

INSPECTION REPORT



For the Property at:
1234 NEW HOME
SE WISCONSIN, WI

Prepared for: EXAMPLE REPORT
Inspection Date: Friday, December 11, 2020
Prepared by: David Gross



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This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Roofing

SLOPED ROOFING \ Composition shingles

1. Condition: • Organic growth on north side of roof. Clean with appropriate cleaners to extend roof life

Location: North

Task: Clean

Time: Less than 1 year



1.



2.

2. Condition: • Missing, loose or torn

Various shingles have damage to them on West side of roof above flat roof. Have repaired by roofing contractor

Location: Various

Task: Repair or replace

Time: Immediate

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3. Missing, loose or torn



4. Missing, loose or torn

3. Condition: • Nail Pop Have roofer or handyman correct nail prior to having it back out through the shingle. Noted various nail pops on roof. Have handyman or roofer repair as needed.

Location: Various

Task: Repair

Time: Less than 1 year



5. Nail Pop Have roofer or handyman correct...



6. Nail Pop Have roofer or handyman correct...

SLOPED ROOF FLASHINGS \ Roof/wall flashings

4. Condition: • Damage, loose, open seams, patched

Have mason or reputable handyman correct flashing on bay window. Seal gaps with appropriate sealant, secure flashings and seal nail heads as needed.

Location: West Exterior Wall

Task: Repair

Time: Immediate

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7. Damage, loose, open seams, patched



8. Damage, loose, open seams, patched

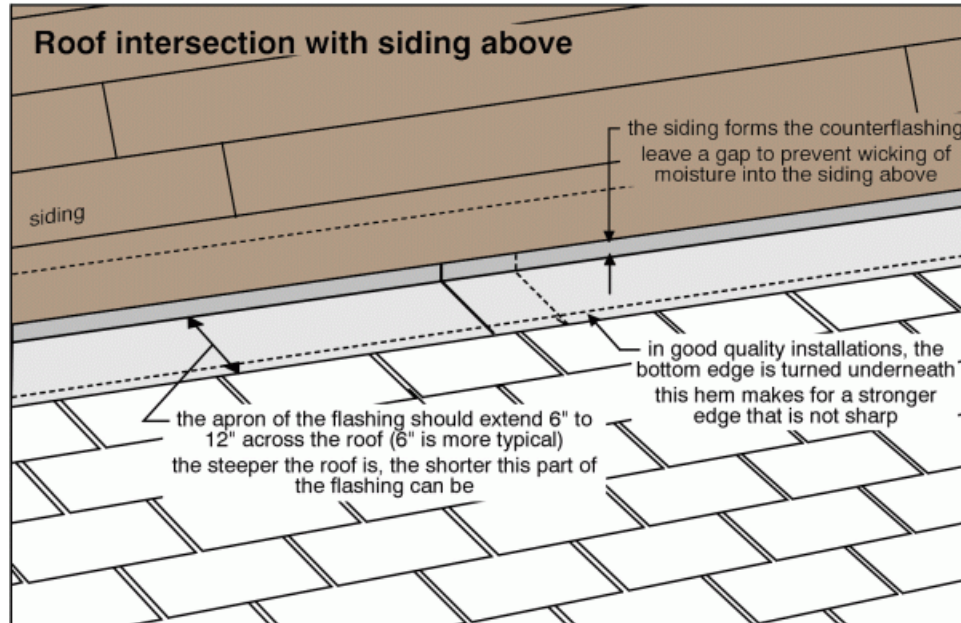
5. Condition: • Siding not cut back

Areas of roofing have wood trim and siding in direct contact with roof. Have corrected by having wood cut back 1-2" and painted when replacing roof.

Location: Various

Task: Improve

Time: When remodelling



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9. Siding not cut back



10. Siding not cut back

SLOPED ROOF FLASHINGS \ Roof/sidewall flashings

6. Condition: • Kickout flashing - missing

Kick out flashings not present have reputable roofer, handyman, siding or gutter contractor install kickout flashings as needed.

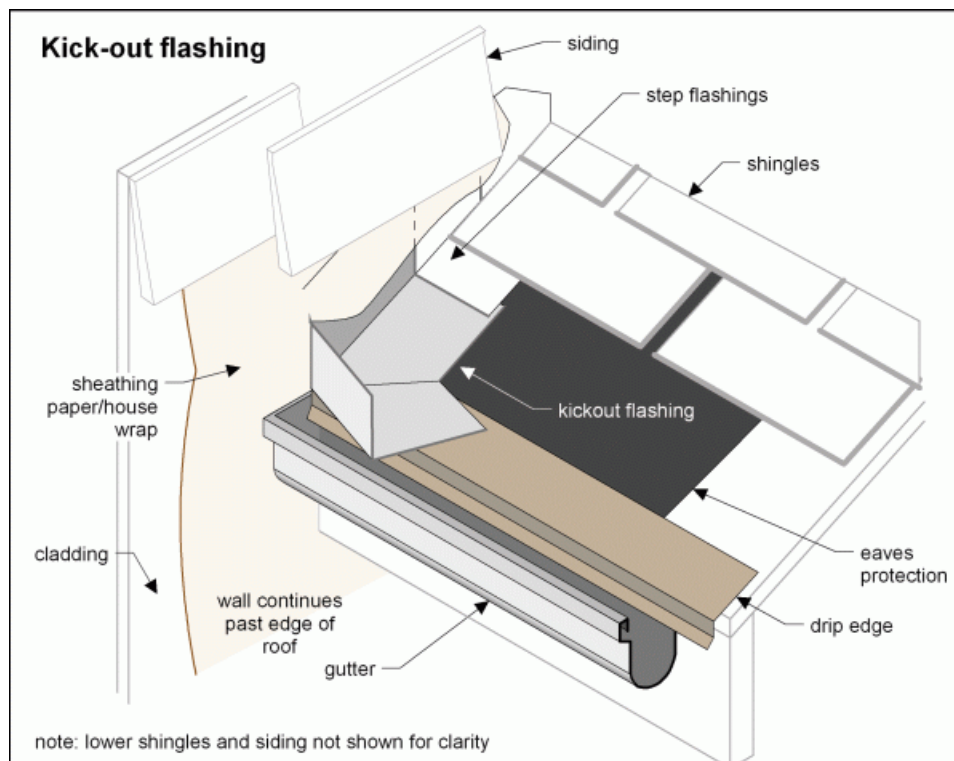
Please follow the link below to learn more about kickout flashing.

https://www.jlconline.com/how-to/exterior/getting-kickout-flashings-right_o

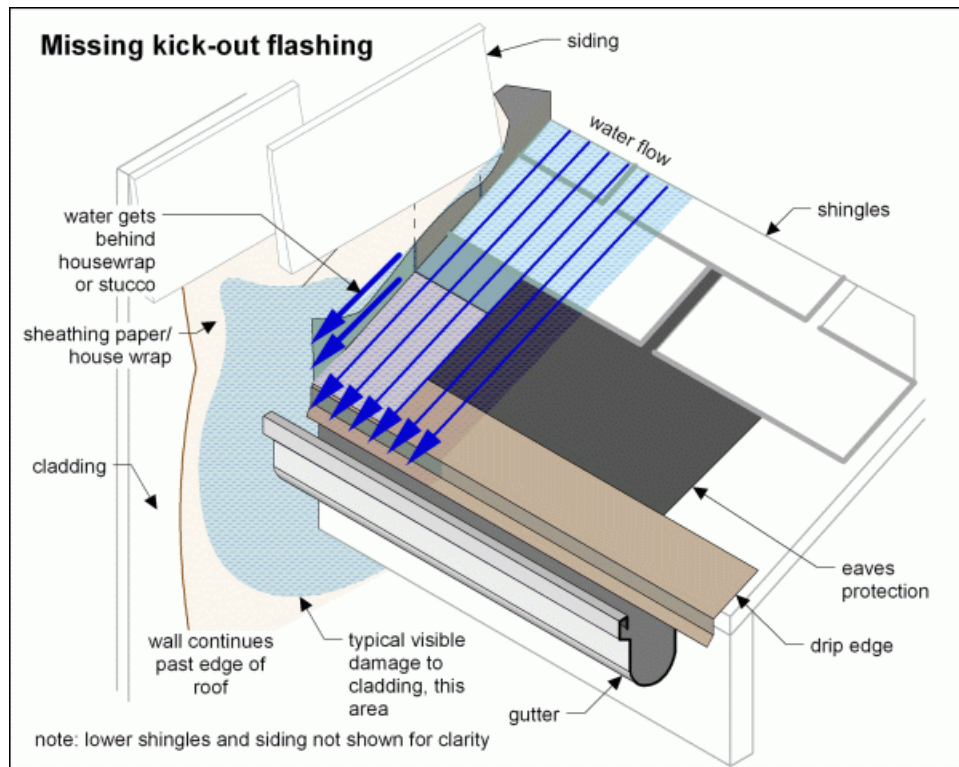
Location: Various Second Floor

Task: Improve

Time: Immediate



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11. Kickout flashing - missing



12. Kickout flashing - missing

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13. Kickout flashing - missing

FLAT ROOFING \ Metal

7. Condition: • Failed caulking

Flat roof has few areas where the caulking has failed. Have roofer point up the areas on parapet to roof flashing, and along chimney.

Location: Various

Task: Repair

Time: Immediate



14. Failed caulking



15. Failed caulking

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16. Failed caulking

FLAT ROOFING \ Rubber single ply

8. Condition: • Clean roofs off of organic growth to extend life of roof.

Location: Various

Task: Service Clean

Time: Regular maintenance



17.

Exterior

ROOF DRAINAGE \ Gutters

9. Condition: • Clogged

Have gutters cleaned prior to closing. Clean gutters 2 to 3 times a year. Check downspouts to be sure they are clear too.

Task: Clean

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Time: Immediate Ongoing Regular maintenance

ROOF DRAINAGE \ Downspouts

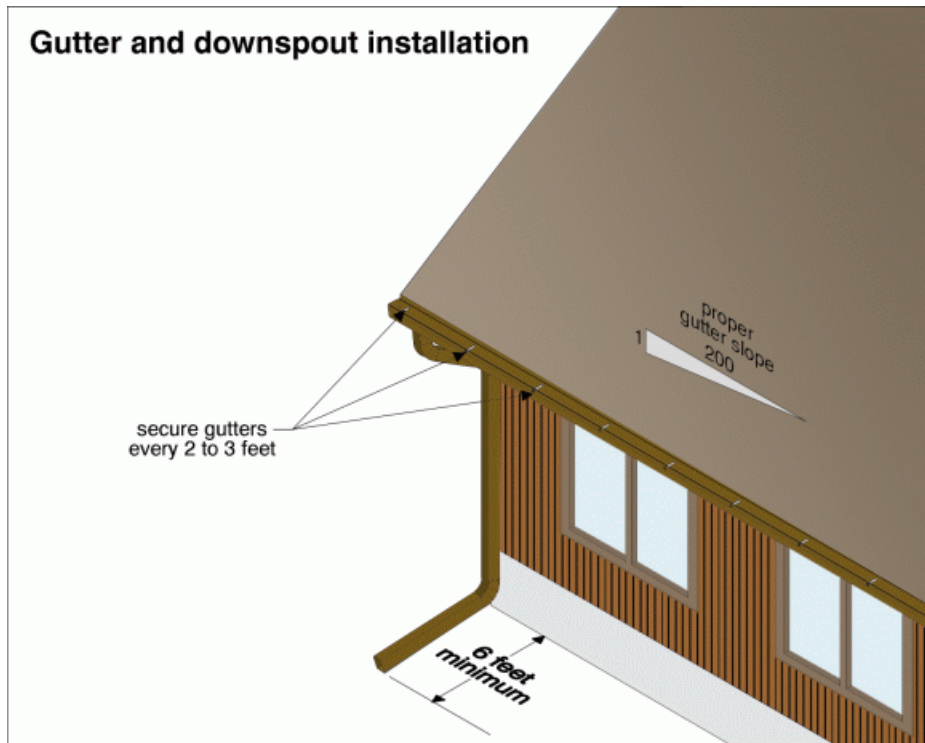
10. Condition: • Should discharge 6 feet from building

Extend above grade downspouts to be 6' away from the building on NE side of home.

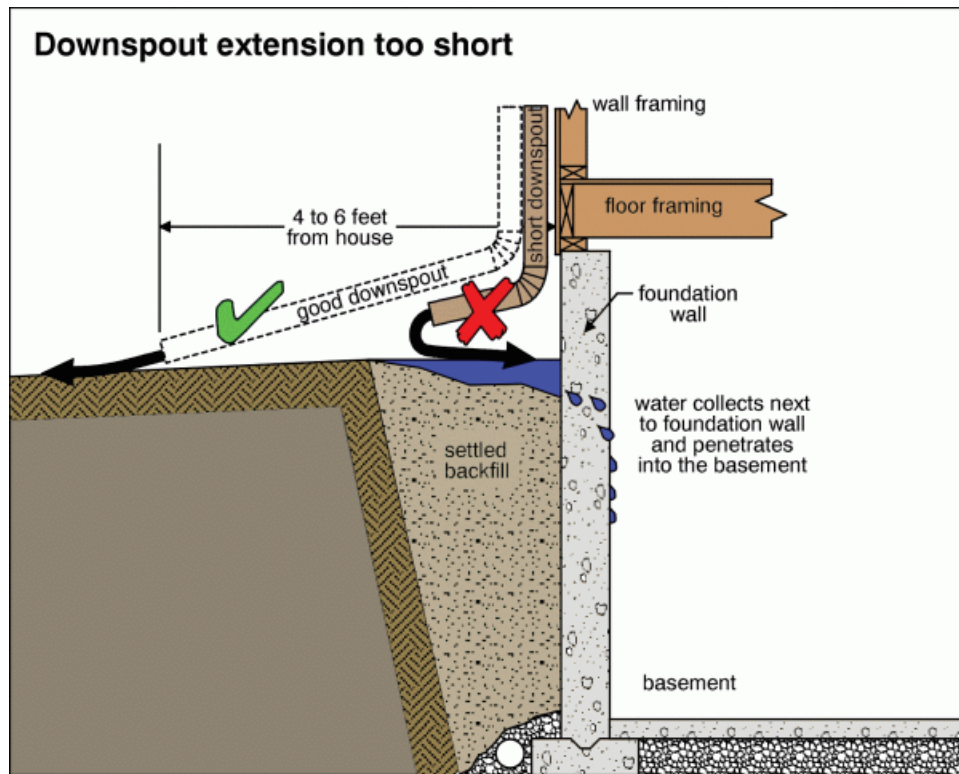
Location: Various Exterior Wall

Task: Improve

Time: Less than 1 year



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11. Condition: • Loose

Downspout by front porch is loose. Have new fastener and strap installed to secure downspout.

Location: Exterior

Task: Repair

Time: Less than 1 year

WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)

12. Condition: • Damage

Fascia on North side of home under scupper is rotted and needs replaced. Noted damage to corner on southside of home. Have carpenter replace or repair wood as necessary on these areas.

Location: Various

Task: Replace

Time: Immediate

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18. Damage



19. Damage

13. Condition: • Rot or insect damage

Noted areas of rot on soffit under the sidewall roof junctions by kitchen window. Recommend having contractor repairing rotted wood and installing kickout flashing above wood

Location: Various South

Task: Repair or replace

Time: Less than 1 year



20. Rot or insect damage



21. Rot or insect damage

WALLS \ Trim

14. Condition: • Caulking missing or deteriorated

Apply caulking in gaps and junctions of different wall materials to decrease moisture penetration

Location: Various

Task: Repair

Time: Immediate

Cost: Depends on approach



22. Caulking missing or deteriorated

WALLS \ Masonry (brick, stone) and concrete

15. Condition: • Cracked

Minor cracks on North side of home. Have qualified contractor seal cracks with exterior concrete caulking for vertical application.

Location: Various

Task: Repair

Time: Less than 1 year



23. Cracked



24. Cracked



25. Cracked

16. Condition: • Masonry deterioration

Noted motion of archway bricks over front door. Noted loose brick soldiers on West side of house. Have mason evaluate and repair as needed.

Location: Throughout

Task: Further evaluation

Time: Immediate



26. Masonry deterioration



27. Masonry deterioration



28. Masonry deterioration



29. Masonry deterioration

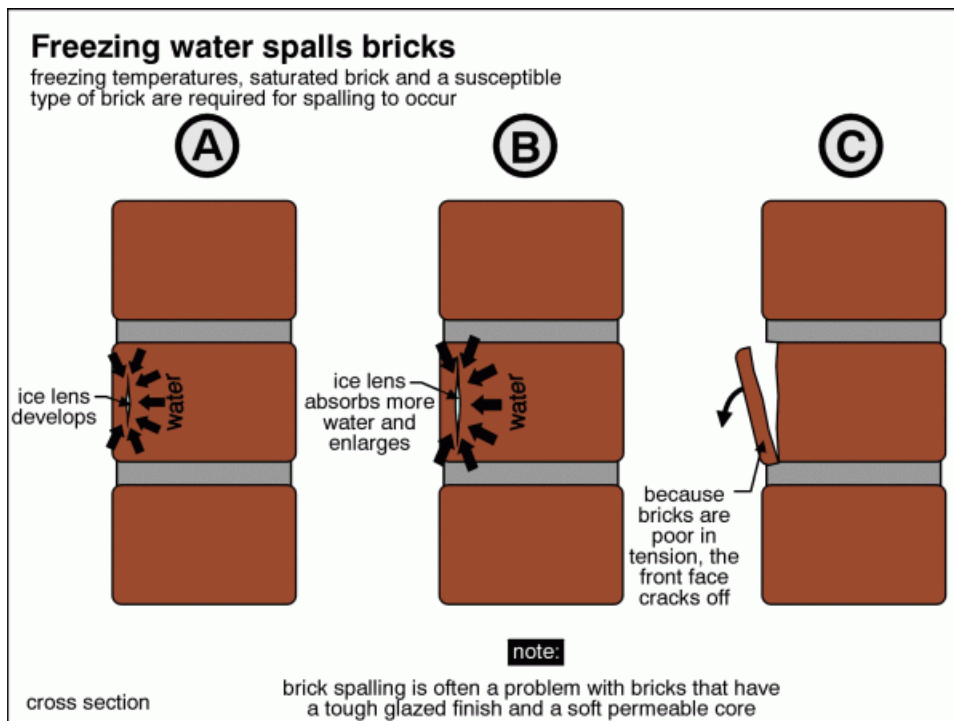
17. Condition: • Spalling

Have mason repair various spalled bricks on chimney, rear patio and near front porch.

Location: Various Exterior Wall and chimney

Task: Repair or replace Further evaluation

Time: Immediate



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30. Spalling



31. Spalling

18. Condition: • Mortar deterioration

Have mason contractor tuckpoint areas around the house as needed.

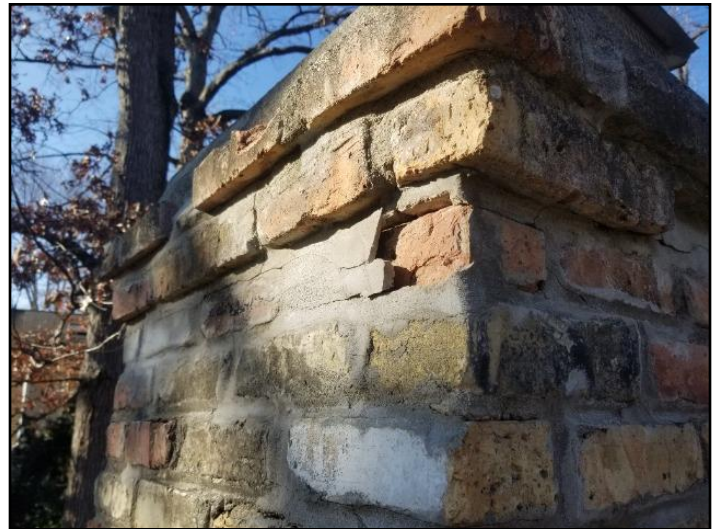
Location: Throughout Exterior Wall

Task: Repair

Time: Less than 2 years



32. Mortar deterioration



33. Mortar deterioration

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34. Mortar deterioration



35. Mortar deterioration

EXTERIOR GLASS/WINDOWS \ Exterior trim

19. Condition: • Caulking loose, missing or deteriorated

Noted minor gaps between bricks and trim around windows and doors. Clean joints and install appropriate caulking to decrease moisture intrusions.

Location: Various

Task: Improve

Time: Less than 1 year



36. Caulking loose, missing or deteriorated



37. Caulking loose, missing or deteriorated

DOORS \ General notes

20. Condition: • Rear door to storage room has a loose sill. Support to prevent further damage. Contact reputable contractor or handyman for options.

Location: North Exterior Cold Room

Task: Repair or replace

Time: Less than 1 year

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38.



39.

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Stairs and landings

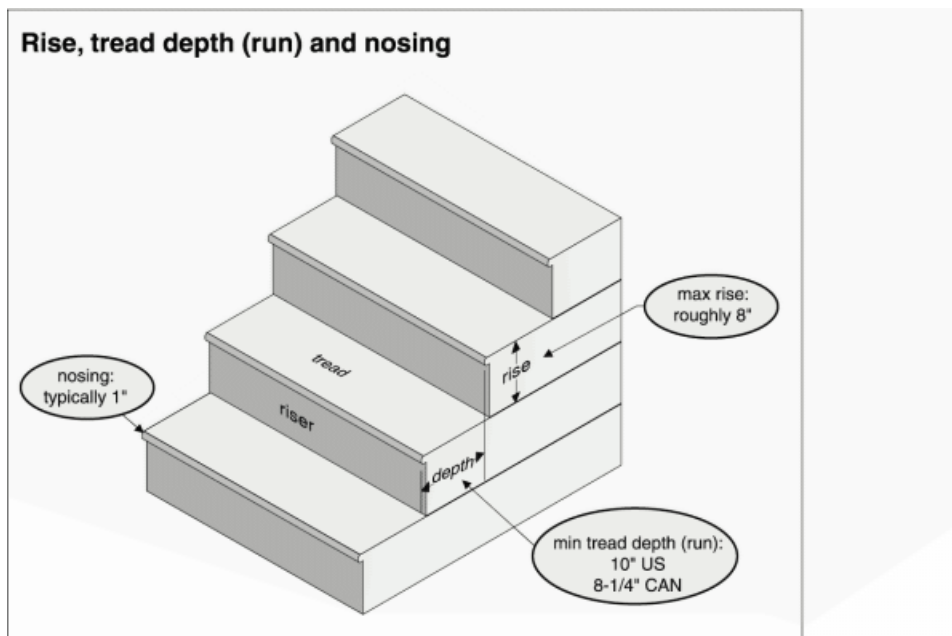
21. Condition: • Stair rise too big or not uniform

Rear stairs aren't uniform at landing. Add gravel base to become level with footing blocks. Seal all holes in blocks add pavers at the correct height to match stairs above. Have contractor correct as needed.

Location: North

Task: Repair

Time: Immediate



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40. Stair rise too big or not uniform



41. Stair rise too big or not uniform

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

22. Condition: • Missing

Rear stairs going down to backyard are missing railings . Recommend installing one railing at minimum on lower stairs. Contact reputable contractor for options.

Location: North

Task: Provide Improve

Time: Immediate

LANDSCAPING \ General notes

23. Condition: • Trees or shrubs too close to building

Trim bushes and plants back 18"-24" from house to allow for air flow. Trim trees back 5-6' from roof.

Location: Various

Task: Improve

Time: Less than 1 year

LANDSCAPING \ Patios

24. Condition: • Improper slope or drainage

Front porch pitched towards home. Seal gaps along home to decrease moisture intrusion. In future have contractor correct porch pitch as needed.

Location: Front porch

Task: Repair

Time: Discretionary

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42. Improper slope or drainage



43. Improper slope or drainage

GARAGE \ Ceilings and walls

25. Condition: • Not fireproof

Seal all penetrations with appropriate rated fire blocking and caulking as needed to increase the safety of the wall between the house and garage. Have attic hatch door covered to 5/8" drywall.

Location: North Garage

Task: Repair or replace

Time: Immediate



44. Not fireproof



45. Not fireproof

GARAGE \ Door into garage / Man-door

26. Condition: • Door not fire rated or exterior type

Original door to garage does not have a fire rating on it. It is hollow core metal exterior door and is in sound condition with good weatherstripping. Upgrade when necessary with 20 min fire rated door and jamb.

Location: Laundry to Garage

Task: Upgrade

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Time: Immediate

Structure

ROOF FRAMING \ Sheathing

27. Condition: • Roof decking is planking. Large gaps between boards. When having roof replaced it will need to have new sheathing/decking installed over the existing planks.

Location: Throughout Attic

Task: Replace Improve

Time: When remodelling



46.

Electrical

SERVICE BOX, GROUNDING AND PANEL \ Service box - fuse, breaker, wire

28. Condition: • Breaker bridge missing

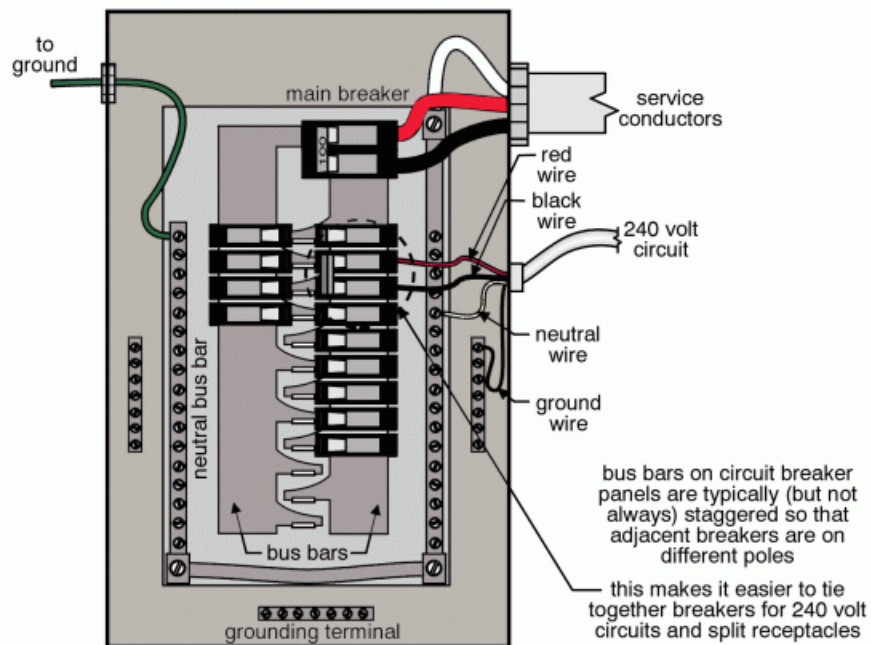
Noted multiple 2 wire circuits sharing a common neutral in both panels. Each panel had 4-6 circuits sharing the neutrals. Have qualified contractor, or electrician repair as needed.

Location: Basement

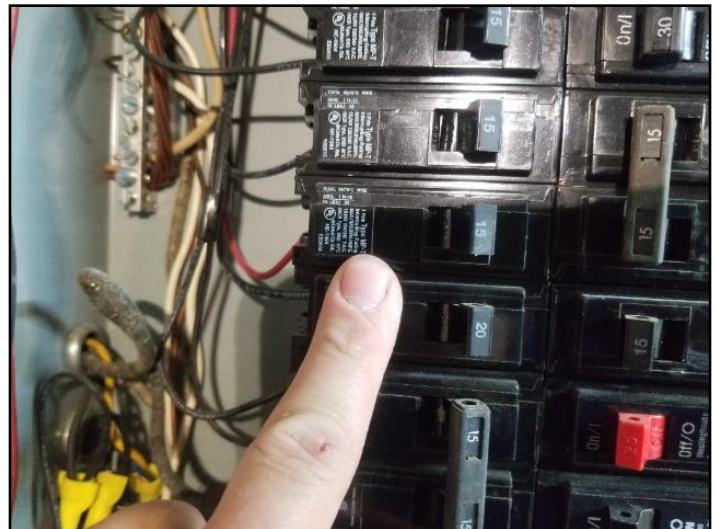
Task: Repair or replace Further evaluation

Time: Immediate

Staggered bus bars on circuit breaker panels



47. Breaker bridge missing



48. Breaker bridge missing

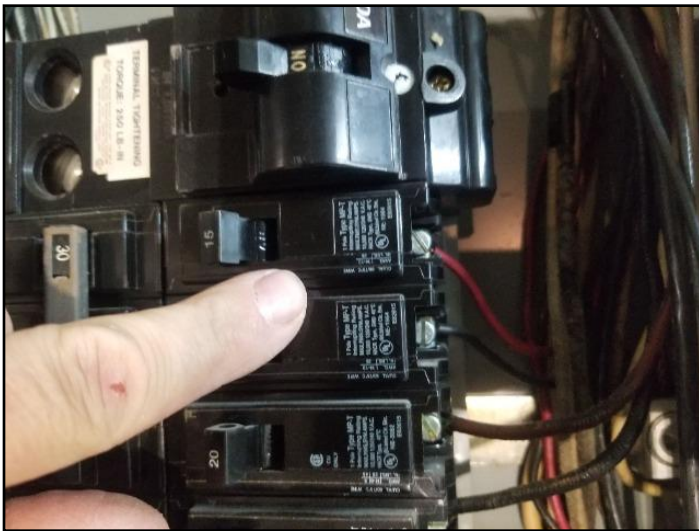
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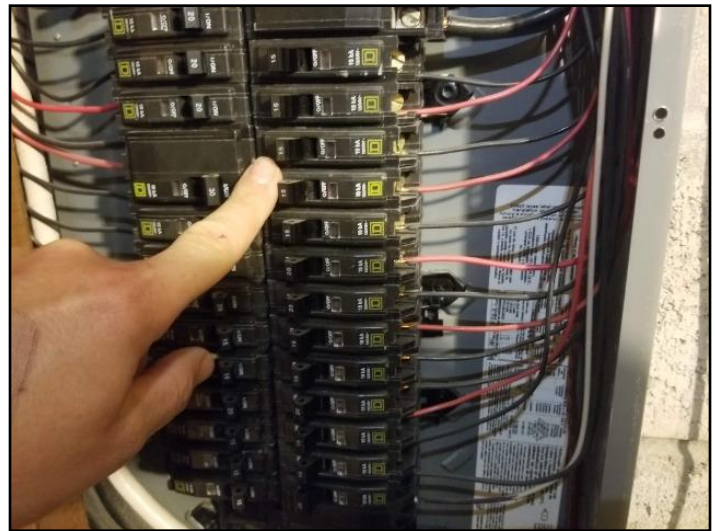
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49. Breaker bridge missing



50. Breaker bridge missing

SERVICE BOX, GROUNDING AND PANEL \ Panel wires

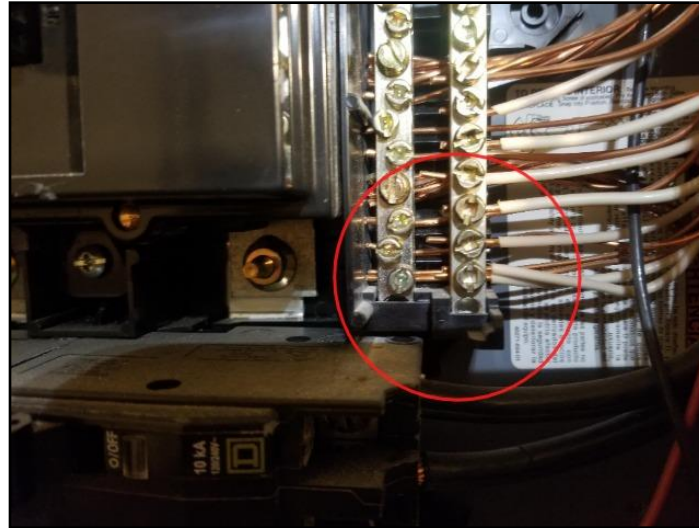
29. Condition: • Double taps

Have electrician correct neutral double tap in main panel.

Location: Storage area

Task: Repair

Time: Immediate



51. Double taps

SERVICE BOX, GROUNDING AND PANEL \ Auxiliary panel (subpanel)

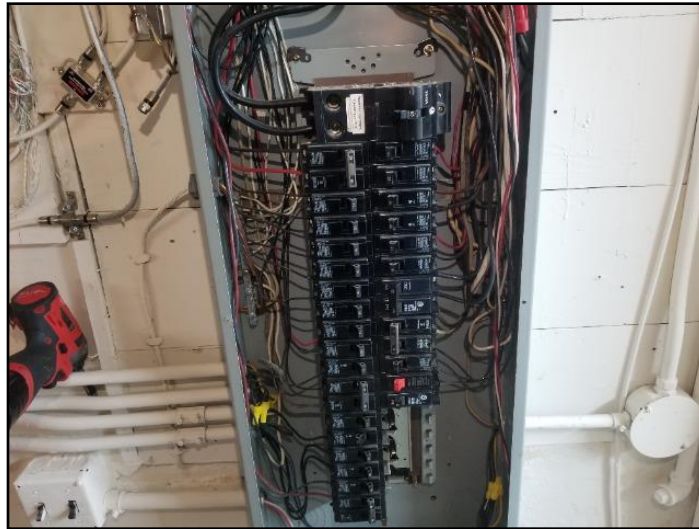
30. Condition: • Auxiliary panel does not have grounds and neutrals separated. Have licensed electrician evaluate and correct as needed.

Location: Basement

Task: Further evaluation

Time: Immediate

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52.

DISTRIBUTION SYSTEM \ Wiring - installation

31. Condition: • Abandoned wire

Have abandoned cut wire removed. Seal and correct box to be weather tight. Wire was not live during inspection.

Location: Southeast Exterior Wall Garage

Task: Repair

Time: Immediate



53. Abandoned wire

DISTRIBUTION SYSTEM \ Wiring - damaged or exposed

32. Condition: • Exposed in attics

Have electrician correct wiring in attic to be terminated in a junction box and disconnect old power vent.

Location: Attic

Task: Repair

Time: Immediate

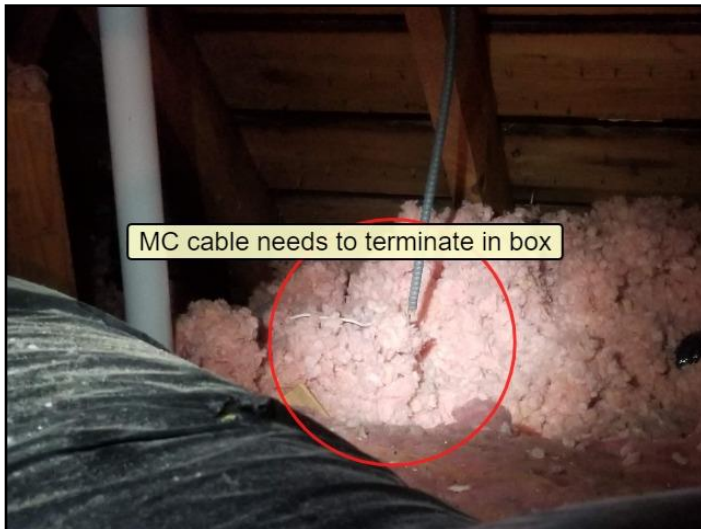
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54. Exposed in attics



55. Exposed in attics

DISTRIBUTION SYSTEM \ Outdoor wiring

33. Condition: • Recommend installing in use covers on exterior outlets. If changing the outlet it needs to be weather resistant GFCI.

Location: Various

Task: Improve

Time: Less than 2 years



56.

DISTRIBUTION SYSTEM \ Junction boxes

34. Condition: • Cover loose or missing
Install covers on all boxes as needed in basement and garage.

Location: Basement First Floor Garage

Task: Repair

Time: Immediate

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35. Condition: • Knock Plug Missing- Install knockout plug in various junction boxes that have them open.
Install knockout plugs in junction boxes in boiler room and panel as needed.

Location: Various Basement

Task: Improve

Time: Immediate

DISTRIBUTION SYSTEM \ Outlets (receptacles)

36. Condition: • Ungrounded

Outlets in NW bedroom, basement, master bath were not grounded. Have electrician correct grounds at these various outlets.

Location: Garage

Task: Repair or replace

Time: Immediate



57. Ungrounded



58. Ungrounded

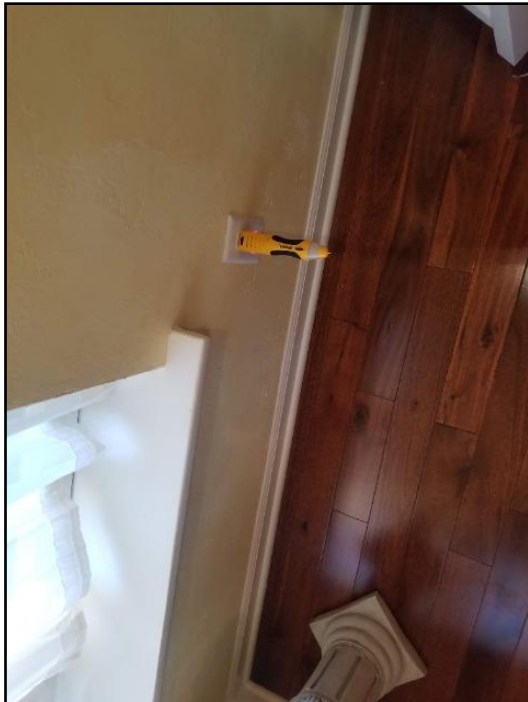
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59. Ungrounded



60. Ungrounded



61. Ungrounded

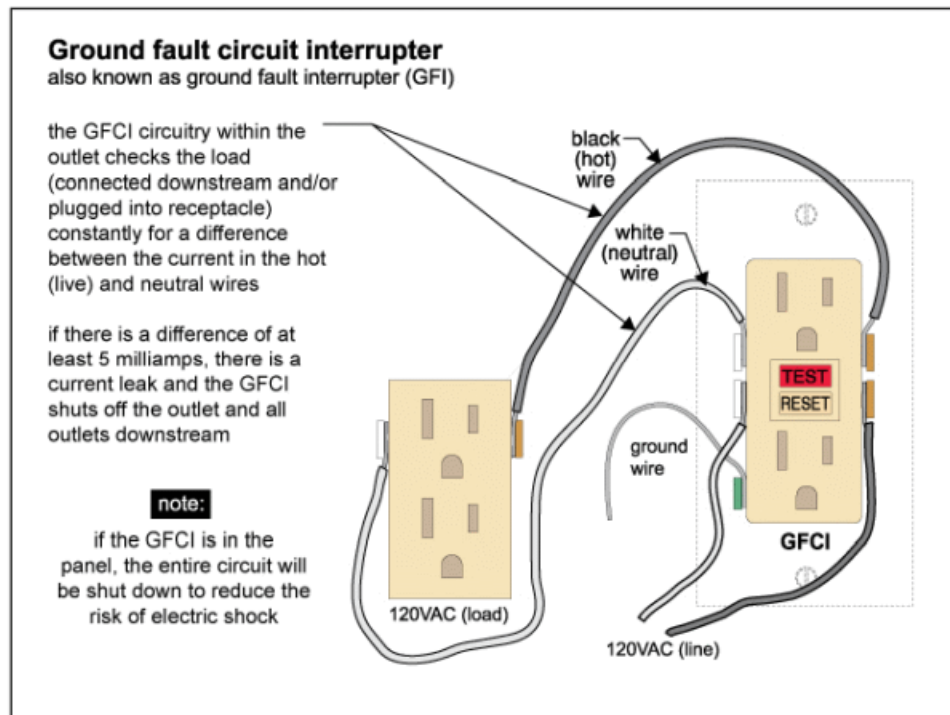
37. Condition: • GFCI/GFI needed (Ground Fault Circuit Interrupter)

GFCI's are needed in the kitchen and basement. Have qualified contractor install new GFCI's as needed. If exterior the outlets need to be weather resistant rated and have an inuse cover installed on them.

Location: Various Basement and Kitchen left of sink

Task: Repair or replace

Time: Immediate



62. GFCI/GFI needed (Ground Fault Circuit...



63. GFCI/GFI needed (Ground Fault Circuit...

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64. GFCI/GFI needed (Ground Fault Circuit...

DISTRIBUTION SYSTEM \ Cover plates

38. Condition: • Missing

Install cover plate as needed in basement by fireplace and on garage LB conduit fitting.

Location: Basement

Task: Provide

Time: Immediate



65. Missing



66. Missing

DISTRIBUTION SYSTEM \ Lights

39. Condition: • Obsolete

Basement boiler room light fixture is within reach of child. Have fixture and conduit removed or covered as needed to make safer.

Location: Basement

Task: Correct

Time: Immediate



67. Obsolete

DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

40. Condition: • Smoke detectors need changed every 10 years.

When moving into your new home. We recommend installing one ten year combination smoke and Carbon monoxide alarm per area of combustible appliance. Additional 10 year smoke and or Combo detectors can be added to meet safety requirements. Current smoke and CO units may be old. Noted few newer smoke detectors.

Task: Improve

Time: Immediate

Heating

FURNACE \ General notes

41. Condition: • Service Furnace

Have furnace serviced by an HVAC contractor annually for extended service life.

Location: Basement

Task: Service

Time: Ongoing

GAS HOT WATER BOILER \ General

42. Condition: • Have annual service set up for boiler to have extended service life.

Location: Basement

Task: Service annually

Time: Ongoing Regular maintenance

GAS HOT WATER BOILER \ Isolating valves

43. Condition: • Evidence of past leaks on radiator valves. Monitor valves during heating season. Have boiler service technician rebuild or replace valves when necessary.

Location: Various

Task: Monitor

Time: Ongoing Regular maintenance



68.

CHIMNEY AND VENT \ Inspect/sweep chimney

44. Condition: • Inspect (and/sweep if needed) before using

Have all chimneys cleaned and inspected prior to using. Before lighting any fire in a fireplace know how to operate your fireplace.

Task: Service annually

Time: Immediate

CHIMNEY AND VENT \ Masonry chimney cap (crown)

45. Condition: • No drip edge on cap (crown)

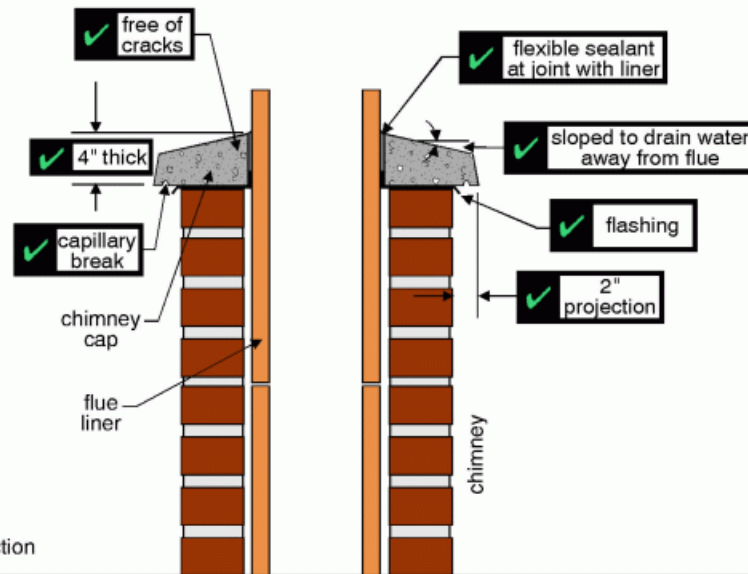
Chimney caps needs to have a drip edge to prevent further damage of brick chimney. Consult with chimney contractor on options for both masonry caps.

Location: Chimneys

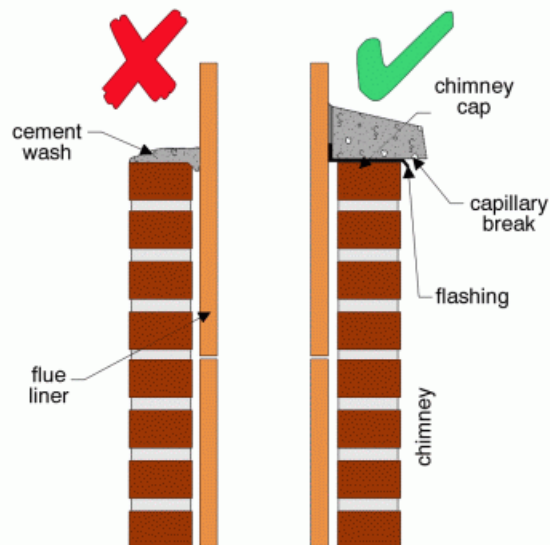
Task: Further evaluation

Time: Immediate

What makes a good chimney cap?



Drip edge on cap



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69. No drip edge

FIREPLACE \ Firebox

46. Condition: • Deteriorated, missing or loose masonry or mortar

Have mortar fireplace corrected by reputable chimney company in NW living room and basement fireplace.

Location: First Floor

Task: Further evaluation and Repair

Time: Immediate



70. Deteriorated, missing or loose masonry or...



71. Deteriorated, missing or loose masonry or...

FIREPLACE \ Hearth and extension

47. Condition: • Have basement fireplace hearth corrected if planning to use. Carpeting is installed up to fireplace and is unsafe to use.

Location: Basement Family Room

Task: Repair or replace

Time: Immediate

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FIREPLACE \ Glass doors

48. Condition: • Fireplace door frame mounts are missing and loose. Have reputable handyman or fireplace contractor repair or replace as needed at the NW living room.

Location: Northwest

Task: Repair or replace

Time: Less than 2 years



72. Spare photos



73.

Cooling & Heat Pump

AIR CONDITIONING \ Compressor

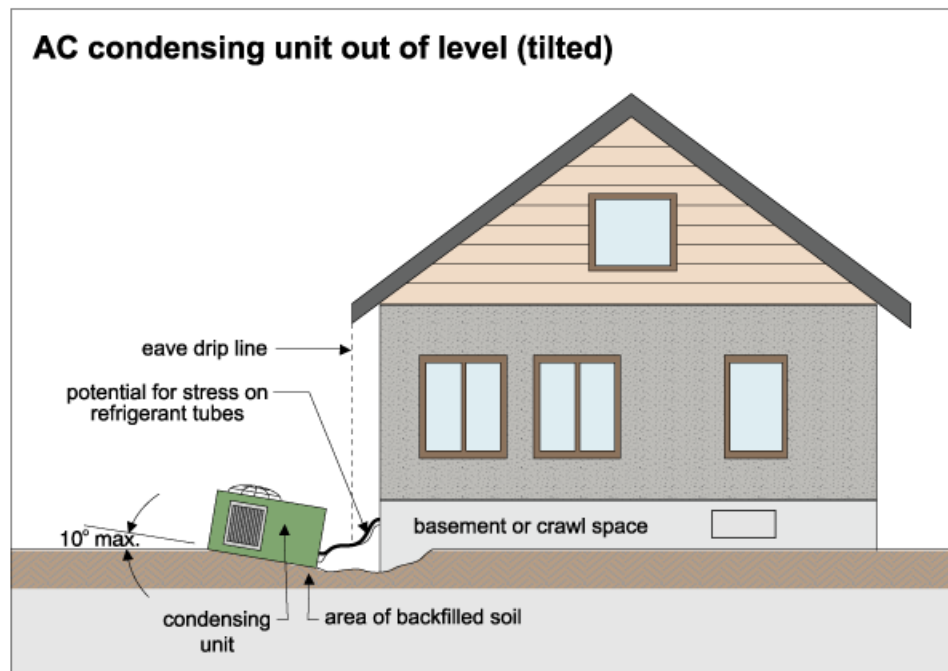
49. Condition: • Out of level

Have HVAC contractor correct level of condensing unit.

Location: East

Task: Improve

Time: Immediate



74. Out of level

Insulation and Ventilation

ATTIC/ROOF \ Roof vents

50. Condition: • Inadequate

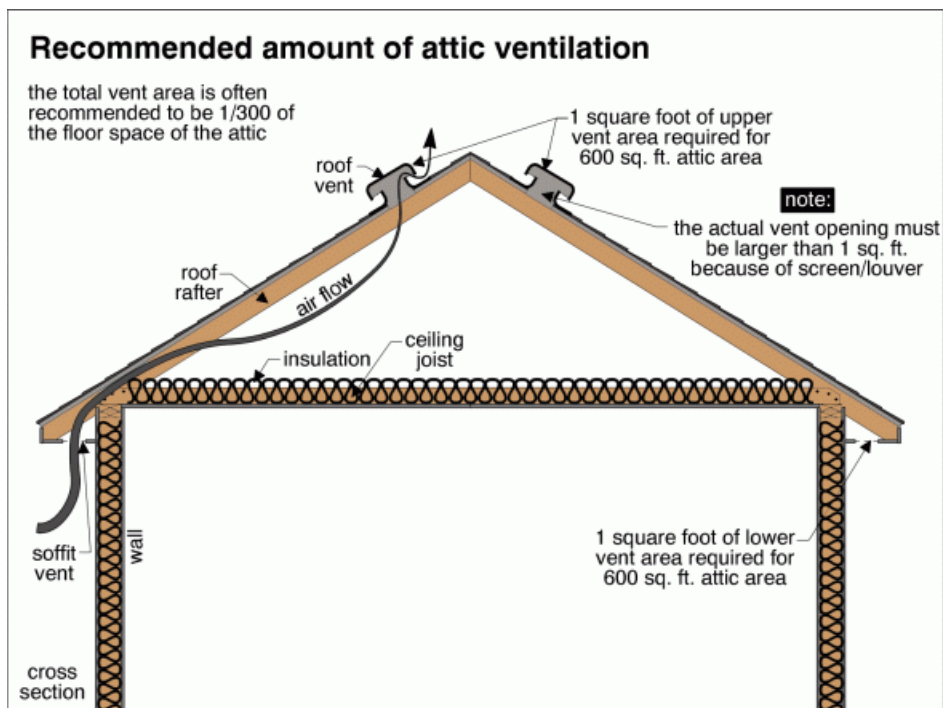
Have additional soffit vents added to increase air flow into attic Attic needs to have additional vent chutes add for a more balanced air flow. When replacing roof the company should be discussing edge vent intakes to create a more balanced attic.

Location: Throughout

Task: Improve

Time: Less than 2 years

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ATTIC/ROOF \ Pull-down stairs/ladder

51. Condition: • Unsafe to climb

Attic pull down ladder should be replaced or removed. A scuttle hatch or different stairs can be created for installed. Contract reputable contractor for options.

Task: Repair or replace Further evaluation

Time: Immediate



75. Unsafe to climb

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Plumbing

OPTIONAL \ Plumbing

52. Condition: • Determine function of copper pipe in work room. May be related to boiler system. Consult licensed plumber or boiler company for further evaluation.

Location: Basement

Task: Further evaluation

Time: If necessary



76.

WATER HEATER \ General notes

53. Condition: • Unsafe hot water temperature. Turn down thermostat on water heater to be at or around 120F.

Task: Improve

Time: Immediate

WASTE PLUMBING \ Drain piping - performance

54. Condition: • Old

Home is 90 years old. Sewer line was install in 30's or 40's according to Village Sanitation director Richard Paul Jr. Recommend Sewer scope of lateral line to main to determine condition.

Location: Basement

Task: Further evaluation

Time: Immediate

FIXTURES AND FAUCETS \ Bathtub

55. Condition: • Slow drain

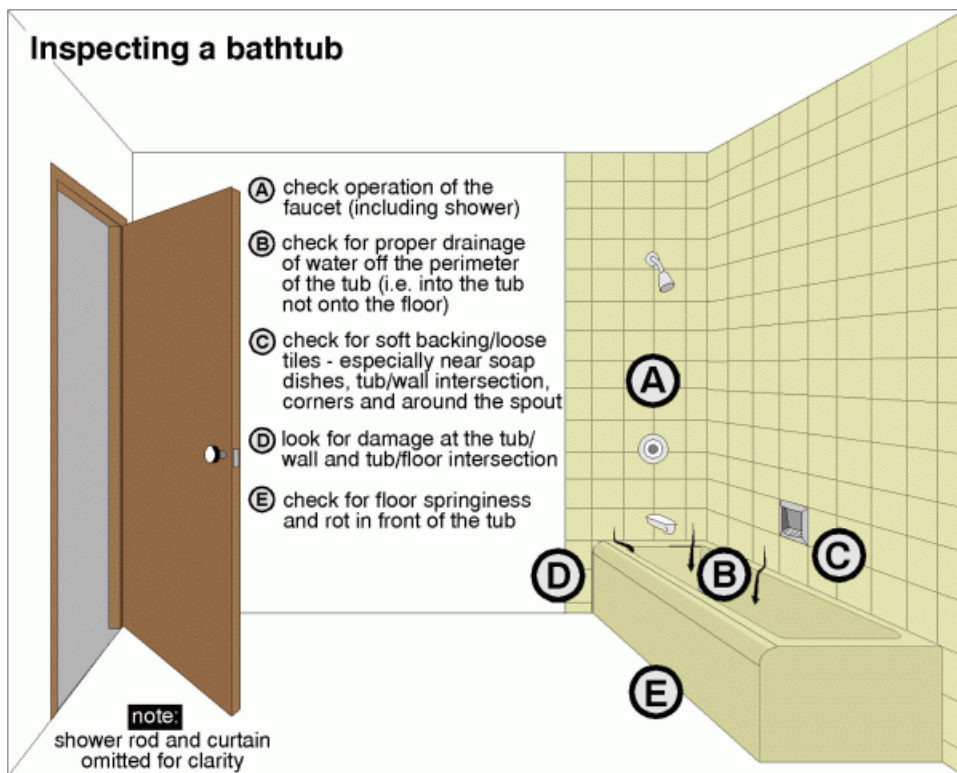
Tub drain was slow. Have drain cleared by handyman, plumber or drain company.

Location: Basement bathroom

Task: Service Clean

Time: Immediate

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77. Slow drain

FIXTURES AND FAUCETS \ Toilet

56. Condition: • Loose

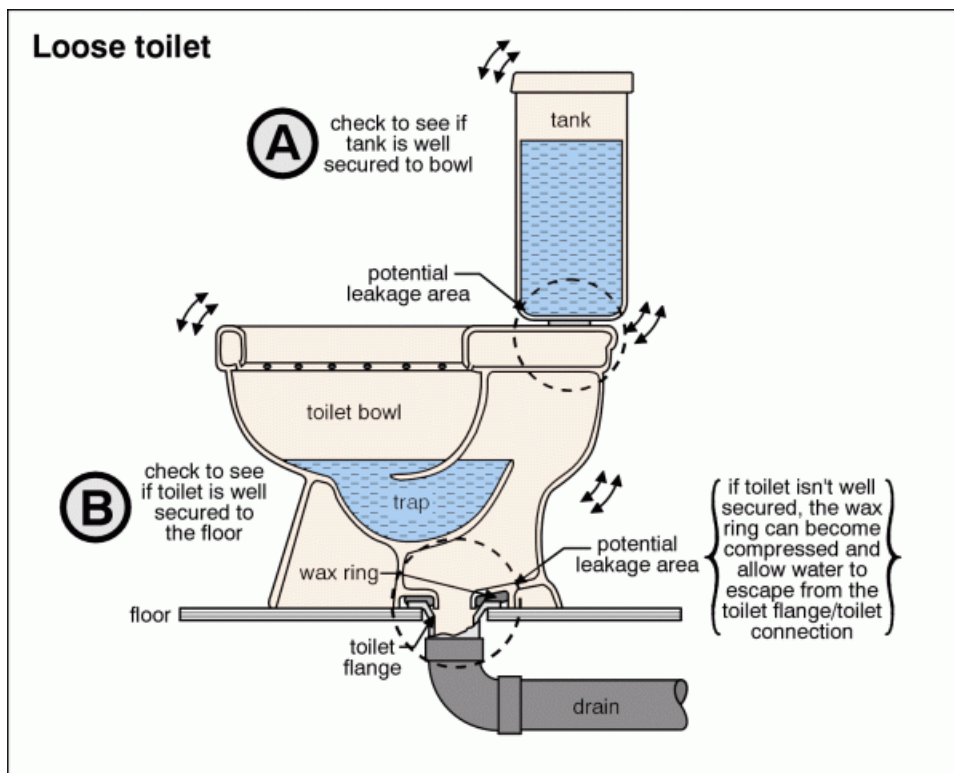
Toilet moved when tested. Recommend having reputable plumber pull toilet assess flange and repair as needed.

Location: Second Floor Master Bathroom

Task: Repair

Time: Immediate

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Interior

CEILINGS \ General notes

57. Condition: • Missing

Furnace closet has no ceiling. Recommend having air sealing installed to decrease heat loss into attic. Contact reputable insulation or drywall contractor for options on correct.

Location: Second Floor Master Bedroom

Task: Improve

Time: If necessary

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78. Missing



79. Missing

WINDOWS \ General notes

58. Condition: • Difficult to operate

Multiple double hung and casement windows were not able to open due to being painted shut and or lack of use. Have handyman get windows operational and lubricate as needed.

Location: Various

Task: Improve

Time: Immediate

WINDOWS \ Hardware

59. Condition: • Missing

Handles missing for casements on multiple windows. Have current owner locate and install handles on all windows.

Location: Various First Floor Living Room Dining Room Kitchen

Task: Provide

Time: Immediate

WINDOWS \ Storms and screens

60. Condition: • Missing

Request screens for all windows to be located.

Location: Throughout First Floor

Task: Provide Request disclosure

Time: Immediate

EXHAUST FANS \ Duct

61. Condition: • Multiple ducts are combined to a single termination. Each vent should have it's own termination point on the exterior of the house

Correct ducts from combined venting at roof termination point. Have HVAC or roofing contractor install new termination hoods on roof as needed for exhaust fans.

Location: Attic

Task: Repair or replace

Time: Immediate

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80. Multiple ducts are combined to a single...

BASEMENT \ Wet basement - evidence

62. Condition: • Organic Growth

Noted organic growth on wall under gun cabinet. Mold Control is available at most hardware stores. If treating yourself, be sure to follow all safety precautions by wearing personal protection equipment.

Location: Various Basement

Task: Clean

Time: Less than 1 year



81. Organic Growth

63. Condition: • Stains

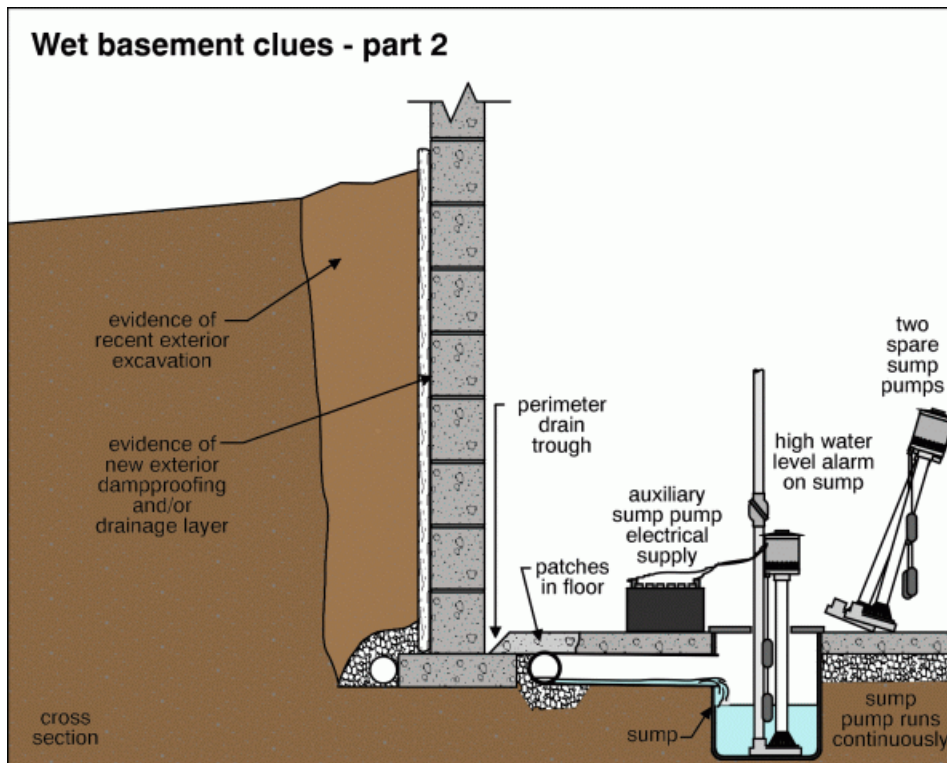
Correct exterior grading and gutters to decrease water reaching foundation walls.

Location: Basement under kitchen

Task: Monitor

Time: Discretionary

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GARAGE \ Vehicle door operators

64. Condition: • Sensors poorly located

Sensors are mounted above the 6" maximum height. Move location of sensors to be within 6" of floor.

Location: Garage

Task: Repair

Time: Immediate



82. Sensors poorly located

APPLIANCES \ Dishwasher

65. Condition: • Loose

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Noted mounting screws missing from dishwasher. Have dishwasher installation corrected by qualified person.

Location: Kitchen

Task: Repair

Time: Immediate

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

END OF REPORT