

# YOUR Inspection Report



*Looking Beyond the Surface for a Deeper Peace of Mind*

**FOR THE PROPERTY AT:**

123 Home Sweet Home Lane  
Louisville, KY 40212

**PREPARED FOR:**

JOHN SMITH  
MARY SMITH

**INSPECTION DATE:**

Wednesday, August 23, 2017

**PREPARED BY:**

Gary Witt



Louisville Home Inspections, LLC  
241 Cr-1580D-10  
Shepherdsville, KY 40165

(502) 771-2100

(502) 415-6709

[www.louisvillehomeinspect.com](http://www.louisvillehomeinspect.com)  
[gwitt@louisvillehomeinspect.com](mailto:gwitt@louisvillehomeinspect.com)



June 22, 2018

Dear John Smith and Mary Smith,

RE: Report No. 1005, v.6  
123 Home Sweet Home Lane  
Louisville, KY  
40212

Thanks very much for choosing Louisville Home Inspections, LLC to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of the American Society of Home Inspectors (ASHI). This document defines the scope of our home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report. You may find the ASHI Standards of Practice here:

<http://www.homeinspector.org/Standards-of-Practice>

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

Gary Witt  
on behalf of  
Louisville Home Inspections, LLC

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# KEY FINDINGS

123 Home Sweet Home Lane, Louisville, KY August 23, 2017

Report No. 1005, v.6

[www.louisvillehomeinspect.com](http://www.louisvillehomeinspect.com)

KEY FINDING

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

**Note:** For the purpose of this report the building is considered to be facing **North**.

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

## Roofing

### FLAT ROOF FLASHINGS \ Installation

**Condition:** • [Open at seams or ends](#)

Gutter-Guard type gutter protectors were damaged and had created a space for water to enter the building.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** South porch and kitchen extension

**Task:** Repair or replace

**Time:** In the near future

## Exterior

### WALLS \ Soffits and fascia

**Condition:** • Ceiling sagging due to roof leak

**Location:** Porch

**Task:** Have evaluate by a roofing contractor

### DOORS \ Doors and frames

**Condition:** • Threshold is too high

**Implication(s):** Trip hazard

**Location:** Back porch entrance door

**Task:** Reduce height of threshold

## Electrical

### DISTRIBUTION SYSTEM \ Outlets (receptacles)

**Condition:** • [GFCI/GFI needed \(Ground Fault Circuit Interrupter\)](#)

**Implication(s):** Electric shock

**Location:** Kitchen

**Task:** Replace outlet that are not GFCI and should be

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

# KEY FINDINGS

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KEY FINDING	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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[Home Improvement - ballpark costs](#)



# ROOFING

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## System Description

**General:** • The home orientation used in this report, Left, Right, Front, Rear, is referenced as viewing the house from the street.

**General:** • Our inspection of the readily accessible roof system included a visual examination to determine damage or material deterioration. We walk on the roof only when it is safe to do so and is not likely to damage the roof materials. We look for evidence of roof system leaks and damage. We cannot predict when or if a roof might leak in the future.

### Sloped roofing material:

- [Asphalt shingles](#)



1. Asphalt shingles



2. Asphalt shingles



3. Asphalt shingles



4. Asphalt shingles

**Sloped roof flashing material:** • Aluminum

**Flat roofing material:**

- [Synthetic rubber](#)



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5. Synthetic rubber



6. Synthetic rubber

## Approximate age:

- 8 years

Asphalt shingle roof was about 8 years old

- 15 years

Rubber roof was approximately 15 years old

## Inspection Methods and Limitations

**Inspection performed:** • By walking on roof

**Age determined by:** • Property Disclosure Statement

## Findings and Recommendations

### FLAT ROOF FLASHINGS \ Installation

#### 1. Condition: • [Open at seams or ends](#)

Gutter-Guard type gutter protectors were damaged and had created a space for water to enter the building.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** South porch and kitchen extension

**Task:** Repair or replace

**Time:** In the near future

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7. Open at seams



8. Open at seams

# EXTERIOR

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## System Description

**Gutter & downspout material:** • [Aluminum](#)

**Downspout discharge:** • Gutters and downspouts must carry water off the roof away from the building to prevent basement or crawl space leakage.

Ground that slopes toward the house can funnel surface water from rain and melting snow against the foundation walls. This can lead to basement or crawl space leakage. The ground around the house should slope down and away from the building at a rate of at least 1" per foot for the first 6 feet out from the building.

**Downspout discharge:** • [Below grade](#)

**Lot slope:** • [Away from building](#)

**Soffit and fascia:** • [Wood](#) • [Hardboard/Plywood](#)

**Wall surfaces and trim:** • [Wood](#)

**Wall surfaces - masonry:** • [Brick](#)

**Wall surfaces - wood:** • [Boards](#)

**Driveway:** • Concrete

**Walkway:** • Interlocking brick

**Porch:** • Concrete

**Exterior steps:** • Concrete

**Patio:** • Interlocking brick

**Garage:** • Home had a two car attached garage.

## Inspection Methods and Limitations

**Inspection limited/prevented by:** • Storage in garage

## Findings and Recommendations

### **ROOF DRAINAGE \ Downspouts**

**2. Condition:** • [Connections loose](#)

**Implication(s):** Leakage

**Location:** Front-right corner of house

**Task:** Secure loose downspout



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9. Loose connections



10. Not well secured

## WALLS \ General

**3. Condition:** • Ground level to close to wood window sash.

**Implication(s):** Any wood to ground contact may cause wood decay.

**Location:** Garage windows

**Task:** Lower ground level to 6" below any wood material. However, be certain water drainage is still away from building.

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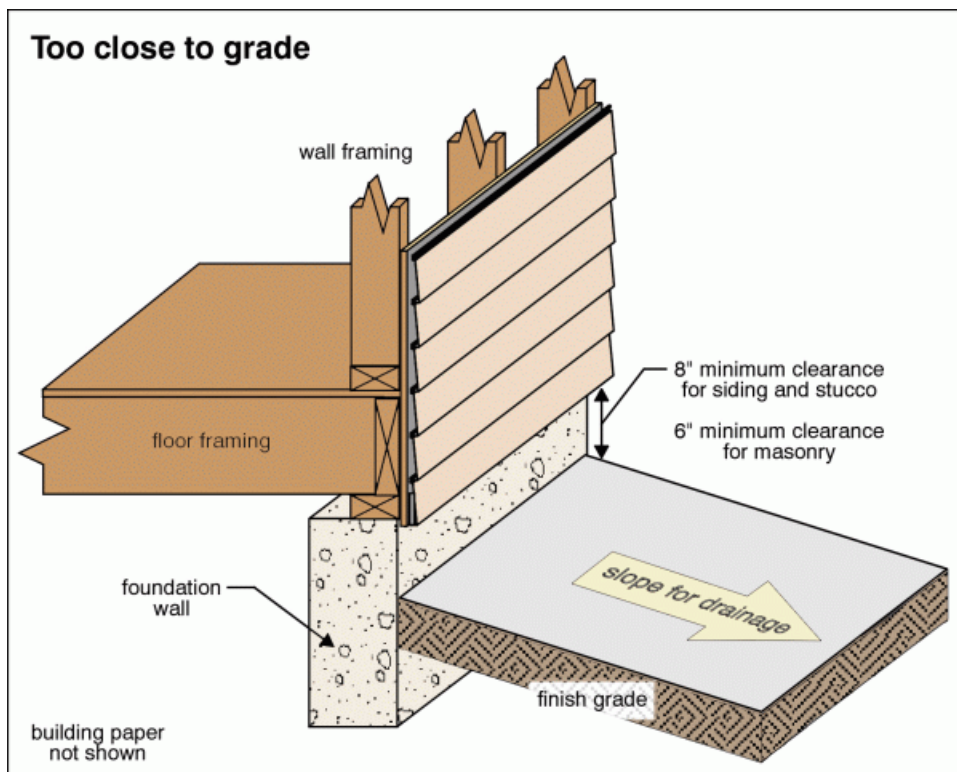
COOLING

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11. Garage window

## WALLS \ Soffits and fascia

4. **Condition:** • Ceiling sagging due to roof leak

**Location:** Porch

**Task:** Have evaluate by a roofing contractor

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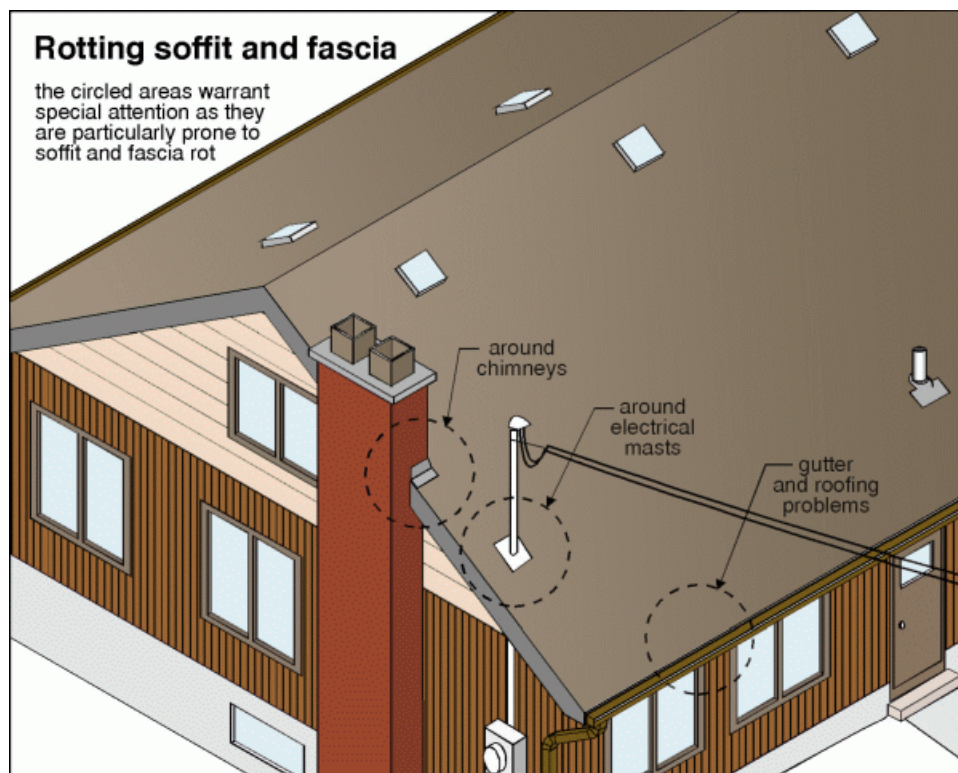
12.

5. Condition: • [Paint or stain - deteriorated / missing](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Shortened life expectancy of material

Location: Outside of kitchen windows

Task: Paint as needed





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13. Paint needed

## DOORS \ Doors and frames

6. Condition: • Threshold is too high

Implication(s): Trip hazard

Location: Back porch entrance door

Task: Reduce height of threshold



14. Back door threshold

## GARAGE \ General

7. Condition: • Window did not fully close and lock. Typical both windows.

Implication(s): Security risk

Location: Garage Windows

Task: Repair/adjust as needed



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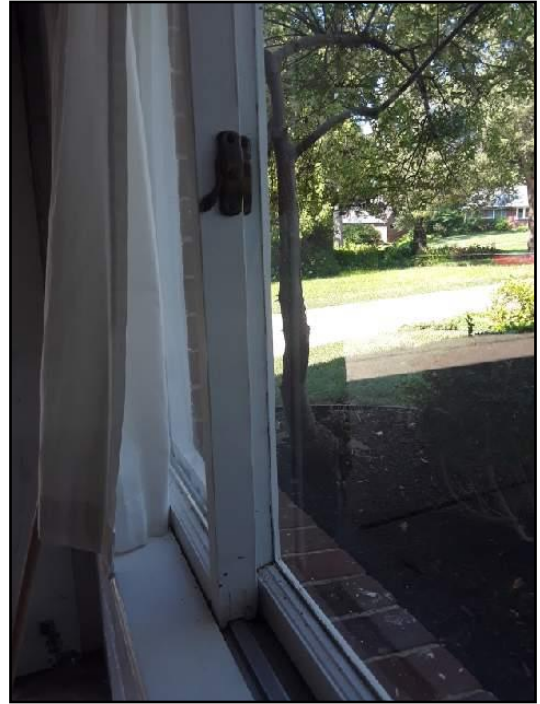
PLUMBING

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15. Garage Window



16. Garage Window

## GARAGE \ Door into garage / Man-door

### **8. Condition:** • [Door not fire rated or exterior type](#)

The entry door between the house from the garage was the hollow core type door. These doors are not fire rated. Fire rated door have a label on the hinge side stating there are fire rated. Typically 20 minutes for residential applications. If the door is not labeled, a steel door or solid wood door is an acceptable alternative.

**Implication(s):** Increased fire hazard

**Location:** Garage door into house

**Task:** Recommend upgrading to a fire rated door

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17. Garage door not fire rated

## System Description

**General:** • Our inspection of the structure included a visual examination of the exposed, readily accessible portions of this system. These items were examined for visible defects, excessive wear, and general condition. Many structural components were inaccessible because they are buried below grade or are behind finished surfaces. Therefore, much of the inspection was performed by looking for visible symptoms of movement, damage and deterioration. Where there are no symptoms, conditions requiring further review or repair may go undetected and identification was not possible without destructive testing. We make no representations as to the internal conditions or stability of soils, concrete footings and foundations, except as exhibited by their performance. We cannot predict when or if foundations or roofs might leak in the future.

**Configuration:** • [Basement](#)

**Foundation material:** • [Masonry block](#)

**Floor construction:** • [Joists](#) • Steel columns • Steel beams

**Exterior wall construction:** • Not visible

**Roof and ceiling framing:** • Joists, rafters, and collar ties

## Inspection Methods and Limitations

**Inspection limited/prevented by:** • Ceiling, wall and floor coverings

**Attic/roof space:** • Entered but access was limited

**Knee wall areas:** • Entered but access was limited

**Percent of foundation not visible:** • 70 %

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## System Description

**General:** • Our inspection of the electrical system included a visual examination of readily accessible components including a random sampling of electrical devices to determine adverse conditions and improper wiring methods, grounding, bonding and over-current protection. Performing voltage test, load calculations, or determining the adequacy of the electrical system for future usage is outside the scope of this inspection. Telephone, video, audio, security system, landscape lighting, and other low voltage wiring was not included in this inspection unless specifically noted.

**Service entrance cable and location:** • [Overhead copper](#)

**Service size:** • [125 Amps \(240 Volts\)](#)

**Main disconnect/service box type and location:** • Breakers - Basement wall

**System grounding material and type:** • [Not visible](#)

**Electrical panel manufacturers:** • Siemens

**Distribution wire material and type:** • [Copper - conduit](#) • [Aluminum - conduit](#) • [Aluminum to major appliances](#)

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • [GFCI - bathroom](#) • [GFCI - kitchen](#)

**Smoke detectors:** • Present on each habitable floor level

**Carbon monoxide (CO) detectors:** • Present

## Inspection Methods and Limitations

**General:** • Smoke detectors were not tested

**System ground:** • Quality of ground not determined

**Circuit labels:** • The circuits are not labeled at the panel

## Findings and Recommendations

### DISTRIBUTION SYSTEM \ Wiring - installation

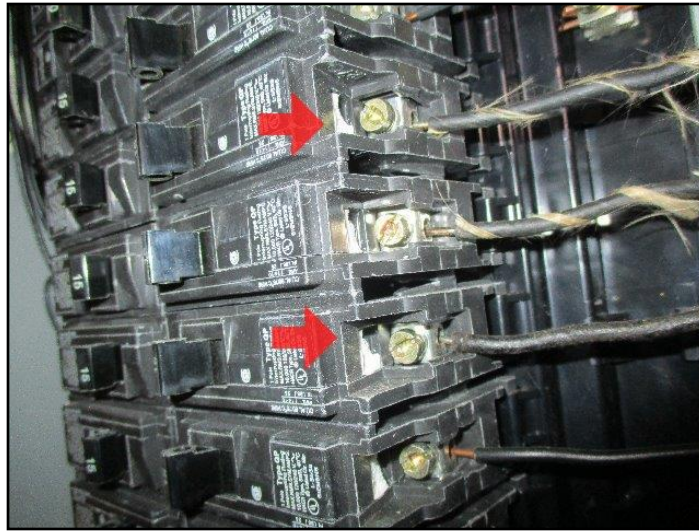
**9. Condition:** • [Wrong type](#)

Some branch circuit wiring was solid aluminum. Solid aluminum is not used for branch circuit anymore. However, braided aluminum is acceptable.

**Implication(s):** Electric shock | Fire hazard

**Task:** Recommend further evaluating by qualified electrician



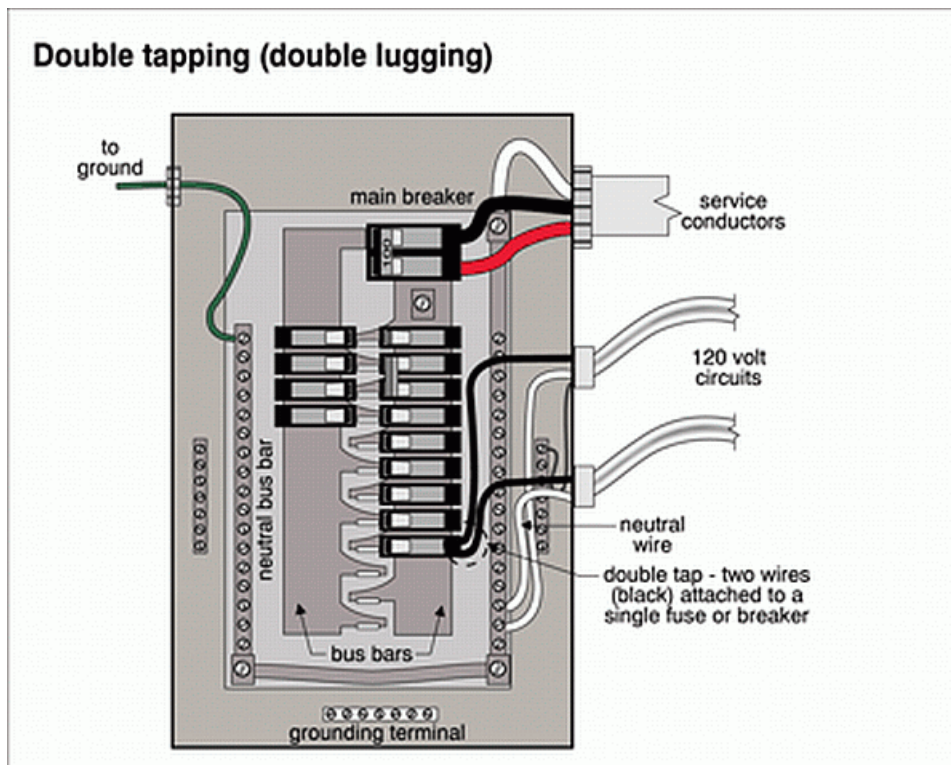


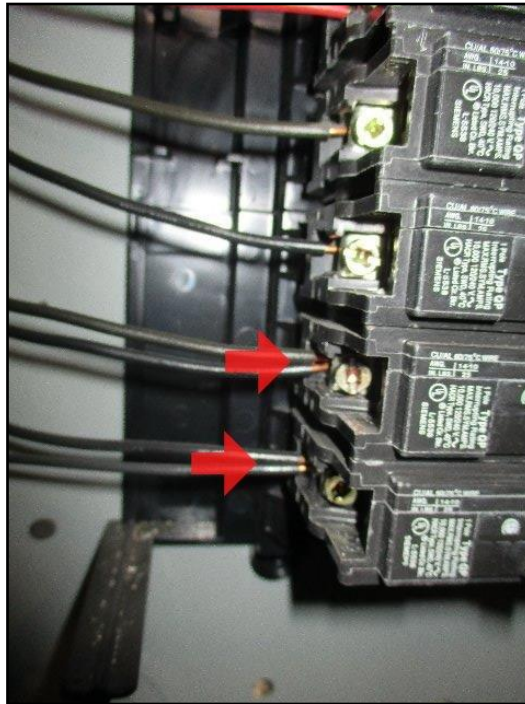
18. Outdated type wiring

10. Condition: • [Double taps](#)

Implication(s): Fire hazard

Task: Recommend further evaluating by qualified electrician





19. Double taps

## DISTRIBUTION SYSTEM \ Outlets (receptacles)

11. Condition: • [GFCI/GFI needed \(Ground Fault Circuit Interrupter\)](#)

Implication(s): Electric shock

Location: Kitchen

Task: Replace outlet that are not GFCI and should be

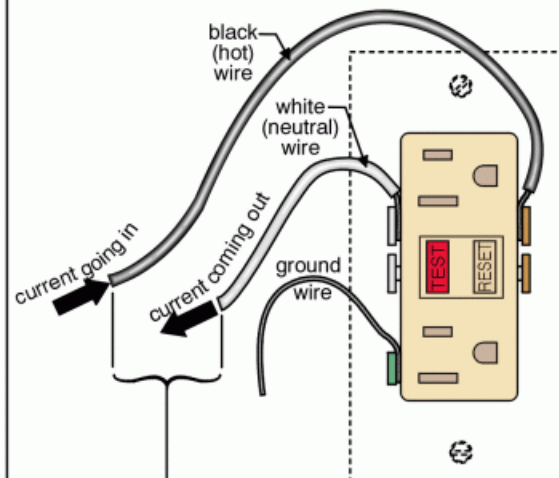
### Ground fault interrupter

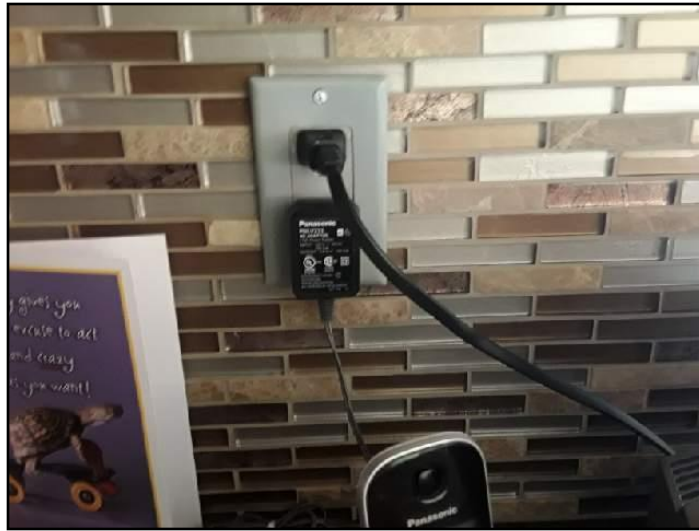
the GFI circuitry within the outlet checks constantly for a difference between the current in the black and white wires

if there is a difference (even as little as 5 milliamps), there is a current leak (possibly through your body) and the GFI shuts down the receptacle and other receptacles downstream

**note:**

if the GFI is in the panel, the entire circuit will be shut down





20. GFCI needed for outlets 6' from kitchen sink

**12. Condition:** • [Test faulty on GFCI/GFI \(Ground Fault Circuit Interrupter\)](#)

GFCI receptacle wired incorrectly.

**Implication(s):** Electric shock

**Location:** Kitchen

**Task:** Have evaluate by a qualified electrician



21. Test faulty on GFCI



# HEATING

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## System Description

**General:** • We recommend heating and cooling systems be cleaned and serviced by a licensed HVAC service person soon after moving in as a good preventive maintenance practice.

**System type:** • [Furnace](#)

**Fuel/energy source:** • [Gas](#)

**Furnace manufacturer:**

• Carrier

*Model number: 58MVC120-20 Serial number: 2109A00494*



22. Gas Furnace



23. Heater return temp 73 deg



24. Heater supply temp 16 deg

**Heat distribution:** • [Ducts and registers](#)

**Approximate capacity:** • 120,000 BTU/hr



# HEATING

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Efficiency: • [High-efficiency](#)

Exhaust venting method: • [Induced draft](#)

Approximate age: • [9 years](#)

Main fuel shut off at: • Meter

Fireplace/stove:

• [Wood-burning fireplace](#)



25. Wood-burning fireplace #1

• [Wood-burning fireplace](#)



26. Wood-burning fireplace #2

Chimney/vent: • [Masonry](#)

Chimney liner: • [Clay](#)

Combustion air source: • Interior of building

# HEATING

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## Inspection Methods and Limitations

**Inspection prevented/limited by:** • Chimney clean-out not opened

**Fireplace/wood stove:** • Wood burning fireplaces are not lite during home inspections

## Findings and Recommendations

### CHIMNEY AND VENT \ Inspect/sweep chimney

**13. Condition:** • [Inspect \(and/sweep if needed\) before using](#)

We recommend all fireplaces be inspected by a qualified chimney sweep before first uses

**Implication(s):** Fire hazard

# COOLING & HEAT PUMP

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## System Description

**Air conditioning type:** • [Air cooled](#)

**Manufacturer:**

• Carrier

*Model number:* 24ANA148A300 *Serial number:* 4206E03137



27. Air conditioner



28. Cooling return temp 74 deg



29. Cooling supply temp 59 deg

**Compressor approximate age:** • 12 years

**Temperature difference:** • 15° • Acceptable temperature difference: 14° to 22°

# INSULATION AND VENTILATION

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## System Description

Attic/roof insulation material: • [Cellulose](#)

Attic/roof insulation amount/value: • [R-20](#)

Attic/roof air/vapor barrier: • [Foil](#)

Attic/roof ventilation: • [Gable vent](#) • [Ridge vent](#)

Floor above basement/crawlspace insulation material: • None found • Not visible

## Inspection Methods and Limitations

Attic inspection performed: • By entering attic, but access was limited

Air/vapor barrier system: • Continuity not verified

## Findings and Recommendations

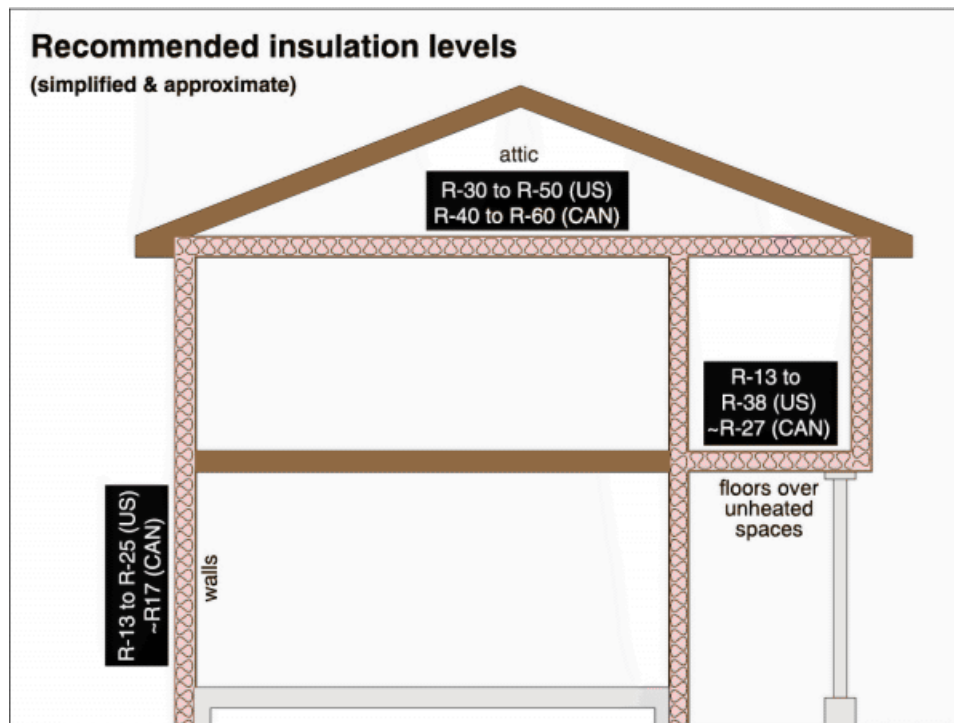
### ATTIC/ROOF \ Insulation

14. Condition: • [Amount less than current standards](#)

Attic insulation was less than current standard requirements.

Implication(s): Increased heating and cooling costs

Task: Have evaluate by a qualified contractor





# INSULATION AND VENTILATION

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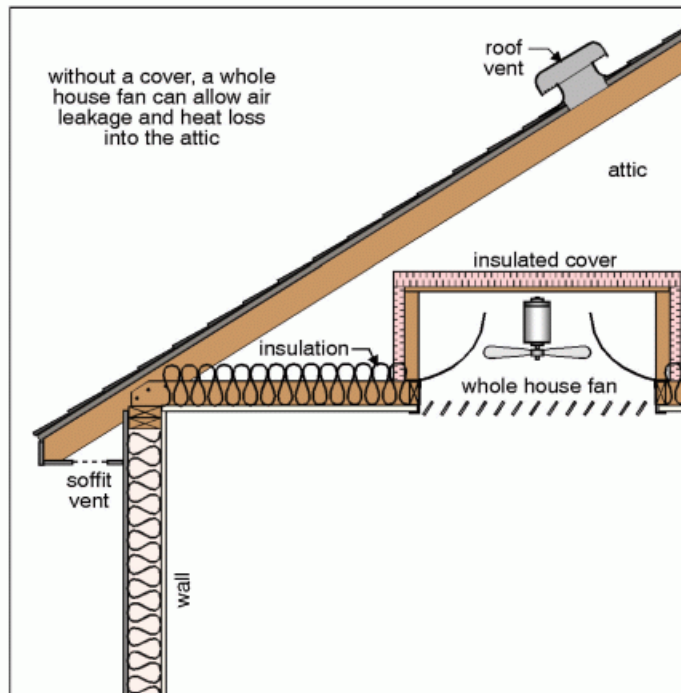
INSULATION

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## Whole house fan with no insulating cover



30. no cover on whole house fan



31. Amount less than current standards

### ATTIC/ROOF \ Air/vapor barrier

#### 15. Condition: • [Wrong location](#)

Vapor barrier was installed on top of the insulation. The vapor barrier should be installed on the occupied side of the insulation.

**Implication(s):** Chance of condensation damage to finishes and/or structure

**Location:** Attic

**Task:** Upgrade attic insulation recommended

# INSULATION AND VENTILATION

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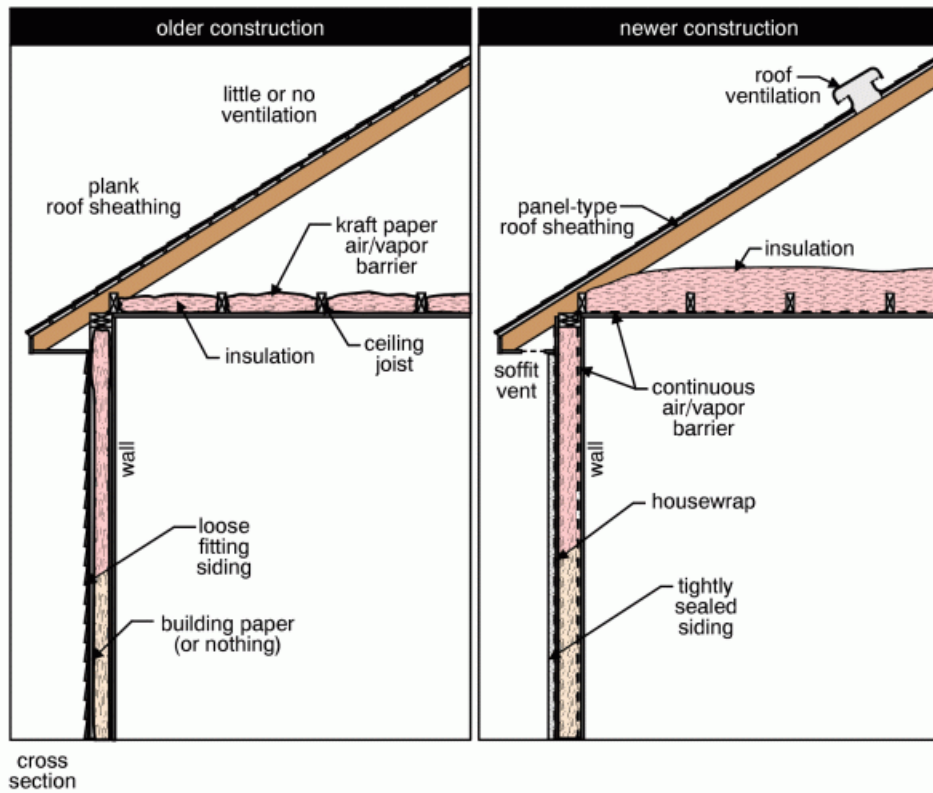
INSULATION

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## Differences between old and new construction



32. Wrong location

## System Description

**General:** • Our inspection of the plumbing system included a visual examination to determine defects, excessive wear, leakage and general state of repair. Plumbing leaks can be present but not evident in the course of the normal inspection. A sewer lateral test to determine the condition of the underground sewer lines is beyond the scope of this inspection. Our review of the plumbing system does not include landscape irrigation systems, water wells, on site and/or private water supply systems, water quality, off site community water supply systems or private (septic) waste disposal systems unless specifically noted.

**Water supply source:** • Public

**Service piping into building:** • [Copper](#)

**Supply piping in building:** • [Copper](#)

**Main water shut off valve at the:** • East • Basement

**Water heater type:** • [Conventional](#)

**Water heater fuel/energy source:** • [Gas](#)

**Water heater exhaust venting method:** • Natural draft

**Water heater manufacturer:**

• Rheem

*Model number:* XG40T06EC36U1 *Serial number:* Q481532093



33. Gas water heater

**Tank capacity:** • [40 gallons](#)

**Water heater approximate age:** • 3 years

# PLUMBING

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**Water heater location:** • Basement

**Waste and vent piping in building:** • [PVC plastic](#) • [Cast Iron](#) • [Galvanized steel](#)

**Pumps:**

• [Sump pump](#)



34. Sump pump

**Floor drain location:** • Near laundry area

**Gas piping:** • Steel • CSST (Corrugated Stainless Steel Tubing)

**Main fuel shut off valve at the:** • Exterior • Gas meter

**Exterior hose bibb (outdoor faucet):** • Freeze resistant

## Inspection Methods and Limitations

**Items excluded from a building inspection:** • Isolating/relief valves & main shut-off valve

## Findings and Recommendations

### FIXTURES AND FAUCETS \ Basin, sink and laundry tub

**16. Condition:** • Drain stop ineffective

**Implication(s):** Nuisance | Reduced operability

**Location:** Left side sink in master bathroom

**Task:** Repair



# PLUMBING

123 Home Sweet Home Lane, Louisville, KY August 23, 2017

Report No. 1005, v.6

[www.louisvillehomeinspect.com](http://www.louisvillehomeinspect.com)

KEY FINDING

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



35. Drain stop ineffective

## FIXTURES AND FAUCETS \ Toilet

### 17. Condition: • [Running toilet](#)

For a do-it-yourself repair video click here: <https://www.youtube.com/watch?v=ysEnSF-rZjk>

**Location:** 1st floor half bath

**Task:** Have evaluate by a qualified plumber



36. Running toilet

# INTERIOR

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## System Description

**Major floor finishes:** • [Carpet](#) • [Hardwood](#) • [Ceramic](#)

**Major wall and ceiling finishes:** • [Plaster/drywall](#)

**Windows:** • [Fixed](#) • [Casement](#) • Vinyl-clad wood

**Exterior doors - type/material:** • Hinged • [French](#) • [Sliding glass](#) • [Wood](#) • [Hollow wood](#) • Garage door - metal

**Doors:** • Inspected

**Evidence of basement leakage:** • Dehumidifier in basement

**Oven fuel:** • Electricity

**Range fuel:** • Electricity

**Appliances:** • Refrigerator • Dishwasher • Waste disposal • Microwave oven

**Laundry facilities:** • Washer • Laundry tub • Hot/cold water supply • Dryer • Vented to outside • 120-Volt outlet • 240-Volt outlet • Waste standpipe

**Kitchen ventilation:** • Recirculating type

**Bathroom ventilation:** • Exhaust fan

**Laundry room ventilation:** • Clothes dryer vented to exterior

**Counters and cabinets:** • Inspected

**Stairs and railings:** • Inspected

## Inspection Methods and Limitations

**Inspection limited/prevented by:** • Furniture and personal items

## Findings and Recommendations

### CEILINGS \ General

**18. Condition:** • Loose ceiling light fixture

**Location:** Uppermost/attic floor level

**Task:** Secure loose light fixture



37. Loose light fixture

## STAIRS \ Lighting

19. Condition: • [Not controlled by three way switch](#)

Staircases should have a 3-way light switch. One switch on top of the stairs and one on the bottom.

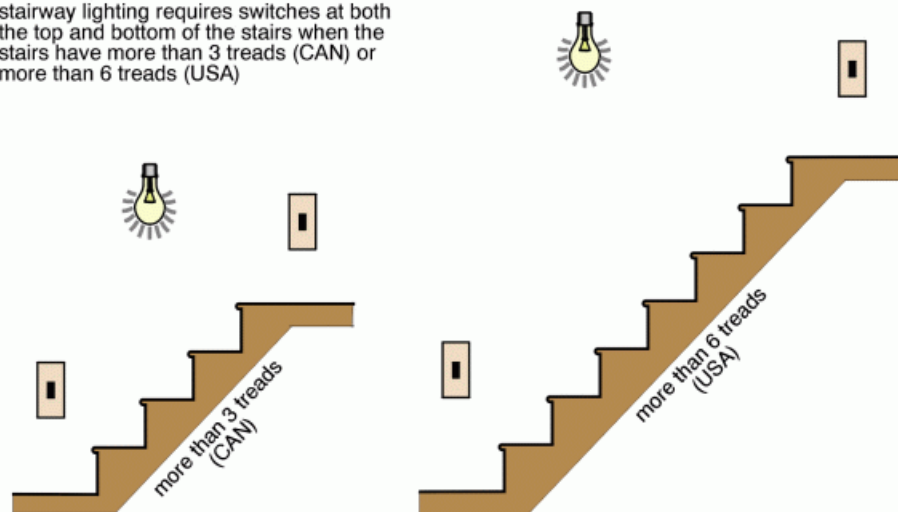
**Implication(s):** Trip or fall hazard

**Location:** Basement Staircase

**Task:** Recommend repair by qualified electrician

### Stairway lighting

stairway lighting requires switches at both the top and bottom of the stairs when the stairs have more than 3 treads (CAN) or more than 6 treads (USA)



**note:**

in some areas, only one switch may be required for lights on stairs to an unfinished basement

END OF REPORT

# REFERENCE LIBRARY

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The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS