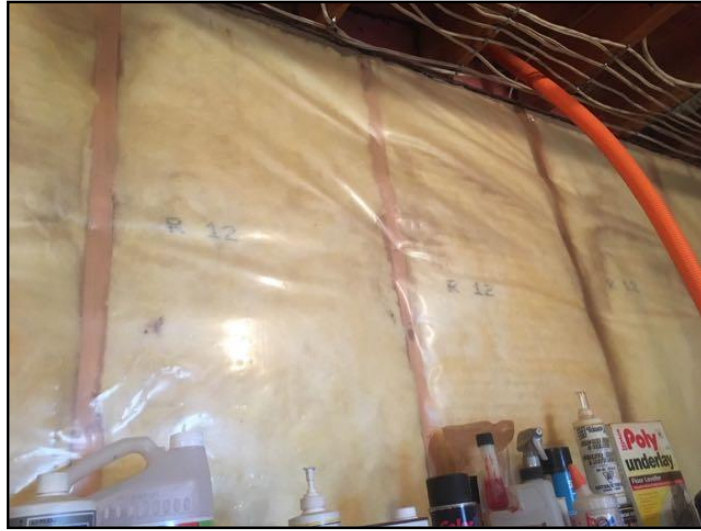
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R-12

- Spot checked only

Floor above basement/crawlspace insulation amount/value: • [None found](#)

Limitations

Attic inspection performed:

- From access hatch

Attic space not traveled due to the depth of insulation and the possibility of causing damage to hidden wiring, lighting or the ceiling below.

Recommendations

ATTIC/ROOF \ Hatch/Door

Condition: • [Not weatherstripped](#)

Implication(s): Chance of condensation damage to finishes and/or structure | Increased heating and cooling costs

Location: Laundry Area

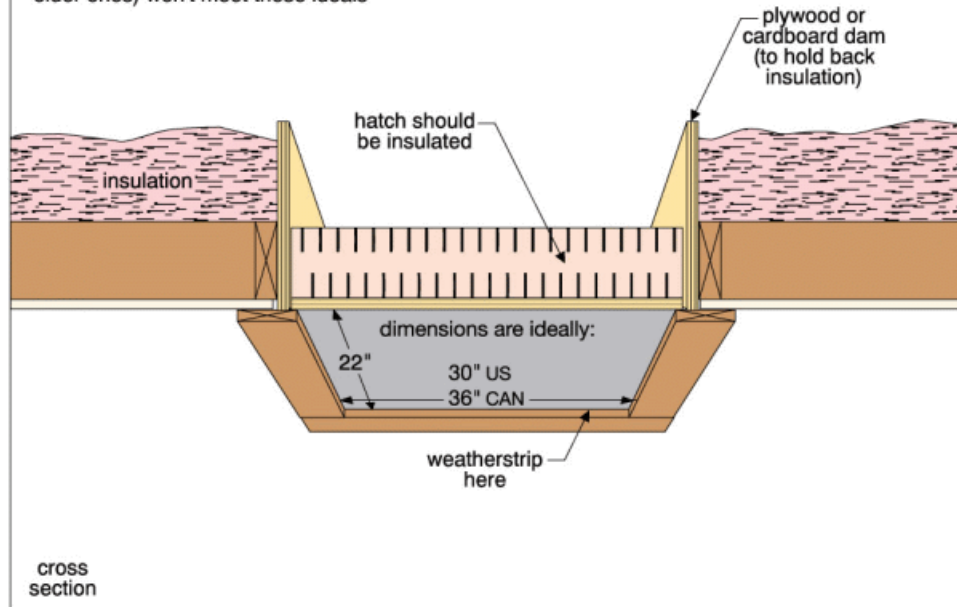
Task: Install weatherstripping

Time: Near future

Attic access hatch

the illustration shows a good attic access hatch design

hatches in many houses (especially older ones) won't meet these ideals



Not weatherstripped

Description

Supply piping in building:

- [Plastic](#)



Plastic

Main water shut off valve at the:

- Near water heater

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Near water heater

Water heater type: • [Conventional](#)

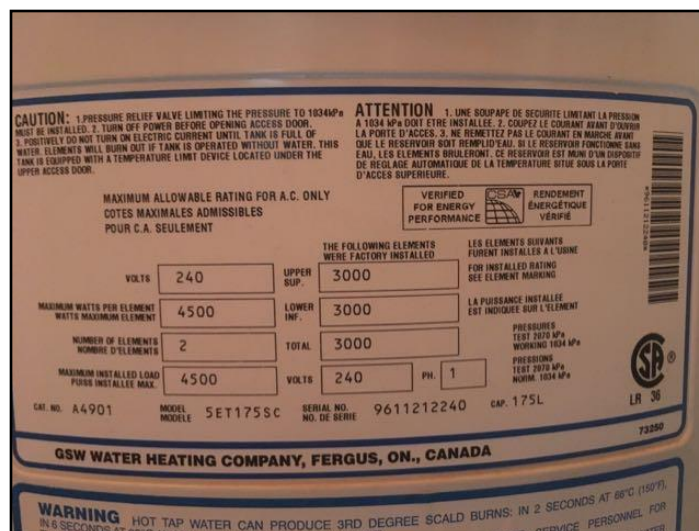
Water heater fuel/energy source: • [Electric](#)

Water heater tank capacity: • 175 liters

Water heater approximate age:

• 23 years

Manufactured in November 1996



23 years

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Water heater typical life expectancy: • 10 Years

Waste and vent piping in building: • [ABS plastic](#)

Main fuel shut off valve at the: • Electrical panel

Location of fuel storage tank/system: • No on site fuel storage

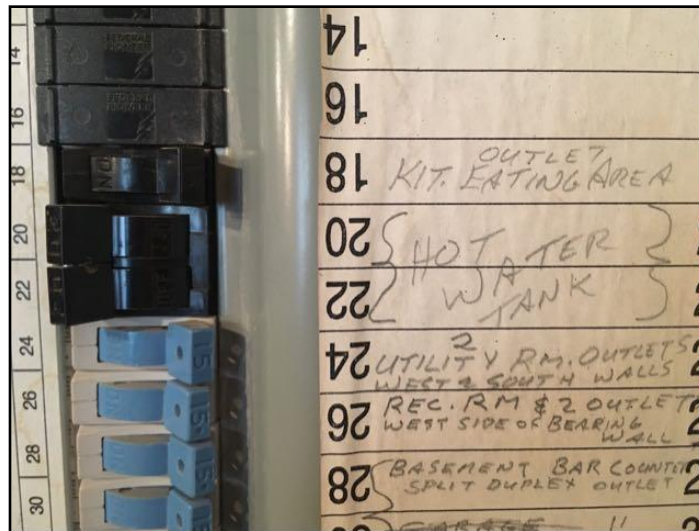
Limitations

Inspection limited/prevented by: • Wall, floor and ceiling coverings limit inspection of concealed plumbing.

Fixtures not tested/not in service:

• Water heater

Water heater breaker was off



Water heater

Items excluded from a building inspection: • Water quality • Septic system • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains

Recommendations

WATER HEATER \ Life expectancy

Condition: • Past life expectancy

The water heater is well past its life expectancy and was not currently in use. Budget for a new hot water tank, and expect replacement of the water heater to be a possible requirement for home insurance. Inquire with insurance providers before subject removal.

Implication(s): Chance of water damage to contents, finishes and/or structure | No hot water

Location: Utility Room

Task: Inquire with insurance, budget for replacement

Time: Before subject removal

FIXTURES AND FAUCETS \ Hose bib or bibb (outdoor faucet)

Condition: • [Not Frost Free](#)

A frost-free hose bib has a stem that is 6-12" long which means that the seat of the valve is located on the inside of your house. This prevents cold weather from freezing your pipes.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Exterior taps

Task: Replace with frost free hose bib

Time: Before winter



Not Frost Free



Not Frost Free

FIXTURES AND FAUCETS \ Bathtub

Condition: • [Caulking loose, missing or deteriorated](#)

Caulking should be applied around the perimeter of the shower valve and tub spout to prevent water from making it's way in behind the surround.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Bathroom

Task: Provide caulking

Time: Near Future

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Caulking loose, missing or deteriorated

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Description

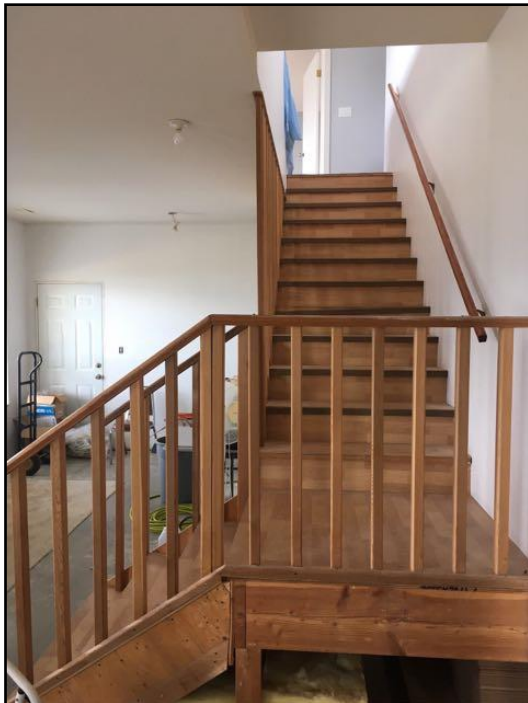
General: • Interior pictures of the home.



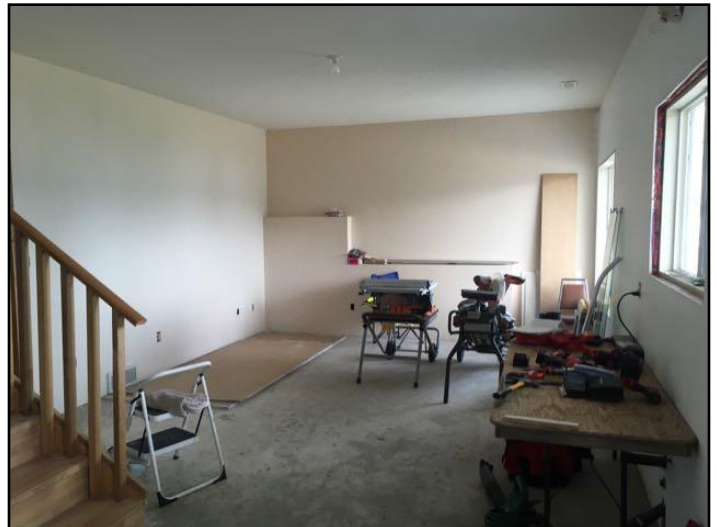
Interior pictures of the home.



Interior pictures of the home.



Interior pictures of the home.



Interior pictures of the home.

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Interior pictures of the home.



Interior pictures of the home.



Interior pictures of the home.



Interior pictures of the home.

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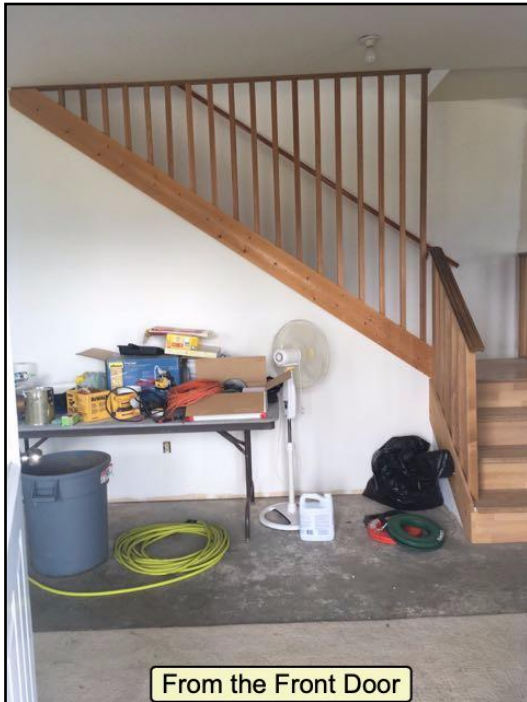
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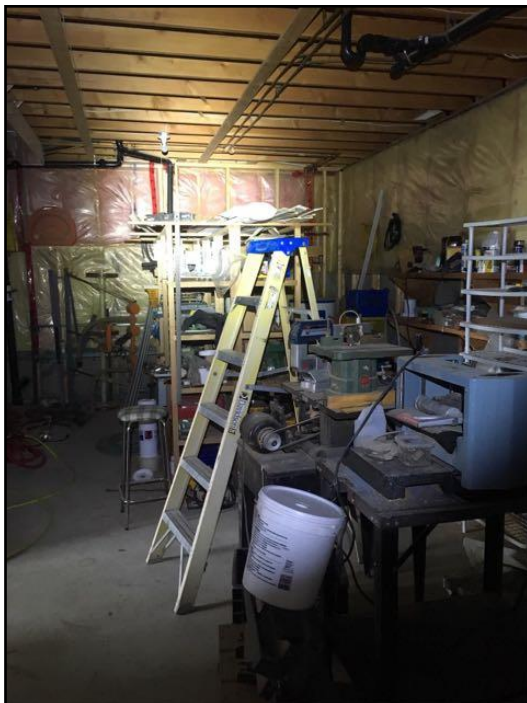
REFERENCE



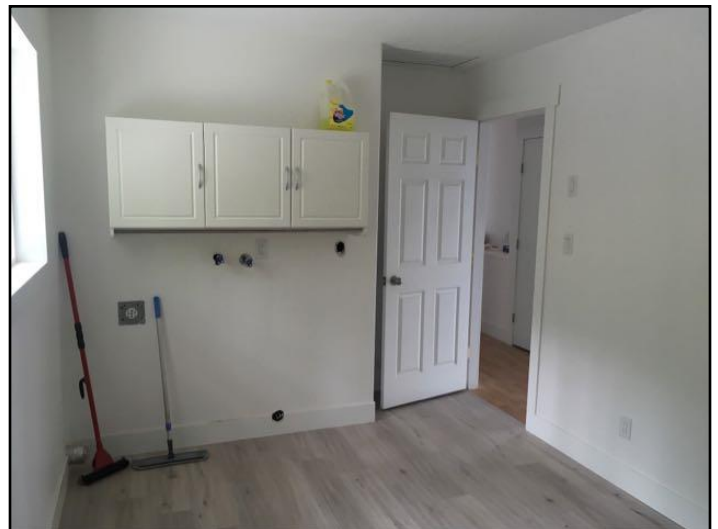
Interior pictures of the home.



Interior pictures of the home.



Interior pictures of the home.



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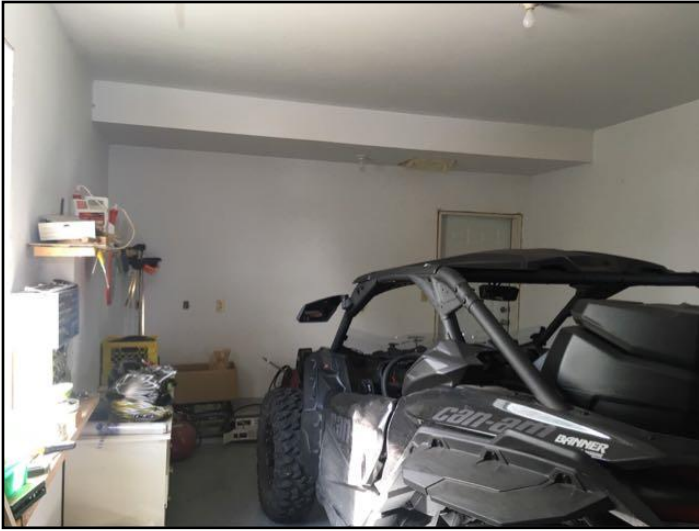
COOLING

INSULATION

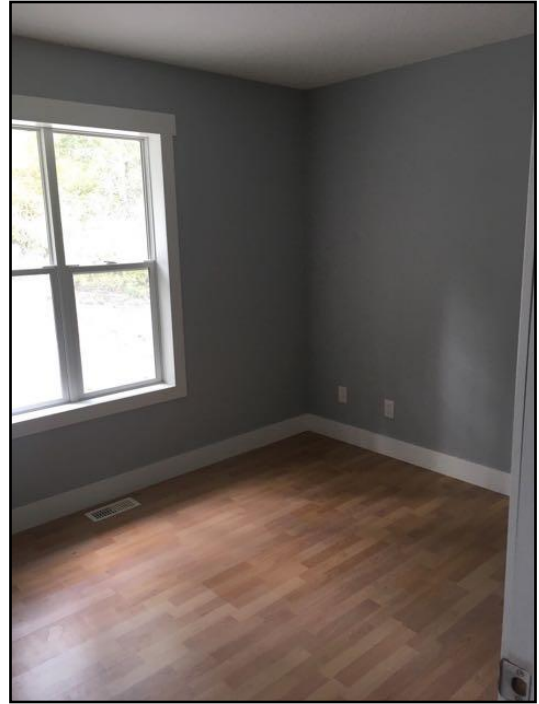
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Interior pictures of the home.



Interior pictures of the home.



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Interior pictures of the home.

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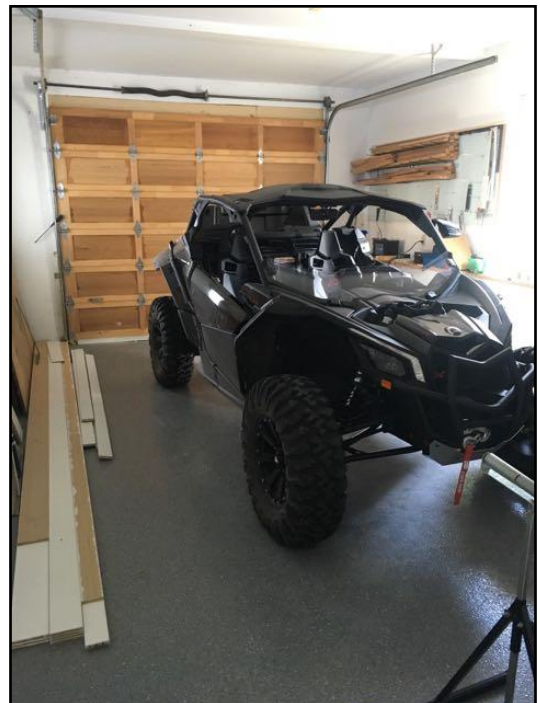
Interior pictures of the home.



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Interior pictures of the home.



Interior pictures of the home.



Interior pictures of the home.

Major floor finishes: • [Laminate](#) • Tile

Major wall and ceiling finishes: • [Plaster/drywall](#) • [Stucco/texture/stipple](#)

Windows: • [Fixed](#) • [Single/double hung](#) • [Casement](#)

Exterior doors - type/material: • Metal-clad • Garage door - wood

Laundry facilities: • Hot/cold water supply • Vented to outside • 120-Volt outlet • 240-Volt outlet • Waste standpipe

Kitchen ventilation: • Range hood discharges to the exterior

Bathroom ventilation: • Exhaust fan • Window

Laundry room ventilation: • Clothes dryer vented to exterior

Limitations

Inspection limited/prevented by: • Floor and Wall coverings

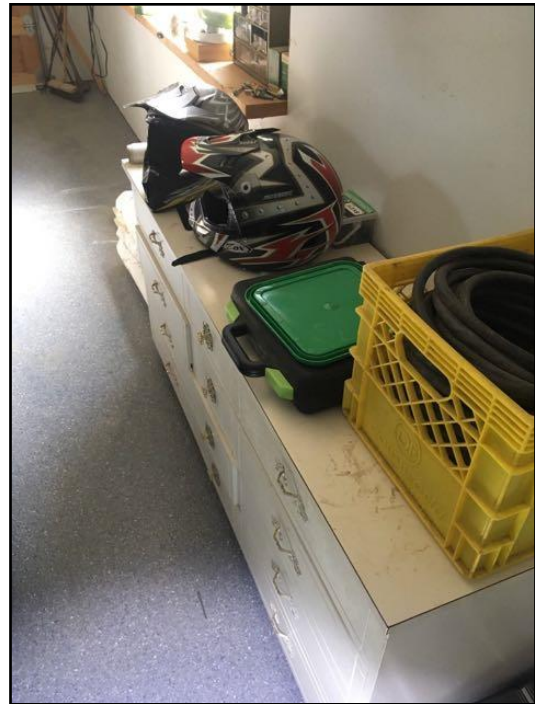
Inspection limited/prevented by:

- Storage/furnishings

Inspection of some areas of the interior walls on the perimeter of the home were not able to be inspected due to storage.



Storage/furnishings



Storage/furnishings

- New finishes/paint

Recommendations

WALLS \ Plaster or drywall

Condition: • [Loose or missing](#)

There is a section of drywall missing from a wall in the laundry area. There is a water pipe located in the wall cavity here, but there is no shut off, visible repairs, or other readily apparent reason for this access. Ask seller for history of this access.

Location: Laundry Area

Task: Install cover panel or drywall

Time: Discretionary

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Loose or missing

FLOORS \ General

Condition: • [Loose or missing sections](#)

There is a section of flooring missing from the upstairs hall closet, as well as a missing transition strip at the master bedroom.

Implication(s): Trip or fall hazard

Location: Second Floor

Task: Install transition strip at master bedroom, install missing floorboard at hall closet

Time: As soon as practical

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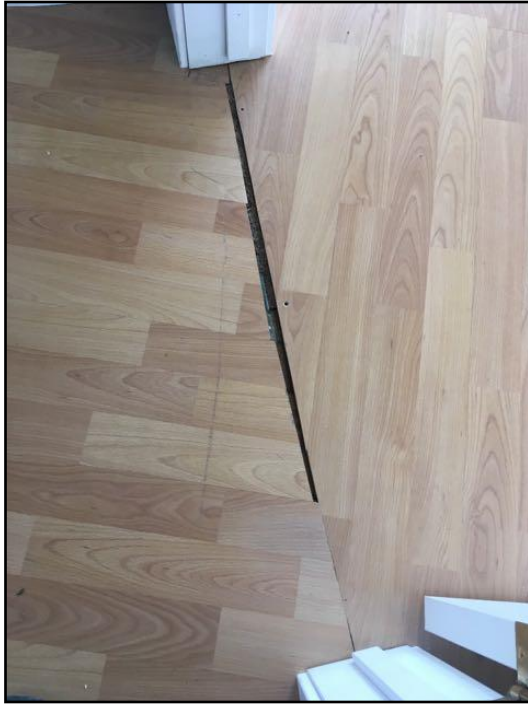
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Missing threshold trim



Missing flooring

Condition: • Not water resistant

Poorly fit flooring can allow water to get to the absorbent high density fibre layer of the floorboards, resulting in swelling further exacerbating the problem.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Kitchen

Task: Improve

Time: Upon Possession

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Laminate flooring not tight

DOORS \ Doors and frames

Condition: • Binds

The mortise plate for the latch should be recessed into the door to allow proper, quiet and smooth operation. Currently it binds on the strike plate, resulting in what sounds like constantly slamming doors during normal operation.

Implication(s): System inoperative or difficult to operate

Location: Bathroom

Task: Recess mortise plate into door

Time: Near Future



Binds

Condition: • Binds

Fasteners for the strike plate are not tightened until they are recessed. This is causing the mortise plate of the door latch to bind on the hardware, resulting in stiff and loud operation.

Implication(s): System inoperative or difficult to operate

Location: Master Bathroom

Task: Tighten screws until they are recessed into strike plate

Time: Near Future



Binds

DOORS \ Interior trim

Condition: • [Poorly fit](#)

The door leading from the hallway to the laundry area binds on the trim. It is binding at the top right corner when viewed from inside the laundry area.

Implication(s): Material deterioration

Location: Second Floor Laundry Area

Task: Remove, realign trim, reinstall

Time: Discretionary

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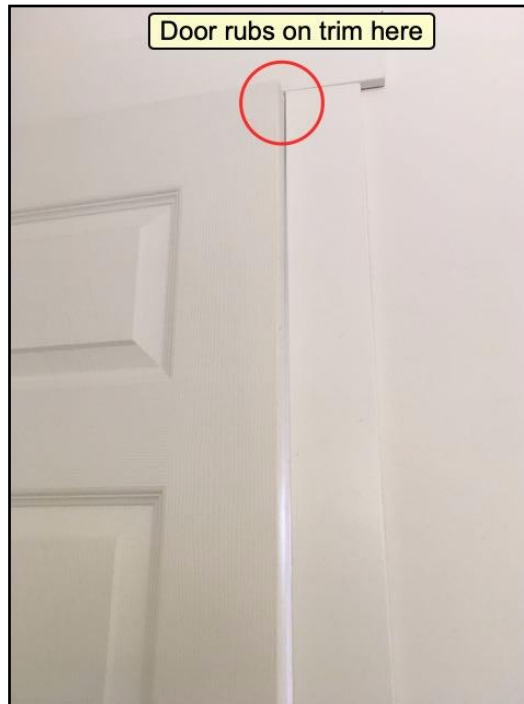
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Poorly fit

STAIRS \ Handrails and guards

Condition: • [Loose](#)

The guardrail from the basement to the landing of the staircase is poorly secured. It would not prevent someone from going through it if they were to fall down the stairs, or if someone was to put sufficient weight on it while ascending or descending the stairs, they could also fall.

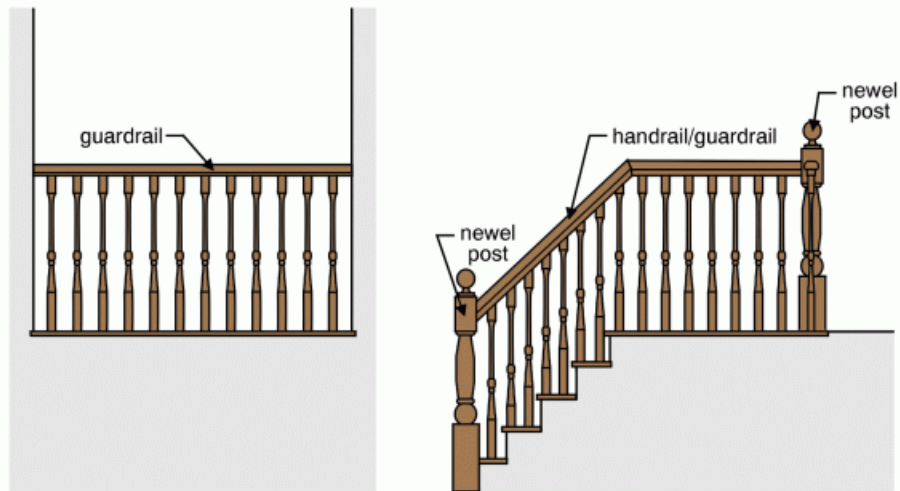
Implication(s): Fall hazard

Location: Stairway landing

Task: Secure guardrail firmly

Time: Immediate

Handrail support



guardrails and handrails anchored to walls are the strongest

if the handrail (or guardrail) is supported at its ends by newel posts and the posts are not well secured, the whole assembly can be loose



Loose

EXHAUST FANS \ General

Condition: • [Noisy](#)

REFERENCE

Master bathroom fan is noisy and missing it's cover.

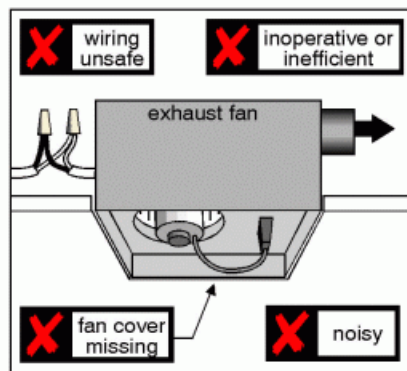
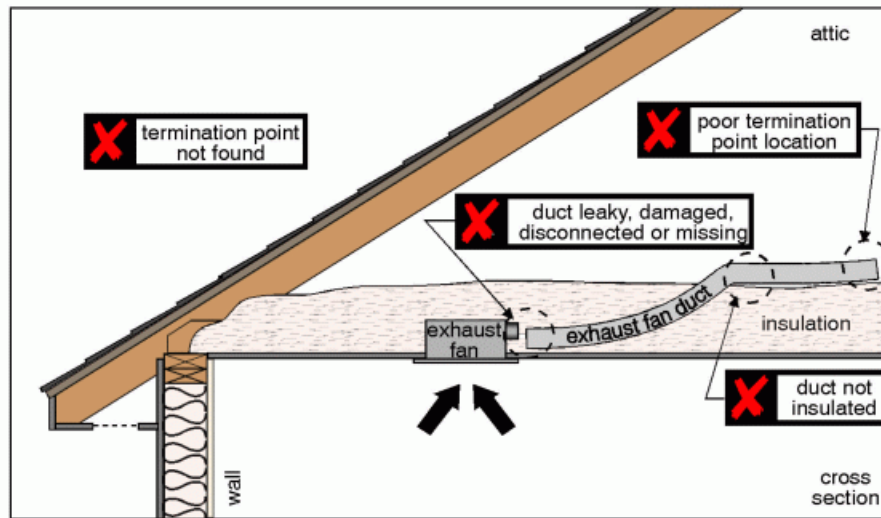
Implication(s): Reduced system life expectancy | Equipment failure

Location: Master Bathroom

Task: Repair or replace

Time: Discretionary

Exhaust fan conditions



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Noisy

APPLIANCES \ Dryer

Condition: • There is currently no dryer installed in the home. Ensure when connecting dryer venting to the exterior wall vent pipe that the insulation is removed.

Implication(s): Poor clothes drying, increased energy consumption, fire hazard.

Location: Laundry Area

Task: Remove insulation

Time: During dryer installation, before use.

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Dryer vent to outside

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The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS