

# INSPECTION REPORT



For the Property at:  
**2581 SAMPLE WAY**  
NORCROSS, GA 30071

Prepared for: SAMPLE NEW CONSTRUCTION REPORT

Inspection Date: Thursday, September 3, 2020

Prepared by: Keith Kerr



2K Home Inspections LLC  
710 Dacula Road, Suite 4A, PMB 106  
Dacula, GA 30019  
6788605136

[2khomeinspections.com](http://2khomeinspections.com)  
[2khomeinspections@gmail.com](mailto:2khomeinspections@gmail.com)



November 13, 2020

Dear Sample New Construction Report,

RE: Report No. 1019, v.2  
2581 Sample Way  
Norcross, GA  
30071

Thanks very much for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

Keith Kerr  
on behalf of  
2K Home Inspections LLC

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# SUMMARY

2581 Sample Way, Norcross, GA September 3, 2020

Report No. 1019, v.2

[2khomeinspections.com](http://2khomeinspections.com)

SUMMARY

STRUCTURE

ELECTRICAL

PLUMBING

INTERIOR

REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

## [Priority Maintenance Items](#)

## Structure

### OPTIONAL \ Structure

**Condition:** • Penetrations through top and bottom plates

Penetrations through top and bottom plates not fire blocked. Crew was fire blocking at time of inspection. Recommend checking to ensure all top and bottom plates were properly fire blocked.

**Location:** Throughout

**Condition:** • Fire caulk

Fire caulk missing at gables. Fireblocking shall be provided in concealed spaces of stud walls and partitions at ceiling and floor levels. Recommend fire caulking at gables to prevent fire from spreading to adjacent units in the event of a fire.

**Location:** Attic

### FLOORS \ Sills

**Condition:** • [Anchor bolts missing](#)

MAB15 straps are required to overlap on both sides of the sill plate and cannot be spaced more than 3'10" apart per the manufacturer. In order to replace the 1/2 inch anchor bolts required by code the straps must be installed per manufacturers instructions. Straps are not installed properly, only overlapping on one side of the sill plate. Wood sill plates shall be anchored with minimum 1/2 inch diameter bolts, embedded not less than 7 inches into the concrete, and spaced not more than 6 feet apart. Bolts shall also be installed within 12 inches of the sill plates ends. Recommend installing proper foundation anchorage on all exterior sill plates.

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Throughout

### FLOORS \ Joists

**Condition:** • [Poor end bearing, joist hanger connections](#)

Recommend adding missing joist hangers to joists underneath stair landings to ensure proper support.

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Stair landings

**Condition:** • [Poor end bearing, joist hanger connections](#)

Joist hangers in garage not properly nailed. Recommend nailing all required holes in joist hangers for proper support.

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Garage

**Condition:** • [Poor end bearing, joist hanger connections](#)

Recommend adding missing joist hangers to attic scuttle to properly support attic stairs.

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Attic Access

### WALLS \ Wood frame walls

**Condition:** • [Notches or holes](#)

Bored hole for gas line in garage over bored and too close to the edge. Bored holes cannot be within 5/8 inches of the

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studs face. Recommend adding stud shoe to strengthen stud as it is a load bearing element.

**Implication(s):** Weakened structure

**Location:** Bathroom

**Condition:** • [Leaning, bowing, buckling](#)

Bowed stud in garage. Studs are not permitted to deflect more than a 1/2 inch. Recommend replacing stud or providing blocking in between studs to straighten.

**Implication(s):** Chance of structural movement

**Location:** Garage

## Electrical

### SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

**Condition:** • 3 wires in knock out bushing

3 wires in knock out (KO) bushing. Manufacturer states KO bushings are designed to house 2 wires. Recommend removing one wire and running it through another knock out.

**Location:** Garage

**Condition:** • Sheath into the panel

Cable sheath shall extend a minimum of 1/4 inch inside of the panel to protect the wires. Recommend pulling sheath into panel 1/4 inch.

**Location:** Garage

### DISTRIBUTION SYSTEM \ Wiring - installation

**Condition:** • [Too close to edge of stud](#)

Various nail guards needed on studs where hole is drilled closer than 1 & 1/4 inch from the face of the stud. Recommend adding nail guards to protect electrical wire from nail or screw damage.

**Implication(s):** Electric shock | Fire hazard

**Location:** Various

### DISTRIBUTION SYSTEM \ Outlets (receptacles)

**Condition:** • Receptacle Spacing

Missing receptacle in kitchen area adjacent to island. If the area is going to be countertop space than the receptacles cannot exceed 4 feet apart and shall be within 2 feet of the edge of the countertop. Otherwise the requirements for wall space installation shall be met. Receptacles shall be installed so that no point measured horizontally along the floor line of any wall space is more than 6 feet, from a receptacle outlet. Recommend installing at least one receptacle in the wall space adjacent to the kitchen island.

**Location:** Kitchen

**Condition:** • Receptacle Spacing

Receptacles in master bedroom more than 12 feet apart. Receptacles shall be installed so that no point measured horizontally along the floor line of any wall space is more than 6 feet, from a receptacle outlet. Recommend installing one receptacle or moving existing receptacles to be within 12 feet of each other.

**Location:** Master Bedroom

### DISTRIBUTION SYSTEM \ Outlets (receptacles) - number or location

**Condition:** • Garage Receptacles

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Receptacle missing on right side car space of garage. One receptacle outlet is required in each vehicle bay in attached garages, in addition to to any provided for specific equipment. Recommend installing receptacle on right side of garage.

**Location:** Garage

## Plumbing

### SUPPLY PLUMBING \ Water supply piping in building

**Condition:** • Water-supply system testing

No water pressure. Water-supply system shall be tested and proved tight under a water pressure of not less than the working pressure or by an air test of not less than 50 psi. This pressure shall be held for not less than 15 minutes.

Recommend builder test water-supply system and ensure no leaks are present.

**Location:** Throughout

## Interior

### OPTIONAL \ Interior

**Condition:** • Openings in fireplace chase

Openings in fireplace chase not fire blocked. All penetrations through the fire place chase must be sealed. Crew was fire caulking and foaming at the time of inspection. Recommend checking to ensure all penetrations in fire place chase were sealed.

**Location:** Living Room

### WALLS \ General notes

**Condition:** • Fire Caulk

Fire caulk missing at top plates and bottom plates along firewall throughout. Crew was caulking and foaming at time of inspection. Recommend builder provide proof that fire caulking was completed.

**Location:** Throughout

### FLOORS \ Subflooring

**Condition:** • Floor penetrations

Recommend sealing all floor penetrations.

**Location:** Various

### WINDOWS \ General notes

**Condition:** • Windows not foamed

Windows and doors not foamed. All windows and doors shall be foamed for energy code compliance. If foaming is not completed until insulation, recommend builder provide proof that windows and doors were foamed at that time.

**Location:** Throughout

### GARAGE \ Walls and ceilings

**Condition:** • Fire separation between garage and living space not adequate

Penetrations from garage to living space not sealed. Recommend fire blocking all penetrations in ceiling from garage to living space.

**Implication(s):** Fire hazard

**Location:** Garage

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**Condition:** • Hole in firewall

Hole in firewall leading to adjacent unit in garage. Nothing is permitted to penetrate the firewall. Recommend patching the hole in the firewall and sealing with fire caulk.

**Location:** Garage

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)



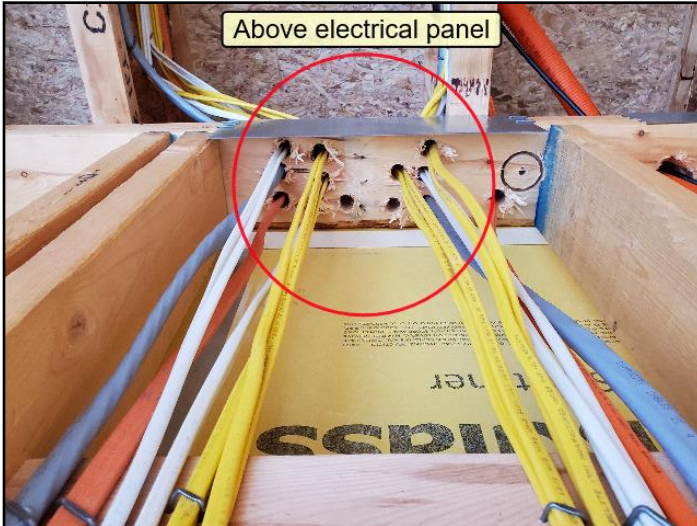
## Recommendations

### OPTIONAL \ Structure

#### 1. Condition: • Penetrations through top and bottom plates

Penetrations through top and bottom plates not fire blocked. Crew was fire blocking at time of inspection. Recommend checking to ensure all top and bottom plates were properly fire blocked.

Location: Throughout



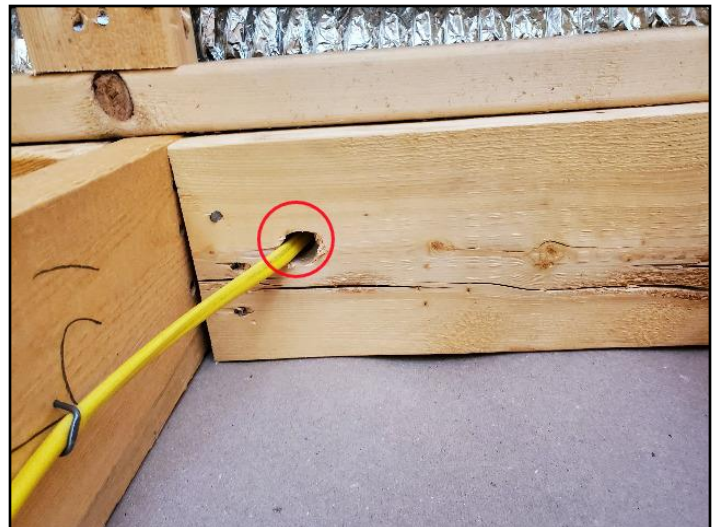
Penetrations in top and bottom plates



penetrations in top and bottom plates



Penetrations in top and bottom plates



Penetrations in top and bottom plates

#### 2. Condition: • Fire caulk

Fire caulk missing at gables. Fireblocking shall be provided in concealed spaces of stud walls and partitions at ceiling and floor levels. Recommend fire caulking at gables to prevent fire from spreading to adjacent units in the event of a fire.

Location: Attic



# STRUCTURE

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Fire caulk



Fire caulk

## FLOORS \ Sills

### 3. Condition: • [Anchor bolts missing](#)

MAB15 straps are required to overlap on both sides of the sill plate and cannot be spaced more than 3'10" apart per the manufacturer. In order to replace the 1/2 inch anchor bolts required by code the straps must be installed per manufacturers instructions. Straps are not installed properly, only overlapping on one side of the sill plate. Wood sill plates shall be anchored with minimum 1/2 inch diameter bolts, embedded not less than 7 inches into the concrete, and spaced not more than 6 feet apart. Bolts shall also be installed within 12 inches of the sill plates ends. Recommend installing proper foundation anchorage on all exterior sill plates.

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Throughout



Anchor bolts missing

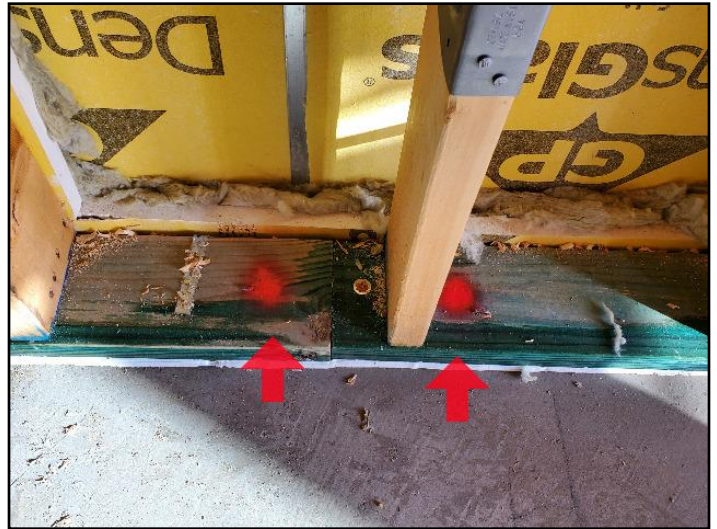


Anchor bolts missing





Anchor bolts missing



Anchor bolts missing

## FLOORS \ Joists

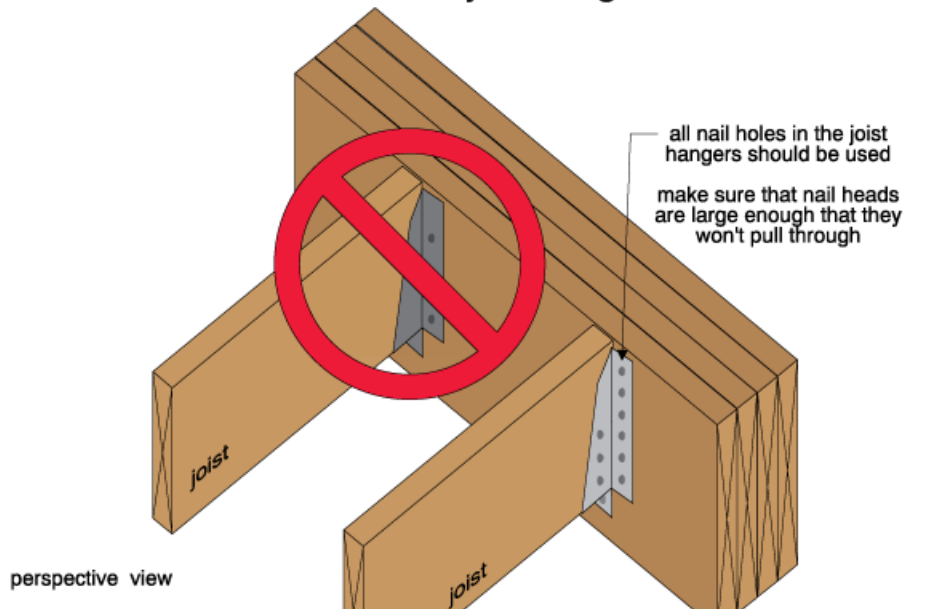
### 4. Condition: • [Poor end bearing, joist hanger connections](#)

Recommend adding missing joist hangers to joists underneath stair landings to ensure proper support.

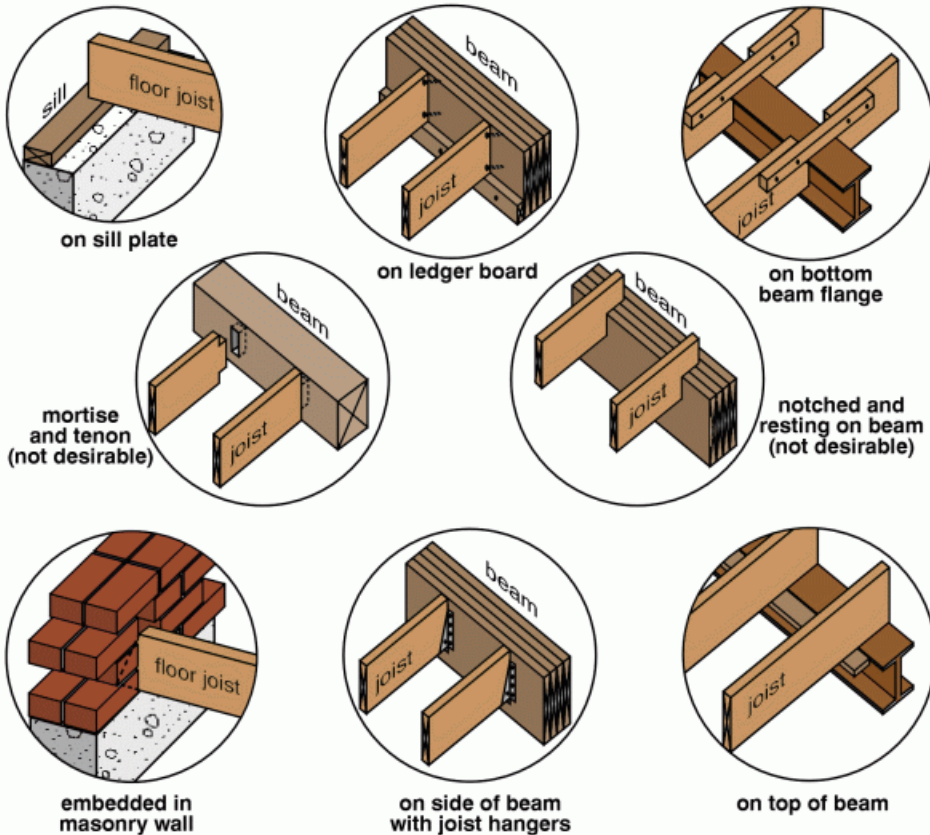
**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Stair landings

### Watch for insufficient nails in joist hangers



## Different types of joist end support



Poor end bearing, joist hanger connections



Poor end bearing, joist hanger connections

### 5. Condition: • [Poor end bearing, joist hanger connections](#)

Joist hangers in garage not properly nailed. Recommend nailing all required holes in joist hangers for proper support.

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Garage



# STRUCTURE

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Poor end bearing, joist hanger connections



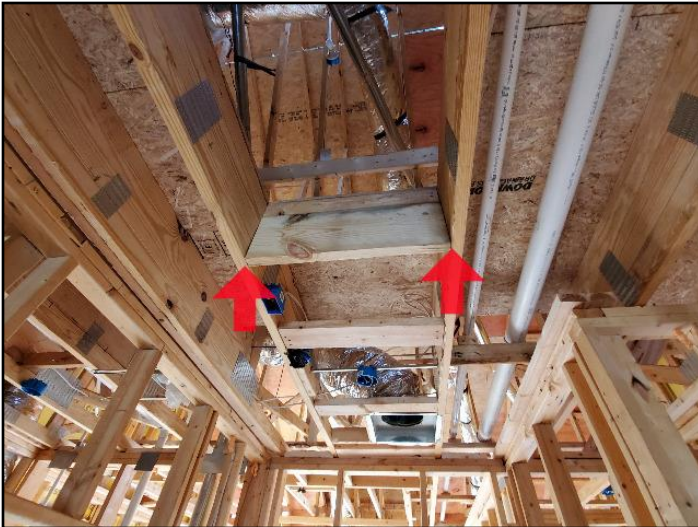
Poor end bearing, joist hanger connections

## 6. Condition: • [Poor end bearing, joist hanger connections](#)

Recommend adding missing joist hangers to attic scuttle to properly support attic stairs.

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Attic Access



Poor end bearing, joist hanger connections



Poor end bearing, joist hanger connections

## WALLS \ Wood frame walls

### 7. Condition: • [Notches or holes](#)

Bored hole for gas line in garage over bored and too close to the edge. Bored holes cannot be within 5/8 inches of the studs face. Recommend adding stud shoe to strengthen stud as it is a load bearing element.

**Implication(s):** Weakened structure

**Location:** Bathroom



*Notches or holes*

**8. Condition:** • [Leaning, bowing, buckling](#)

Bowed stud in garage. Studs are not permitted to deflect more than a 1/2 inch. Recommend replacing stud or providing blocking in between studs to straighten.

**Implication(s):** Chance of structural movement

**Location:** Garage



*Leaning, bowing, buckling*



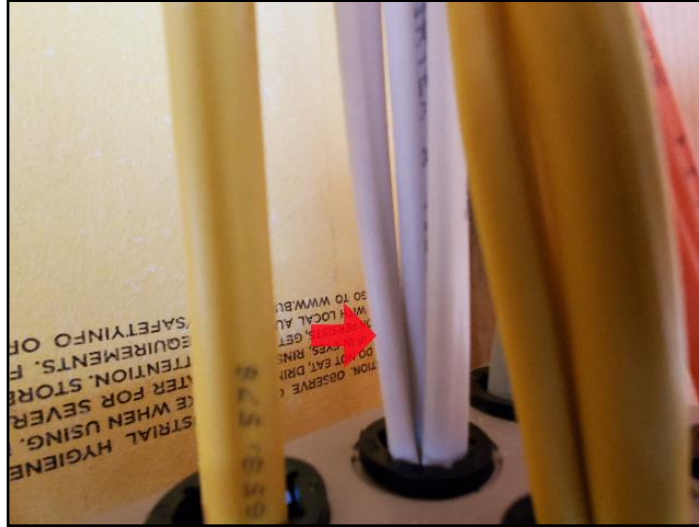
## Recommendations

### SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

#### **9. Condition:** • 3 wires in knock out bushing

3 wires in knock out (KO) bushing. Manufacturer states KO bushings are designed to house 2 wires. Recommend removing one wire and running it through another knock out.

**Location:** Garage



*3 wires in knock out bushing*

#### **10. Condition:** • Sheath into the panel

Cable sheath shall extend a minimum of 1/4 inch inside of the panel to protect the wires. Recommend pulling sheath into panel 1/4 inch.

**Location:** Garage



*Sheath into the panel*

### DISTRIBUTION SYSTEM \ Wiring - installation

#### **11. Condition:** • [Too close to edge of stud](#)

# ELECTRICAL

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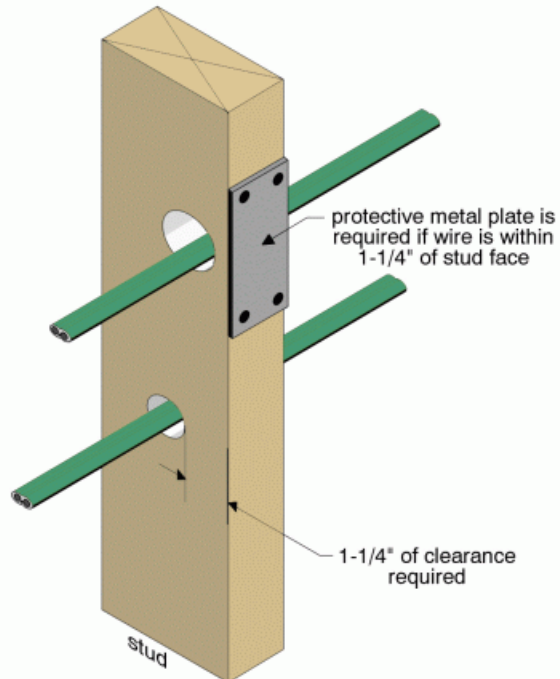
REFERENCE

Various nail guards needed on studs where hole is drilled closer than 1 & 1/4 inch from the face of the stud. Recommend adding nail guards to protect electrical wire from nail or screw damage.

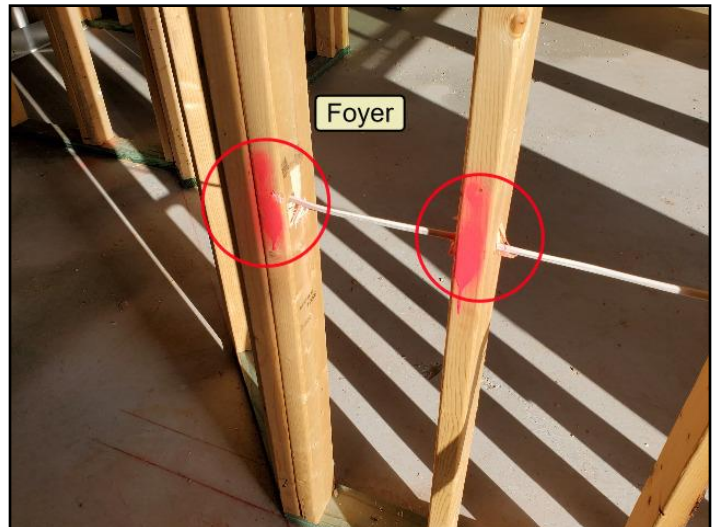
**Implication(s):** Electric shock | Fire hazard

**Location:** Various

## Edge clearance for wires in studs and joists



*Too close to edge of stud*



*Too close to edge of stud*

# ELECTRICAL

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*Too close to edge of stud*



*Too close to edge of stud*



*Too close to edge of stud*

## **DISTRIBUTION SYSTEM \ Outlets (receptacles)**

### **12. Condition:** • Receptacle Spacing

Receptacles in master bedroom more than 12 feet apart. Receptacles shall be installed so that no point measured horizontally along the floor line of any wall space is more than 6 feet, from a receptacle outlet. Recommend installing one receptacle or moving existing receptacles to be within 12 feet of each other.

**Location:** Master Bedroom





*Receptacle Spacing*

**13. Condition:** • Receptacle Spacing

Missing receptacle in kitchen area adjacent to island. If the area is going to be countertop space then the receptacles cannot exceed 4 feet apart and shall be within 2 feet of the edge of the countertop. Otherwise the requirements for wall space installation shall be met. Receptacles shall be installed so that no point measured horizontally along the floor line of any wall space is more than 6 feet, from a receptacle outlet. Recommend installing at least one receptacle in the wall space adjacent to the kitchen island.

**Location:** Kitchen



*Receptacle Spacing*

**DISTRIBUTION SYSTEM \ Outlets (receptacles) - number or location**

**14. Condition:** • Garage Receptacles

Receptacle missing on right side car space of garage. One receptacle outlet is required in each vehicle bay in attached garages, in addition to to any provided for specific equipment. Recommend installing receptacle on right side of garage.

**Location:** Garage



# ELECTRICAL

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*Garage Receptacles*

## Recommendations

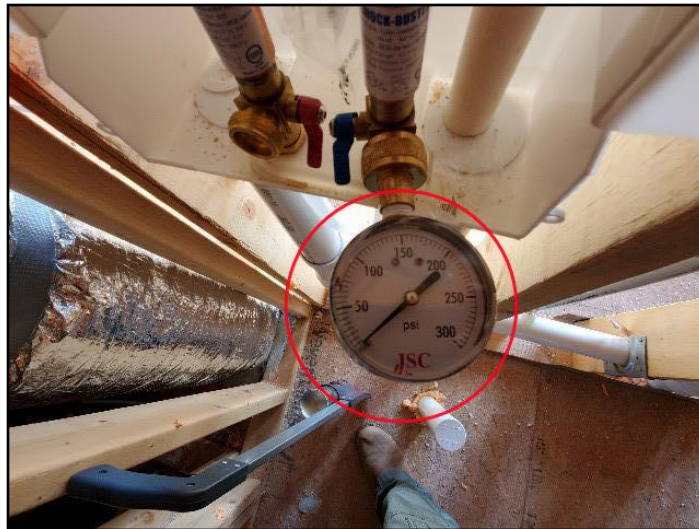
### SUPPLY PLUMBING \ Water supply piping in building

#### **15. Condition:** • Water-supply system testing

No water pressure. Water-supply system shall be tested and proved tight under a water pressure of not less than the working pressure or by an air test of not less than 50 psi. This pressure shall be held for not less than 15 minutes.

Recommend builder test water-supply system and ensure no leaks are present.

**Location:** Throughout



*Water-supply system testing*

# INTERIOR

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## Recommendations

### OPTIONAL \ Interior

#### **16. Condition:** • Openings in fireplace chase

Openings in fireplace chase not fire blocked. All penetrations through the fire place chase must be sealed. Crew was fire caulking and foaming at the time of inspection. Recommend checking to ensure all penetrations in fire place chase were sealed.

**Location:** Living Room



Openings in fireplace chase



Openings in fireplace chase

### WALLS \ General notes

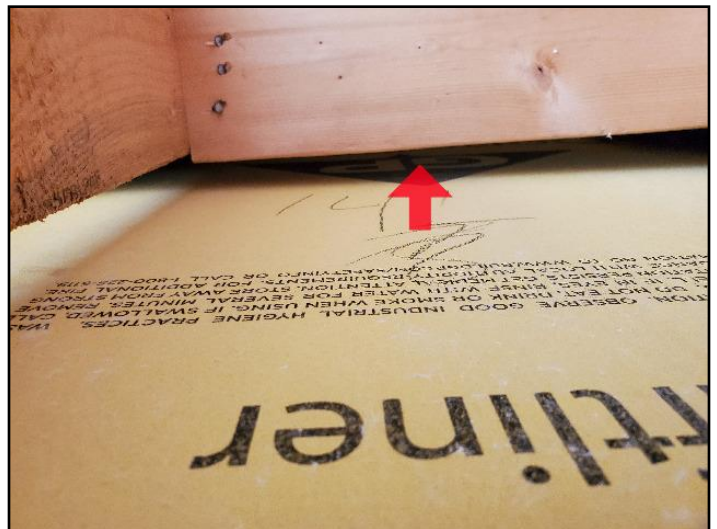
#### **17. Condition:** • Fire Caulk

Fire caulk missing at top plates and bottom plates along firewall throughout. Crew was caulking and foaming at time of inspection. Recommend builder provide proof that fire caulking was completed.

**Location:** Throughout



Fire Caulk



Fire Caulk



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*Fire Caulk*

## FLOORS \ Subflooring

**18. Condition:** • Floor penetrations

Recommend sealing all floor penetrations.

**Location:** Various



*Floor penetrations*



*Floor penetrations*



# INTERIOR

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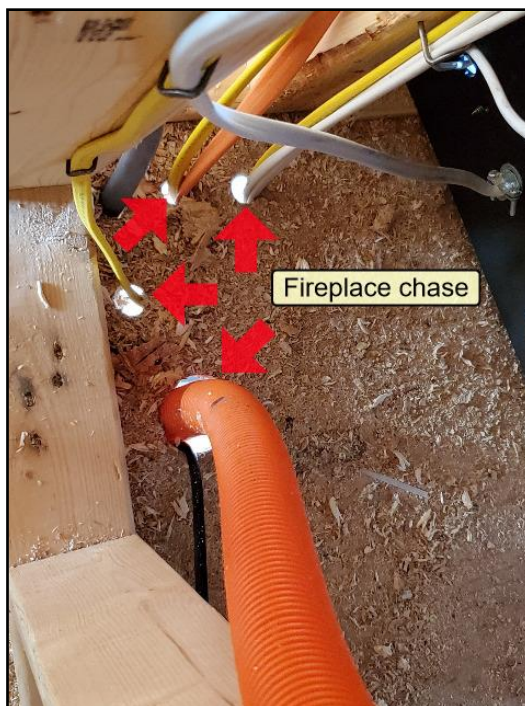
STRUCTURE

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*Floor penetrations*

## WINDOWS \ General notes

**19. Condition:** • Windows not foamed

Windows and doors not foamed. All windows and doors shall be foamed for energy code compliance. If foaming is not completed until insulation, recommend builder provide proof that windows and doors were foamed at that time.

**Location:** Throughout



*Windows not foamed*

## GARAGE \ Walls and ceilings

**20. Condition:** • Fire separation between garage and living space not adequate

Penetrations from garage to living space not sealed. Recommend fire blocking all penetrations in ceiling from garage to

# INTERIOR

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living space.

**Implication(s):** Fire hazard

**Location:** Garage



*Fire separation between garage and living...*

**21. Condition:** • Hole in firewall

Hole in firewall leading to adjacent unit in garage. Nothing is permitted to penetrate the firewall. Recommend patching the hole in the firewall and sealing with fire caulk.

**Location:** Garage



*Hole in firewall*

**END OF REPORT**

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS