



# YOUR INSPECTION REPORT

*Inspection, Education, Knowledge.*

PREPARED BY:  
ADAM HANNAN



FOR THE PROPERTY AT:

67 Westholme Avenue  
Toronto, ON M6P 3B9

PREPARED FOR:  
JENNIFER PERCIVAL

INSPECTION DATE:  
Friday, January 11, 2019

## TIP

THE  
INSPECTION  
PROFESSIONALS

THE INSPECTION PROFESSIONALS, INC.  
3120 Rutherford Rd.  
Concord, ON L4K 0B2

416-725-5568  
HST# 89249 4501 RT0001

[www.inspectionpros.ca](http://www.inspectionpros.ca)  
[adam@inspectionpros.ca](mailto:adam@inspectionpros.ca)

# TIP

THE  
INSPECTION  
PROFESSIONALS

January 12, 2019

Dear Jennifer Percival,

RE: Report No. 2390, v.2  
67 Westholme Avenue  
Toronto, ON  
M6P 3B9

Thank you for choosing The Inspection Professionals to perform your Home Inspection.

The Inspection Professionals (TIP) is a Full-Time Professional, Certified multi-inspector company founded by Adam Hannan. Since 2006, Adam has performed thousands of residential and commercial inspections and has become a respected expert in his field. Adam has a passion for education and has been an inspection instructor teaching at Community Colleges and Universities since 2009.

Adam is a member of the Ontario Association of Home Inspectors and International Association of Certified Home Inspectors.

"We inspect every home as if we were buying it for ourselves. We care about our clients and we strive to exceed expectations. We offer a professional unbiased opinion of the current performance of the home regardless of who we are working for."

-Adam

#### BUYERS -

An Onsite Review is an essential component to a complete home inspection. In order to more thoroughly familiarize yourself with the property and our findings, please book an Onsite Review at your convenience by calling (416) 725-5568. Once we have completed the Onsite Review, we will transfer the inspection report to the buyer. The fee for this service is only \$249. (A minimum savings of \$175)

Sincerely,

ADAM HANNAN  
on behalf of  
THE INSPECTION PROFESSIONALS, INC.

THE INSPECTION PROFESSIONALS,  
INC.  
3120 Rutherford Rd.  
Concord, ON L4K 0B2  
416-725-5568  
HST# 89249 4501 RT0001  
[www.inspectionpros.ca](http://www.inspectionpros.ca)  
[adam@inspectionpros.ca](mailto:adam@inspectionpros.ca)

# SUMMARY

67 Westholme Avenue, Toronto, ON January 11, 2019

Report No. 2390, v.2

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

PHOTOS

MORE INFO

REFERENCE

This Summary outlines some of the potentially short-term significant issues from a cost standpoint. This section is provided as a COURTESY ONLY and cannot be considered a substitute for reading the entire report. Please read the complete document.

It is not possible for a home inspector to predict the future. It would be advisable to annually budget between 0.5% to 1% of the value of the home for unforeseen repairs and maintenance. This would hold true for any house that you were considering.

Things will wear out, break down, and fail without warning. This is a fact of home ownership.

NOTE: ALL ELECTRICAL ISSUES ARE CONSIDERED PRIORITY ITEMS

NOTE: FOR BALLPARK COSTS THE TERM 'MINOR' REFERS TO COSTS UNDER \$500

NOTE: FOR DIRECTIONAL PURPOSES USED THROUGHOUT THE REPORT, THE "FRONT" OF THE HOUSE IS REFERENCED AS FACING THE FRONT DOOR FROM THE EXTERIOR.

-----  
During a home inspection we inspect all visible systems and components. There are literally hundreds of potential minor issues found in every home, new and old. The focus of this inspection was not to list all the minor deficiencies. But rather, the focus of this inspection was to identify MAJOR issues with MAJOR systems and components. To simplify and give you a better understanding of what is considered a major issue, the inspection can generally be categorized as follows.

- 1)OBSERVABLE STRUCTURAL DEFECTS
- 2)OBSERVABLE WATER LEAKAGE/DAMAGE Roof, Plumbing, and basement moisture intrusion.
- 3)OBSERVABLE ELECTRICAL DEFECTS
- 4)LIFESPAN SYSTEMS- Roof Covering, Heating System, Cooling System, Windows

For Ballpark costs of various home components, please click here:

<http://www.inspectionlibrary.com/costs.htm>

## Roofing

### RECOMMENDATIONS \ Overview

**Condition:** • Due to height of roof, we did not access flat roof. ALL flat roofs should be inspected annually by a professional roofing contractor.

The flat roof is reported to be approximately 15 years old.

## Cooling & Heat Pump

### AIR CONDITIONING \ Life expectancy

**Condition:** • Aging

Typical lifespan is 10-15 years. The current unit is 12 years old (manufactured 2007). The unit could not be tested due to low outdoor temperature. Test unit in the Spring.

**Location:** Exterior

# SUMMARY

67 Westholme Avenue, Toronto, ON January 11, 2019

Report No. 2390, v.2

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

PHOTOS

MORE INFO

REFERENCE

**Task:** Replace

**Time:** When necessary / Unpredictable

**Cost:** \$3,000 - and up

## Insulation and Ventilation

### ATTIC/ROOF \ Hatch/Door

**Condition:** • [Inaccessible](#)

The attic hatch is sealed shut, therefore we could not observe the attic space. Provide larger access and inspect attic for issues with structure, insulation, water damage, vermiculite asbestos, and mold.

**Implication(s):** Difficult access

**Location:** Second Floor Bedroom Closet

**Task:** Provide access and inspect

**Time:** Less than 1 year

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

<http://www.inspectionlibrary.com/wtgw.htm>



# ROOFING

67 Westholme Avenue, Toronto, ON January 11, 2019

Report No. 2390, v.2

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

PHOTOS

MORE INFO

REFERENCE

## Descriptions

**Sloped roofing material:** • [Asphalt shingles](#)

**Flat roofing material:** • Unknown

**Probability of leakage:** • Medium

**Approximate age:** • 12 years • 10-15 years

**Typical life expectancy:** • 15-20 years

## Observations and Recommendations

### RECOMMENDATIONS \ Overview

**Condition:** • When replacing a roof covering, it is common to apply a second layer over the first to minimize costs. Best practice however, is to remove the old roof covering before installing the new roof. Adding a third layer of roofing is not recommended. It is common when re-roofing to find concealed damage to roofing boards, these and other hidden components. There is no practical way to predict the presence or extent of the damage

**Condition:** • Due to height of roof, we did not access flat roof. ALL flat roofs should be inspected annually by a professional roofing contractor.

The flat roof is reported to be approximately 15 years old.

### SLOPED ROOFING \ Asphalt shingles

**Condition:** • Aging

Typical lifespan for this type of roof covering is 15-17 years. The current roof covering is reported to be 14 years old and is aging with typical wear - granule loss.

**Location:** Throughout Exterior Roof

**Task:** Replace

**Time:** Less than 3 years

**Cost:** \$4,000 - \$6,500



1. Aging



2. Aging

### FLAT ROOF FLASHINGS \ Wear or damage

**Condition:** • [Damage, loose, bent](#)

# ROOFING

67 Westholme Avenue, Toronto, ON January 11, 2019

Report No. 2390, v.2

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

PHOTOS

MORE INFO

REFERENCE

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Exterior

**Task:** Repair

**Time:** Less than 1 year

**Cost:** Minor Regular maintenance item



3. Damage, loose, bent

## Inspection Methods and Limitations

**Roof inspection limited/prevented by:** • Lack of access (too high/steep)

**Inspection performed:** • Through Window - Limited View

**Inspection performed:** • With binoculars from the ground

# EXTERIOR

67 Westholme Avenue, Toronto, ON January 11, 2019

Report No. 2390, v.2

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

PHOTOS

MORE INFO

REFERENCE

## Descriptions

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout discharge: • [Above grade](#)

Lot slope: • [Away from building](#) • [Flat](#)

Wall surfaces and trim: • [Vinyl siding](#)

Wall surfaces - masonry: • [Brick](#)

## Observations and Recommendations

### ROOF DRAINAGE \ Gutters

**Condition:** • Dirty/debris

**Location:** Various Exterior

**Task:** Clean

**Time:** Ongoing

**Cost:** Regular maintenance item

### WALLS \ Masonry (brick, stone) and concrete

**Condition:** • Most masonry walls have small cracks due to shrinkage or minor settlement. These will not be individually noted in the report, unless leakage, building movement or similar problems are noted

**Condition:** • [Spalling](#)

Minor Spalling/ masonry deterioration noted at various areas. Repair / Replace / Tuck point masonry. This is regular maintenance for a home of this age.

**Implication(s):** Chance of structural movement | Weakened structure

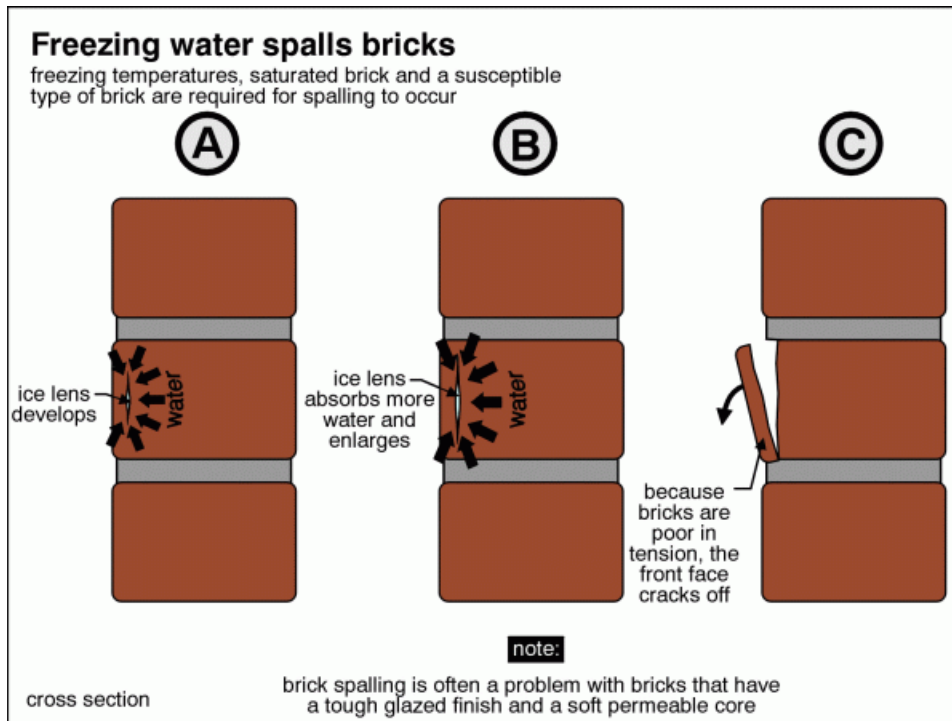
**Location:** Various Exterior Wall

**Task:** Repair / Replace

**Time:** Regular maintenance

**Cost:** Regular maintenance item

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
LINKS	PHOTOS	MORE INFO	REFERENCE						



4. Example

**Condition:** • [Mortar deterioration](#)

Tuck Pointing (Re-pointing) is a common maintenance item with all older brick and concrete properties.

Provide mortar (Repointing, Tuck pointing) at various wall locations.

**Implication(s):** Chance of structural movement | Weakened structure | Chance of water entering building

**Location:** Various Exterior Wall and Chimney

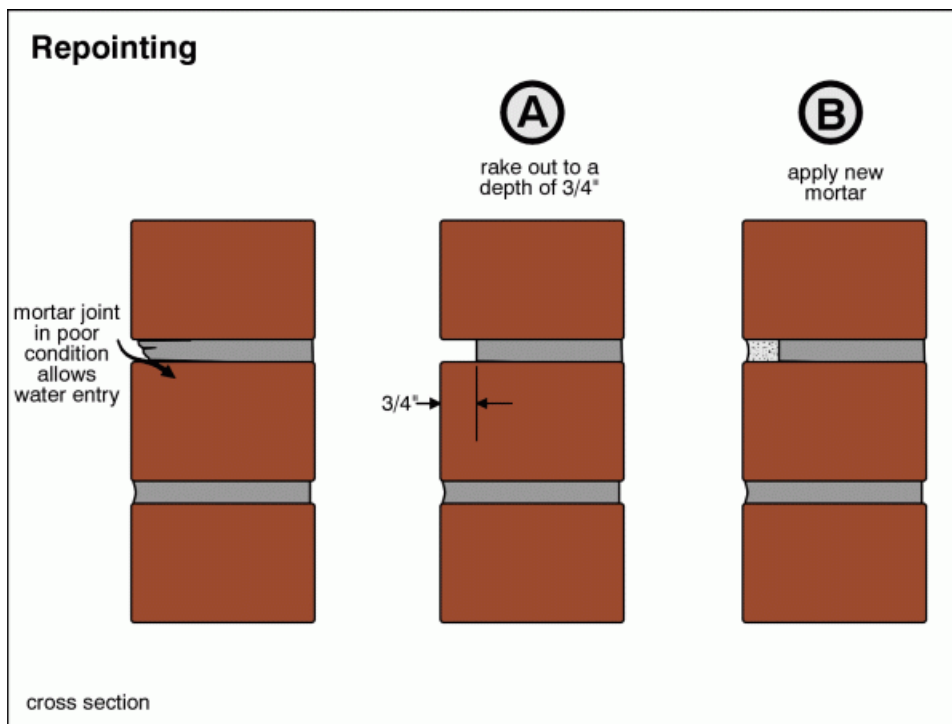
**Task:** Improve

**Time:** Regular maintenance

**Cost:** Regular maintenance item



SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
LINKS	PHOTOS	MORE INFO	REFERENCE						



## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Stairs and landings

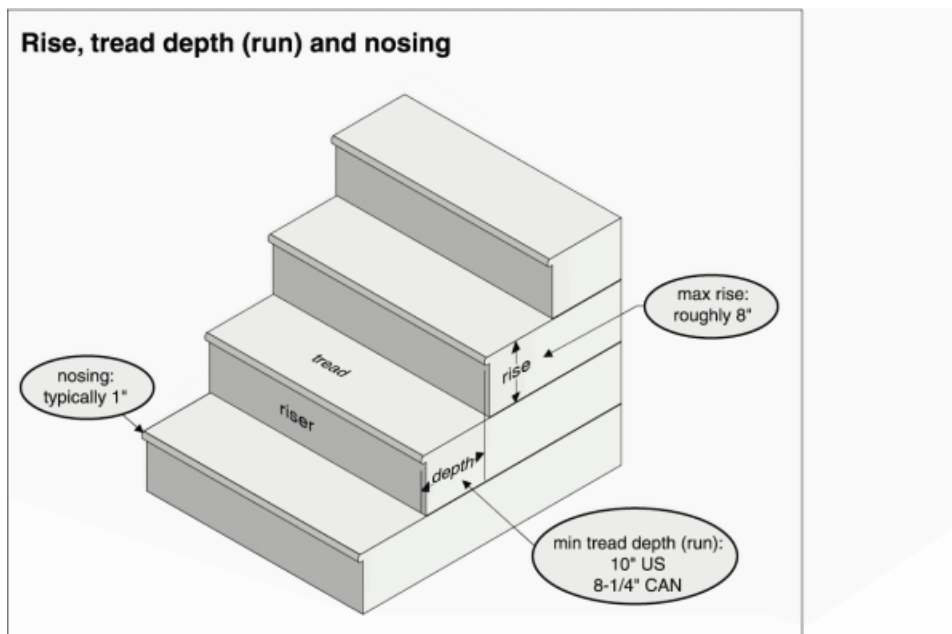
**Condition:** • [Stair rise too big or not uniform](#)

**Implication(s):** Trip or fall hazard

**Location:** Exterior Walkout steps

**Task:** Improve

**Time:** As Needed



## BASEMENT WALKOUTS \ General

**Condition:** • [Guard and handrail problems](#)

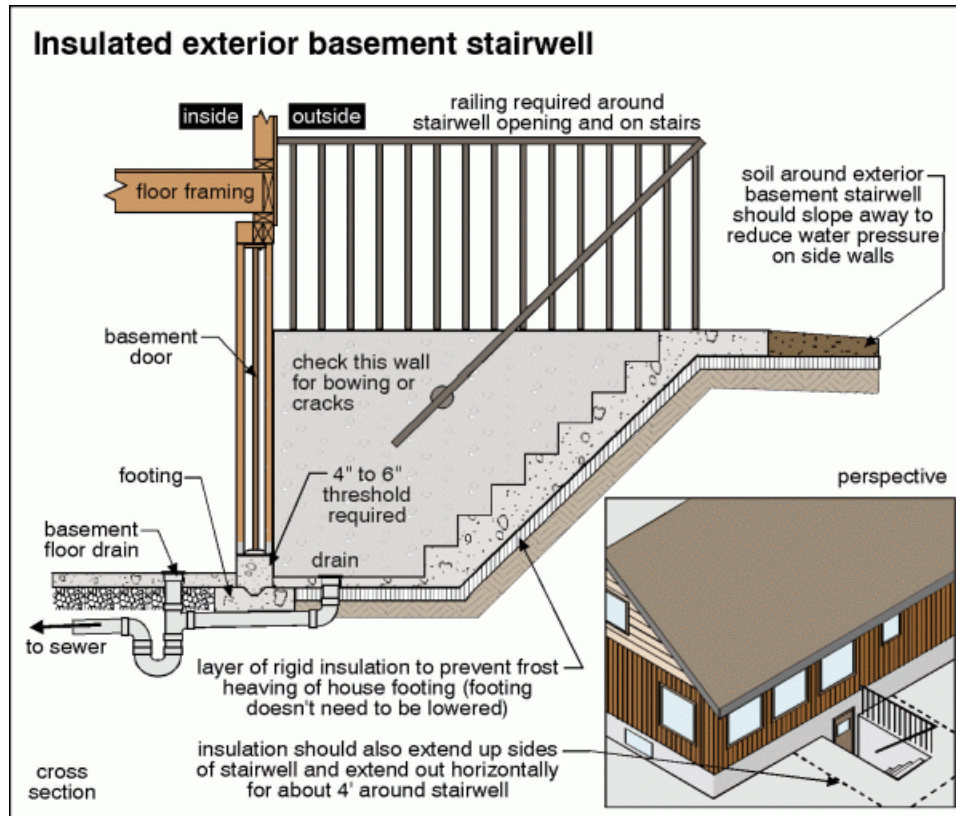
**Implication(s):** Fall hazard

**Location:** Exterior

**Task:** Provide Handrail

**Time:** Less than 1 year

**Cost:** Minor



## LANDSCAPING \ Lot grading

**Condition:** • During rainfall, walk the exterior to view if any water is draining towards the home. Improve these areas as needed

This is a general recommendation we make on all homes.

## Inspection Methods and Limitations

**Upper floors inspected from:** • Ground level

# STRUCTURE

67 Westholme Avenue, Toronto, ON January 11, 2019

Report No. 2390, v.2

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

PHOTOS

MORE INFO

REFERENCE

## Descriptions

**Configuration:** • [Basement](#)

**Foundation material:** • [Stone](#)

**Floor construction:** • [Joists](#)

**Exterior wall construction:** • [Masonry](#)

**Roof and ceiling framing:** • Not visible

## Observations and Recommendations

### FOUNDATIONS \ General

**Condition:** • [Typical minor settlement](#)

**Location:** Various

## Inspection Methods and Limitations

**Inspection limited/prevented by:** • Ceiling, wall and floor coverings • Carpet/furnishings • Storage • New finishes/paint

**Attic/roof space:** • No access

**Percent of foundation not visible:** • 95 %

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

PHOTOS

MORE INFO

REFERENCE

## Descriptions

**General:** • ALL ELECTRICAL CONDITIONS ARE CONSIDERED PRIORITY ITEMS

**Service entrance cable and location:** • [Overhead - cable type not determined](#)

**Service size:** • [100 Amps \(240 Volts\)](#)

**Main disconnect/service box type and location:** • [Breakers - basement](#)

**Distribution panel type and location:** • [Breakers - basement](#)

**Distribution panel rating:** • [125 Amps](#)

**Distribution wire material and type:** • [Copper - non-metallic sheathed](#)

**Type and number of outlets (receptacles):** • [Grounded - upgraded](#)

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • [GFCI - bathroom](#)

**Smoke alarms (detectors):** • [Present](#)

## Observations and Recommendations

### SERVICE BOX, GROUNDING AND PANEL \ Panel wires

**Condition:** • [Double taps](#)

Two Neutrals are double lugged. This is no longer an acceptable practise.

**Implication(s):** Fire hazard

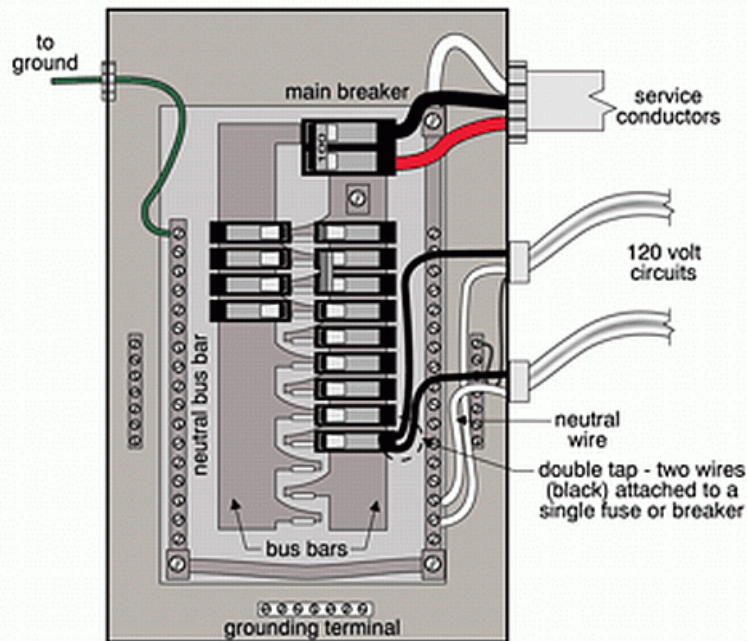
**Location:** Basement Panel

**Task:** Correct

**Time:** As Soon As Possible

**Cost:** Less than - \$200

## Double tapping (double lugging)



### DISTRIBUTION SYSTEM \ Knob-and-tube wiring

**Condition:** • [Replace when renovating](#)

Based on the age of the property active Knob and Tube may be present in the walls or ceiling, although NONE WAS OBSERVED during the inspection. The wiring appears to have been upgraded. Sometimes knob and tube wiring is found during renovations. If found during renovations, replacement is recommended to satisfy insurance companies. Many insurance companies will require an electrical audit to determine if there is knob and tube present.

**Implication(s):** Nuisance | Potential problem when obtaining home insurance

### DISTRIBUTION SYSTEM \ Junction boxes

**Condition:** • [Cover loose or missing](#)

**Implication(s):** Fire hazard | Electric shock

**Location:** Front Basement

**Task:** Provide cover

**Time:** Immediate

**Cost:** Minor





5. Cover loose or missing

## DISTRIBUTION SYSTEM \ Outlets (receptacles)

**Condition:** • [Loose](#)

**Implication(s):** Fire hazard | Electric shock

**Location:** Front Second Floor Bedroom

**Task:** Correct

**Time:** Prior to first use

**Cost:** Regular maintenance item

## DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

**Condition:** • Smoke and carbon monoxide (CO) detectors should be provided at every floor level of every home. Smoke detectors should be close to sleeping areas, and carbon monoxide detectors should be in any room with a wood-burning stove or fireplace. These devices are not tested as part of a home inspection. Once you take possession of the home, detectors should be tested regularly, and replaced every 10 years. If unsure of the age of a smoke detector, it should be replaced. Smoke detector batteries should be replaced annually.

## Inspection Methods and Limitations

**System ground:** • Quality of ground not determined

# HEATING

67 Westholme Avenue, Toronto, ON January 11, 2019

Report No. 2390, v.2

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

PHOTOS

MORE INFO

REFERENCE

## Descriptions

**System type:** • [Furnace](#)

**Fuel/energy source:** • [Gas](#)

**Heat distribution:** • [Ducts and registers](#)

**Approximate capacity:** • [60,000 BTU/hr](#)

**Efficiency:** • [High-efficiency](#)

**Approximate age:** • [12 years](#)

**Typical life expectancy:** • Furnace (high efficiency) 15 to 20 years

**Fireplace/stove:** • Wood-burning fireplace - not in service • Non-functional

## Observations and Recommendations

### General

• Set up annual service plan which includes coverage for parts and labour.

### FIREPLACE \ General

**Condition:** • Fireplace, flue and chimney should be inspected and swept as needed by a WETT certified technician and any recommended repairs completed before the fireplace is used. (WETT - Wood Energy Technology Transfer Inc. is a non-profit training and education association.) See [www.wettinc.ca](http://www.wettinc.ca).

Non functional. If you plan to use the fireplace, consult with specialist about requirements to update to modern standards.

**Location:** First Floor Family Room

**Task:** Upgrade

**Time:** If you plan to use

## Inspection Methods and Limitations

**Safety devices:** • Not tested as part of a building inspection

**Heat loss calculations:** • Not done as part of a building inspection

**Heat exchanger:** • Not visible

# COOLING & HEAT PUMP

67 Westholme Avenue, Toronto, ON January 11, 2019

Report No. 2390, v.2

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

PHOTOS

MORE INFO

REFERENCE

## Descriptions

**Air conditioning type:** • [Air cooled](#)

**Cooling capacity:** • [24,000 BTU/hr](#)

**Compressor approximate age:** • 12 years

**Typical life expectancy:** • 10 to 15 years

## Observations and Recommendations

### AIR CONDITIONING \ Life expectancy

**Condition:** • Aging

Typical lifespan is 10-15 years. The current unit is 12 years old (manufactured 2007). The unit could not be tested due to low outdoor temperature. Test unit in the Spring.

**Location:** Exterior

**Task:** Replace

**Time:** When necessary / Unpredictable

**Cost:** \$3,000 - and up

## Inspection Methods and Limitations

**Inspection limited/prevented by:** • To reduce risk of damaging the compressor, air conditioning systems are not tested until they have been started up for the season.

**Inspection limited/prevented by:** • Low outdoor temperature

**Heat gain/loss calculations:** • Not done as part of a building inspection

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

**INSULATION**

PLUMBING

INTERIOR

LINKS

PHOTOS

MORE INFO

REFERENCE

## Descriptions

**Attic/roof insulation material:** • Not determined • Not visible

**Attic/roof insulation amount/value:** • [Not visible](#)

**Attic/roof air/vapor barrier:** • [Not visible](#)

## Observations and Recommendations

### ATTIC/ROOF \ Hatch/Door

**Condition:** • [Inaccessible](#)

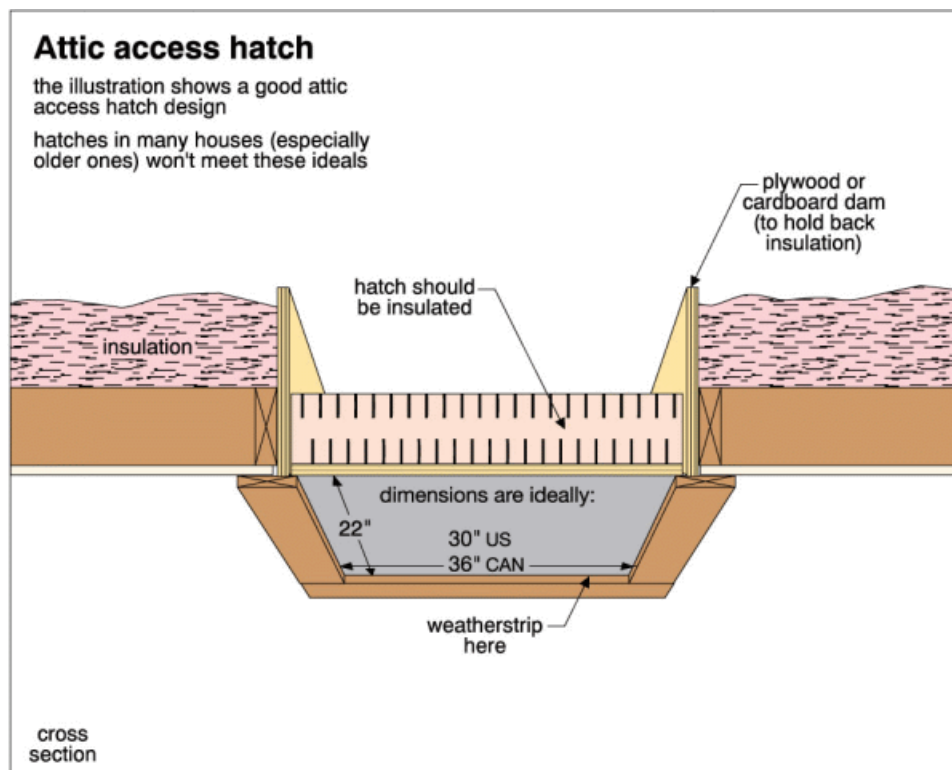
The attic hatch is sealed shut, therefore we could not observe the attic space. Provide larger access and inspect attic for issues with structure, insulation, water damage, vermiculite asbestos, and mold.

**Implication(s):** Difficult access

**Location:** Second Floor Bedroom Closet

**Task:** Provide access and inspect

**Time:** Less than 1 year



# INSULATION AND VENTILATION

67 Westholme Avenue, Toronto, ON January 11, 2019

Report No. 2390, v.2

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

PHOTOS

MORE INFO

REFERENCE



6. *Inaccessible*

## Inspection Methods and Limitations

**Inspection prevented by no access to:** • Attic • Walls, which were spot checked only

**Roof ventilation system performance:** • Not evaluated

**Air/vapor barrier system:** • Continuity not verified



SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

**PLUMBING**

INTERIOR

LINKS

PHOTOS

MORE INFO

REFERENCE

## Descriptions

### Service piping into building:

- [Copper](#)

As reported by homeowner, Recently upgraded to copper.

### Supply piping in building: • [Copper](#)

Main water shut off valve at the: • Front of the basement

Water flow and pressure: • [Functional](#)

Water heater type: • [Induced draft](#)

Water heater fuel/energy source: • [Gas](#)

Water heater tank capacity: • 189 liters

Water heater approximate age: • 12 years

Water heater typical life expectancy: • 10 - 15 years

Waste and vent piping in building: • [Plastic](#)

Pumps: • [Sump pump](#)

Floor drain location: • Center of basement

Backwater valve: • Present. These valves help prevent sewer backup. Many insurance companies insist these be installed before they will offer a sewer backup endorsement, which we strongly recommend you obtain.

## Observations and Recommendations

### WATER HEATER \ Life expectancy

Condition: • [Medium failure probability](#)

Typical life expectancy for this unit is 10-15 years. The current unit is 12 years old. Replace when necessary. (Rental)

Implication(s): No hot water

Location: Basement

Task: Replace

Time: When necessary / Unpredictable

Cost: Rental

### WASTE PLUMBING \ Drain piping - performance

Condition: • Sewage backup insurance is recommended.

Implication(s): drainage and/or leakage problems

Location: Basement

Task: Provide

Time: Immediate

Condition: • Drain line video camera inspection recommended

This is recommended on all homes built prior to 1970

Implication(s): Drainage and/or leakage problems

Location: Basement

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

PHOTOS

MORE INFO

REFERENCE

**Task:** Camera inspection

**Time:** Immediate

## Inspection Methods and Limitations

**Items excluded from a building inspection:** • Tub and basin overflows are not tested as part of a home inspection. Leakage at the overflows is a common problem.

**Items excluded from a building inspection:** • Well • Water quality • Septic system • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Pool • Spa

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

PHOTOS

MORE INFO

REFERENCE

## Descriptions

**Major floor finishes:** • [Hardwood](#)

**Major wall and ceiling finishes:** • [Plaster/drywall](#) • [Stucco/texture/stipple](#)

**Windows:** • [Fixed](#) • [Single/double hung](#) • [Casement](#)

**Glazing:** • [Double](#)

**Exterior doors - type/material:** • Hinged

## Observations and Recommendations

### General

- Typical minor flaws were noted on floors, walls and ceilings. These cosmetic issues reflect normal wear and tear
- Work in Progress Observed

### FLOORS \ General

**Condition:** • Worn

**Implication(s):** Material deterioration

**Location:** Various

**Task:** Improve

**Time:** Discretionary

**Cost:** Regular maintenance item

### FLOORS \ Subflooring

**Condition:** • Slope or Sag Noted. Older homes tend to have saggy, sloping floors. If you choose to make repairs to level the floors, repairs can require invasive and extensive work.

### WINDOWS \ General

**Condition:** • Windows are aging.

Most of the windows are 25 years old (1994) but were in fair serviceable condition overall. Window upgrades are discretionary. As a general rule, we recommend replacement only when leaks or non functional windows are found.

**Location:** Throughout

**Task:** Upgrade

**Time:** As Needed / When necessary

### WINDOWS \ Glass (glazing)

**Condition:** • [Lost seal on double or triple glazing](#)

**Implication(s):** Shortened life expectancy of material

**Location:** Second Floor Bathroom

**Task:** Replace

**Time:** Discretionary

**Cost:** \$200 - \$400

### WINDOWS \ Sashes

**Condition:** • [Won't stay open](#)

**Implication(s):** Physical injury | Glass breaking | Nuisance

**Location:** Rear Second Floor Bedroom

**Task:** Repair / Replace

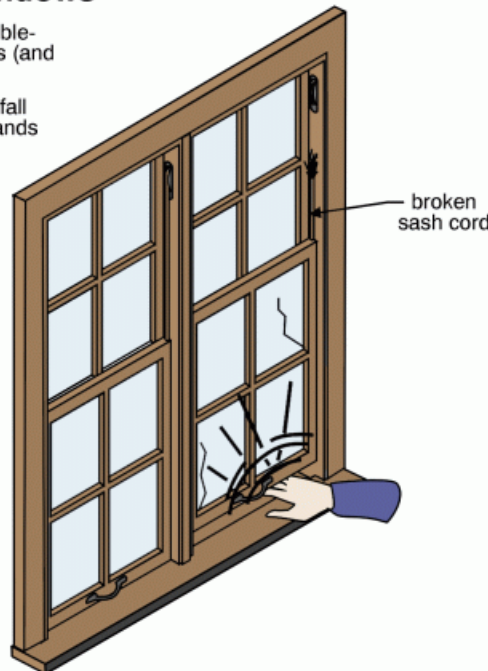
**Time:** Less than 1 year

**Cost:** Regular maintenance item

## Watch for faulty windows

be careful when operating double-hung and single-hung windows (and also self-storing storms)

if they're defective, they could fall unexpectedly - injuring your hands and/or the window



## DOORS \ Hardware

**Condition:** • Does not latch properly

Typical old style hardware. Hardware/doors need adjustment to close properly

**Implication(s):** System inoperative or difficult to operate

**Location:** Throughout Second Floor

**Task:** Replace

**Time:** As Needed

**Cost:** Regular maintenance item

## BASEMENT \ Leakage

**Condition:** • \*\*\*FOR FUTURE REFERENCE\*\*\* Basement Leakage 4-step method.

Almost every basement (and crawlspace) leaks under the right conditions. Based on a one-time visit, it's impossible to know how often or severe leaks may be. While we look for evidence of past leakage during our inspection, this is often not a good indicator of current conditions. Exterior conditions such as poorly performing gutters and downspouts, and ground sloping down toward the house often cause basement leakage problems. To summarize, wet basement issues can be addressed in 4 steps: 1. First, ensure gutters and downspouts carry roof run-off away from the home. (relatively low cost) 2. If problems persist, slope the ground (including walks, patios and driveways) to direct water away from the home. (Low cost if done by homeowner. Higher cost if done by contractor or if driveways, patios and

expensive landscaping are disturbed.) 3. If the problem is not resolved and the foundation is poured concrete, seal any leaking cracks and form-tie holes from the inside. (A typical cost is \$300 to \$600 per crack or hole.) 4. As a last resort, dampproof the exterior of the foundation, provide a drainage membrane and add/repair perimeter drainage tile. (High cost

THIS IS NOTED ON EVERY HOME INSPECTION

## **BASEMENT \ Wet basements - corrective action noted**

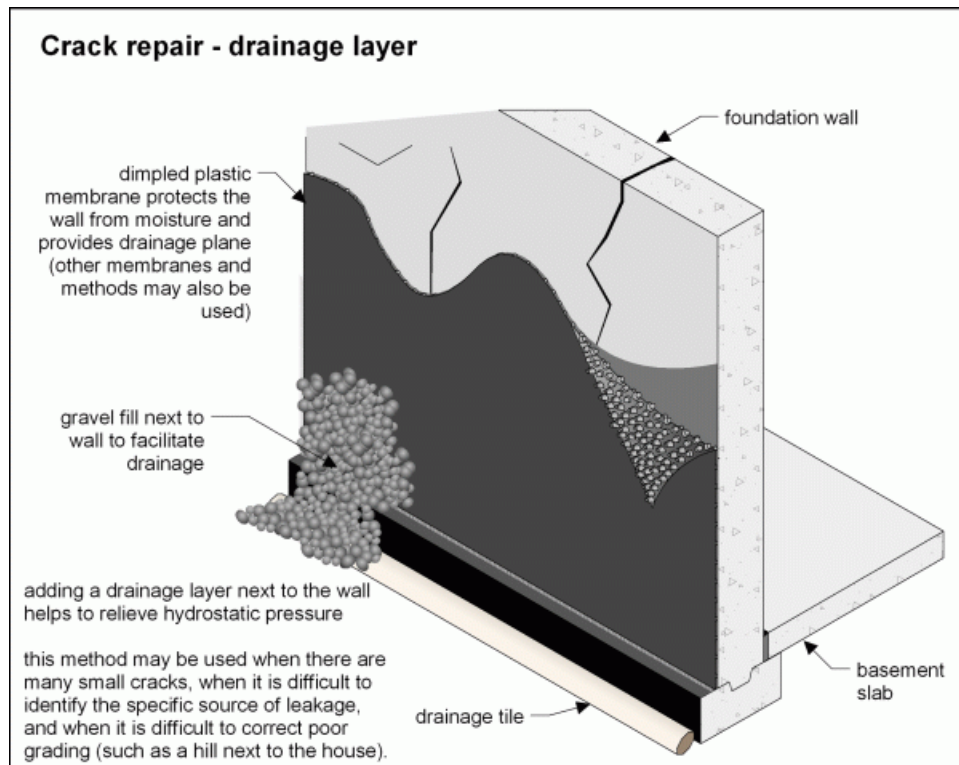
**Condition:** • [Drainage membrane](#)

For Your Information - drainage membrane was observed at part of the foundation wall. This is a common method used to help manage moisture on stone foundations.

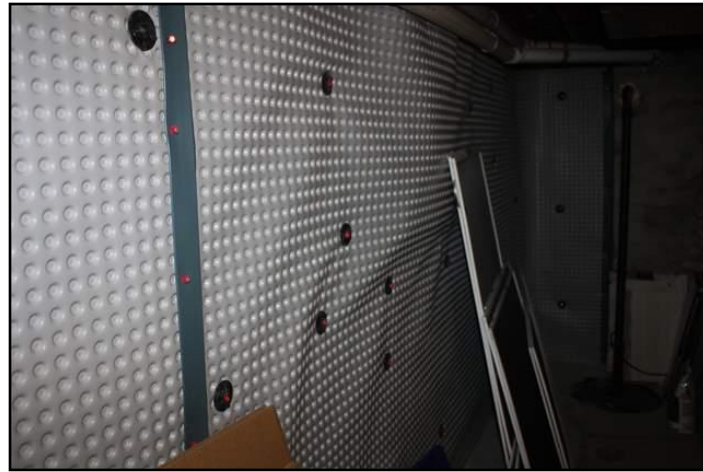
**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Basement

**Task:** For Your Information







7. Drainage membrane

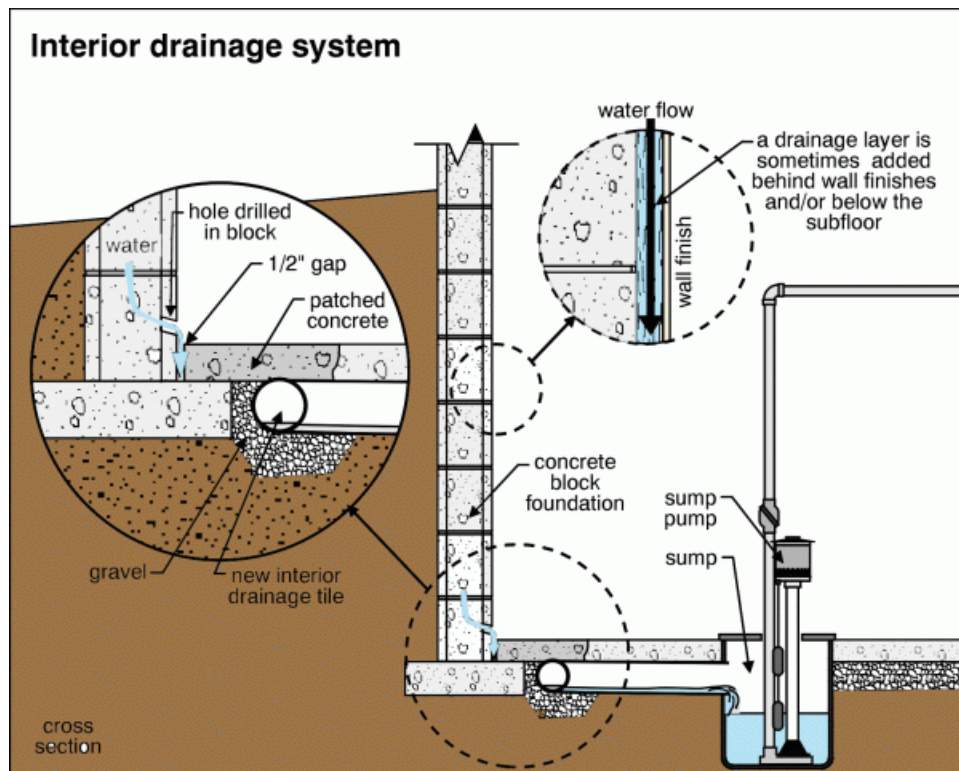
**Condition:** • [Floor patched around perimeter](#)

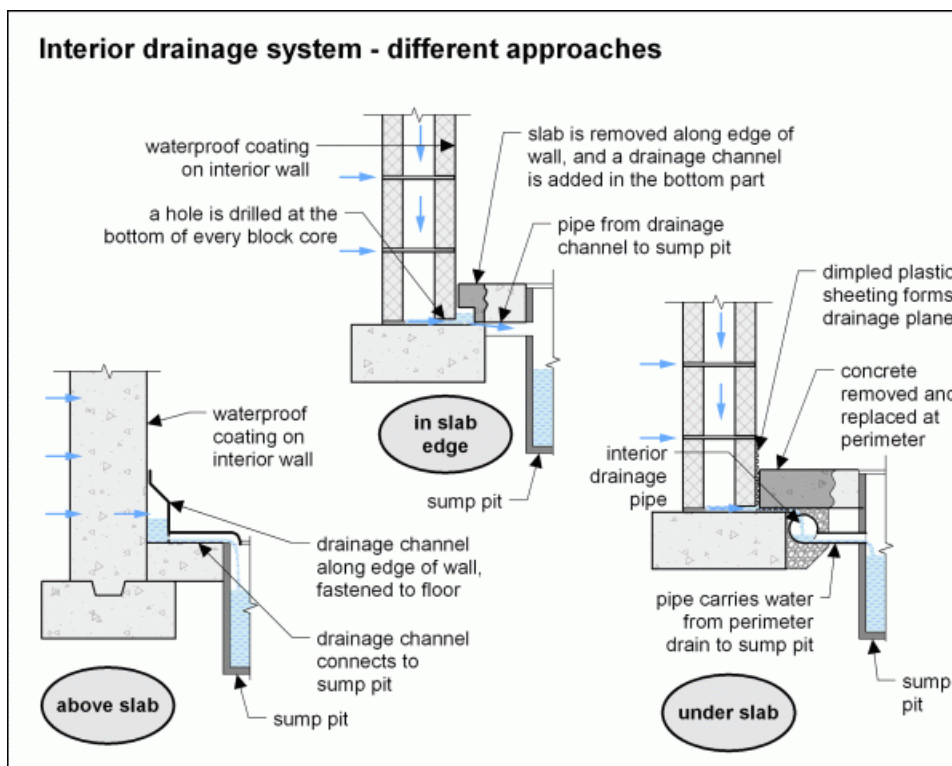
This is normal practise where drainage membranes have been added.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Basement

**Task:** Click link to read more information





## **BASEMENT \ Wet basements - vulnerability**

**Condition:** • Typical of many homes with stone, brick, or block foundations, some moisture can be expected from time to time and is not unusual. Exterior grading and water management improvements are generally effective at reducing basement moisture. A dehumidifier can also be used to keep humidity levels down.

## **POTENTIALLY HAZARDOUS MATERIALS \ General**

**Condition:** • Possible asbestos containing materials

Old 9 x 9 Floor tiles or mastic glue may contain asbestos. This type of floor tile is commonly found in older homes. If you plan to remove / disturb the floor tiles, it is recommended that lab testing be performed prior to doing so.

**Implication(s):** Health hazard

**Location:** Basement Front Room

**Task:** Further Evaluation

**Time:** Prior to removal / disturbing.

**Cost:** \$400-\$600 for testing. \$15-\$20 per sq ft for removal



8. Possible asbestos containing materials

## Inspection Methods and Limitations

**Inspection limited/prevented by:** • Storage/furnishings • New finishes/paint • Storage in closets and cabinets / cupboards

**Not included as part of a building inspection:** • Carbon monoxide alarms (detectors), security systems, central vacuum • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any

**Cosmetics:** • No comment offered on cosmetic finishes

**Appliances:** • Appliances are not inspected as part of a building inspection • Appliances are not moved during an inspection

**Percent of foundation not visible:** • 95 %

**Basement leakage:** • Cannot predict how often or how badly basement will leak • Storage in basement limited inspection

# LINKS

67 Westholme Avenue, Toronto, ON January 11, 2019

Report No. 2390, v.2

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

PHOTOS

MORE INFO

REFERENCE

## Descriptions

**General:** • [The Inspection Professionals Website](#)

**General:** • [Low concentrations of CO can go undetected and can contribute to ongoing, unidentified illnesses. At high concentrations, it can be deadly.](#)

**General:** • [Serious structural problems in houses are not very common, but when they occur they are never cheap to fix.](#) Some cant be fixed at all. This report wont turn you into a home inspector, but it will give you some of the common indicators.

**General:** • [There are so many home maintenance and repair items that are important; it can be confusing trying to establish which are the most critical.](#)

**General:** • [\(Life Cycles and Costs\)](#)

**General:** • [This report will deal with the simpler topic of home repair--basically replacing things that are worn out or fixing things that are broken.](#)

**General:** • [Common Building Technical Terms Explained](#)

# PHOTOS

67 Westholme Avenue, Toronto, ON January 11, 2019

Report No. 2390, v.2

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

PHOTOS

MORE INFO

REFERENCE

## Descriptions

**General:** • pictures taken during inspection



## MORE INFO

67 Westholme Avenue, Toronto, ON January 11, 2019

Report No. 2390, v.2

[www.inspectionpros.ca](http://www.inspectionpros.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

PHOTOS

MORE INFO

REFERENCE

### Descriptions

**GOOD ADVICE FOR ALL HOMEOWNERS:** • The following items apply to all homes and explain how to prevent and correct some common problems.

**Roof Leaks:** • Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced.

**Annual Roof Maintenance:** • We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of your roof.

**Ice Dams on Roofs:** • [Most roofs are susceptible to ice dams under the right weather conditions. This is where ice forms](#) at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather.

**Maintaining the Exterior of Your Home:** • Regular maintenance includes painting and caulking of all exterior wood.

**Insulation Amounts - Current Standards:** • Attic and roof space: R-40 (R-50 if electric heat)

**Reduce Air Leaks:** • Insulation is not effective if air (and the heat that goes with it) can escape from the home. Caulking and weather-stripping help control air leakage, improving comfort while reducing energy consumption and costs. Air leakage control improvements are inexpensive and provide a high return on investment.

**Bathtub and Shower Maintenance:** • Caulking and grout in bathtubs and showers should be checked every six months and improved as necessary to prevent leakage and damage behind wall surfaces.

**Basement/Crawlspace Leakage:** • Almost every basement (and crawlspace) leaks under the right conditions. • [Click](#) for more information.

**MORE GOOD ADVICE FOR ALL HOMES:** • Here is some more information that applies to all homes.

**MORE GOOD INFORMATION:** • The following links give you access to documents that provide additional information on a range of topics.

**Life Cycles and Costs:** • [Ballpark estimates based on a typical three-bedroom home.](#)

**Priority Items for Home Buyers:** • [A list of things you should do when moving into your new home and a few regular maintenance items.](#)

**Maintenance:** • [Scheduled maintenance can avoid repairs and extend the life expectancy of many home components.](#) This document helps you look after your home.

**When Things Go Wrong:** • [Unpleasant surprises are unfortunately part of homeownership. This document helps to explain why things happen and why your home inspector may not have predicted it.](#)

**Standards of Practice:** • [This document sets out what a professional home inspection should include, and guides the activities of our inspectors.](#)

**END OF REPORT**

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

PHOTOS

MORE INFO

REFERENCE

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS