



YOUR INSPECTION REPORT

KNOW YOUR HOME

PREPARED BY:
ADAM HANNAN



FOR THE PROPERTY AT:

54 Albani St.
Etobicoke, ON

PREPARED FOR:
JENNIFER PERCIVAL

INSPECTION DATE:
Tuesday, August 15, 2017

TIP

THE
INSPECTION
PROFESSIONALS

THE INSPECTION PROFESSIONALS, INC.
3120 Rutherford Rd.
Concord, ON L4K 0B2

416-725-5568
HST# 89249 4501 RT0001

www.inspectionpros.ca
adam@inspectionpros.ca

TIP

THE
INSPECTION
PROFESSIONALS

August 16, 2017

Dear Jennifer Percival,

RE: Report No. 2150
54 Albani St.
Etobicoke, ON

Thank you for choosing The Inspection Professionals to perform your Home Inspection.

The Inspection Professionals (TIP) is a Full-Time Professional, Certified multi-inspector company founded by Adam Hannan. Since 2006, Adam has performed thousands of residential and commercial inspections and has become a respected expert in his field. Adam has a passion for education and has been an inspection instructor teaching at Community Colleges and Universities since 2009.

Adam is a member of the Ontario Association of Home Inspectors and International Association of Certified Home Inspectors.

"We inspect every home as if we were buying it for ourselves. We care about our clients and we strive to exceed expectations. We offer a professional unbiased opinion of the current performance of the home regardless of who we are working for."

-Adam

BUYERS -

An Onsite Review is an essential component to a complete home inspection. In order to more thoroughly familiarize yourself with the property and our findings, please book an Onsite Review at your convenience by calling (416) 725-5568. Once we have completed the Onsite Review, we will transfer the inspection report to the buyer. The fee for this service is only \$249. (A minimum savings of \$175)

Sincerely,

ADAM HANNAN
on behalf of
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SUMMARY

54 Albani St., Etobicoke, ON August 15, 2017

Report No. 2150

www.inspectionpros.ca

SUMMARY

ROOFING

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This Summary outlines some of the potentially short-term significant issues from a cost standpoint. This section is provided as a COURTESY ONLY and cannot be considered a substitute for reading the entire report. Please read the complete document.

It is not possible for a home inspector to predict the future. It would be advisable to annually budget between 0.5% to 1% of the value of the home for unforeseen repairs and maintenance. This would hold true for any house that you were considering.

Things will wear out, break down, and fail without warning. This is a fact of home ownership.

NOTE: ALL ELECTRICAL ISSUES ARE CONSIDERED PRIORITY ITEMS

NOTE: FOR BALLPARK COSTS THE TERM 'MINOR' REFERS TO COSTS UNDER \$500

NOTE: FOR DIRECTIONAL PURPOSES USED THROUGHOUT THE REPORT, THE "FRONT" OF THE HOUSE IS REFERENCED AS FACING THE FRONT DOOR FROM THE EXTERIOR.

During a home inspection we inspect all visible systems and components. There are literally hundreds of potential minor issues found in every home, new and old. The focus of this inspection was not to list all the minor deficiencies. But rather, the focus of this inspection was to identify MAJOR issues with MAJOR systems and components. To simplify and give you a better understanding of what is considered a major issue, the inspection can generally be categorized as follows.

- 1)OBSERVABLE STRUCTURAL DEFECTS
- 2)OBSERVABLE WATER LEAKAGE/DAMAGE Roof, Plumbing, and basement moisture intrusion.
- 3)OBSERVABLE ELECTRICAL DEFECTS
- 4)LIFESPAN SYSTEMS- Roof Covering, Heating System, Cooling System, Windows

For Ballpark costs of various home components, please click here:

<http://www.inspectionlibrary.com/costs.htm>

Structure

FLOORS \ Beams

Condition: • Missing

Upon viewing the crawlspace we noted a beam that was not attached. We could not determine if this beam was intended to be structural or was originally there to support and keep the insulation in place. Regardless of its use, due to the span of joist under the Addition, we recommend that a contractor analyze and provide support beams and posts if necessary.

Implication(s): Chance of structural movement

Location: Crawl Space

Task: As soon as possible / Repair

Time: Less than 1 year

Cost: Consult with Contractor

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Electrical

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

Condition: • [Poor location](#)

Electrical Panels are not permitted in bathrooms. Do not use Shower until you consult with a licensed electrician. You may need to abandon use of shower or relocate panel or provide a separation that meets current standards. Having the panel in a bathroom poses a potential fire risk due to the moisture that may accumulate in panel

Implication(s): Difficult to service

Location: Basement Bathroom

Task: Correct

Time: Immediate

Cost: Too many variables. Consult with electrician

Cooling & Heat Pump

AIR CONDITIONING \ Life expectancy

Condition: • [Old](#)

Typical life expectancy for a/c units are 10-15 years. The current unit is beyond its life expectancy. The unit functioned when tested. Continue to use and plan for replacement.

Implication(s): Equipment failure | Reduced comfort

Location: Exterior

Task: Replace

Time: When necessary / Unpredictable

Cost: \$3,000 - and up

Insulation and Ventilation

ATTIC/ROOF \ Hatch

Condition: • [Inaccessible](#)

The attic hatch opening was too small, therefore we could not observe the attic. Attics are important areas. Provide larger access and inspect attic for issues with structure, insulation, water damage, vermiculite asbestos, and mold.

Implication(s): Difficult access

Location: Second Floor closet

Task: Increase hatch opening and inspect

Time: Immediate

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WINDOWS \ General

Condition: • Many of the windows are older but generally serviceable. At some point they should be replaced for cosmetics, ease-of-operation, or improved energy efficiency. Replacement windows are expensive, roughly \$30 to \$50/sq. ft. installed for moderate quality units. Although more energy-efficient, new windows will typically not pay for themselves quickly in energy savings.

Windows on first and second floor were manufactured in 1987. Overall they are in good condition for their age.

Location: Throughout

Task: Upgrade

Time: Discretionary

Cost: \$15,000 - and up

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

<http://www.inspectionlibrary.com/wtgw.htm>

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Descriptions

Sloped roofing material: • [Asphalt shingles](#) • [Strip when reroofing](#)

Observations and Recommendations

RECOMMENDATIONS \ Overview

Condition: • When replacing a roof covering, it is common to apply a second layer over the first to minimize costs. Best practice however, is to remove the old roof covering before installing the new roof. Adding a third layer of roofing is not recommended. It is common when re-roofing to find concealed damage to roofing boards, these and other hidden components. There is no practical way to predict the presence or extent of the damage

Condition: • Most roofs are susceptible to ice dams under the right weather conditions. This is where ice forms at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather

SLOPED ROOFING \ Asphalt shingles

Condition: • [Exposed fasteners](#)

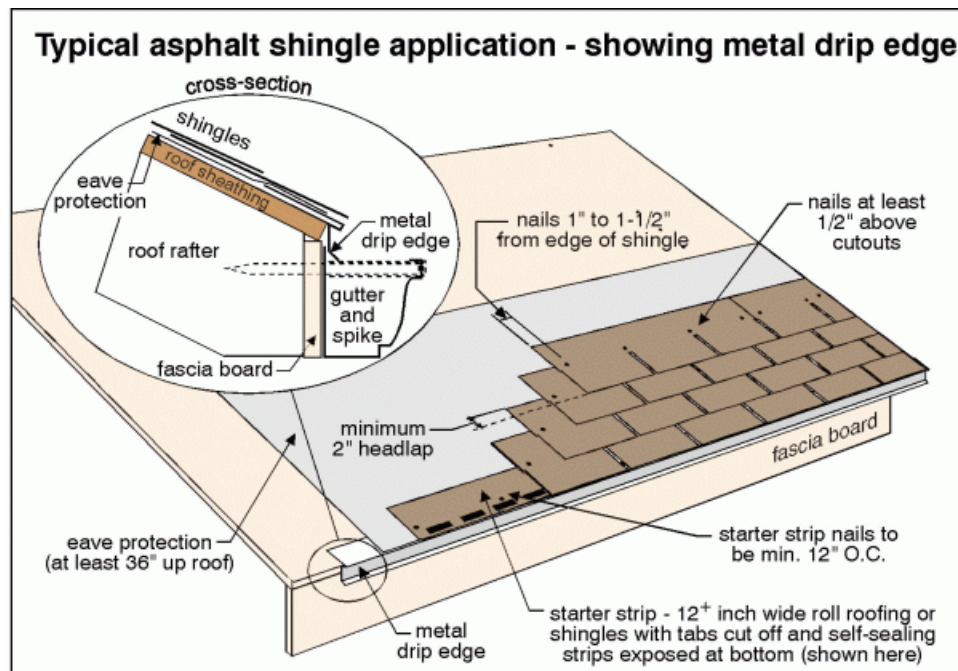
Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Front Exterior Flashing

Task: Seal

Time: Less than 1 year

Cost: Minor Regular maintenance item



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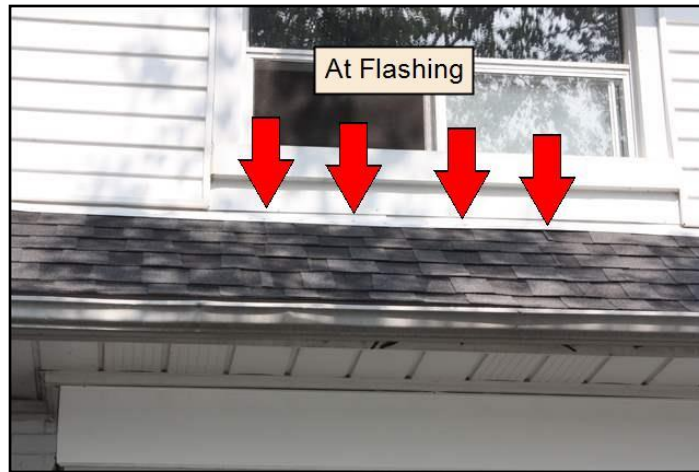
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1. *Exposed fasteners*

Inspection Methods and Limitations

Inspection performed: • Through Window - Limited View

Inspection performed: • With binoculars from the ground

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Descriptions

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout discharge: • [Above grade](#)

Lot slope: • [Away from building](#) • [Flat](#)

Wall surfaces - masonry: • [Brick](#)

Observations and Recommendations

ROOF DRAINAGE \ Gutters

Condition: • Damage

Location: Various Exterior

Task: Repair or replace

Time: Less than 1 year

Cost: Regular maintenance item \$5 to \$10 per linear foot to replace



2. Example

ROOF DRAINAGE \ Downspouts

Condition: • [Not well secured](#)

Implication(s): Leakage

Location: Right Side Exterior

Task: Improve

Time: Less than 1 year

Cost: Minor Regular maintenance item

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3. Not well secured

Condition: • [Should discharge 6 feet from building](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

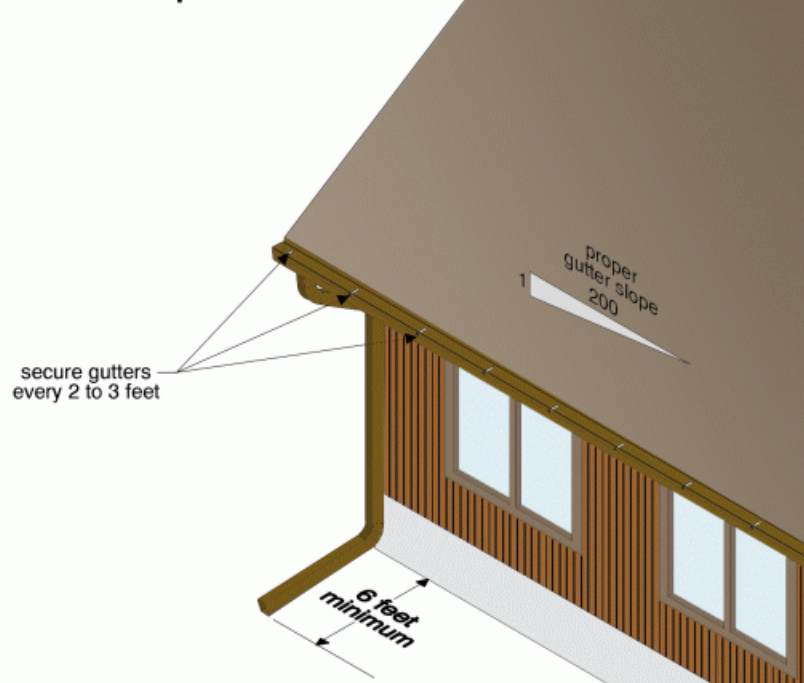
Location: Rear Exterior

Task: Improve

Time: Less than 1 year

Cost: Minor

Gutter and downspout installation



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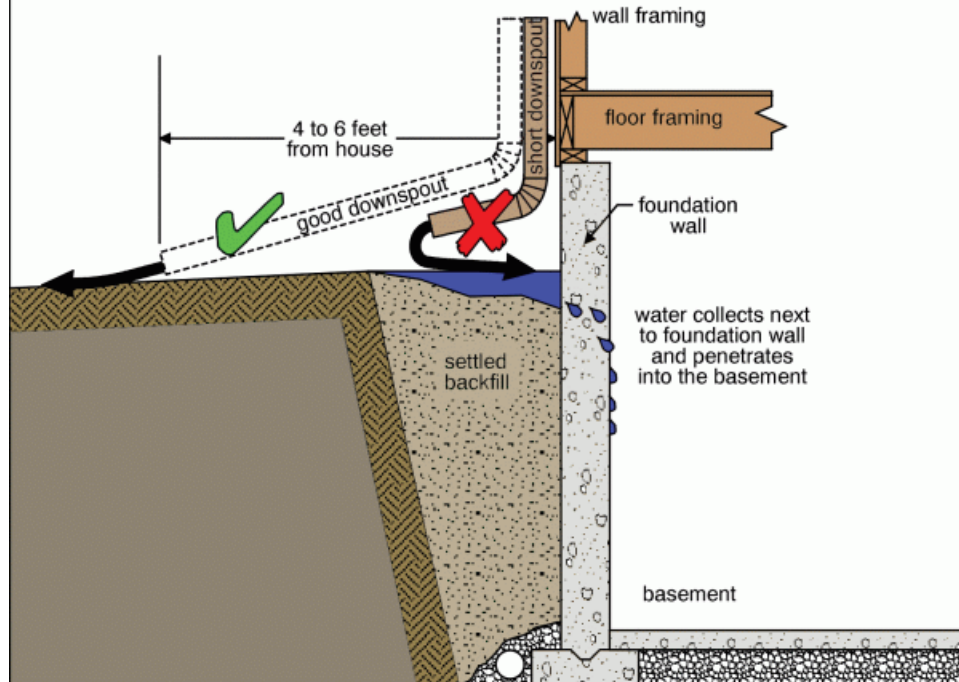
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Downspout extension too short



WALLS \ Flashings and caulking

Condition: • [Caulking missing or ineffective](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Rear Exterior

Task: Improve

Time: Regular maintenance



4. *Caulking missing or ineffective*

WALLS \ Brick, stone and concrete

Condition: • Most masonry walls have small cracks due to shrinkage or minor settlement. These will not be individually

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noted in the report, unless leakage, building movement or similar problems are noted

EXTERIOR GLASS/WINDOWS \ General

Condition: • Sill - Near or at Grade Level

Vulnerable area for leakage.

Location: Front Exterior

Task: Monitor / Improve

Time: As Needed



5. Sill - Near or at Grade Level

PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Steps and landings

Condition: • [Steps springy, loose or sagging](#)

Implication(s): Trip or fall hazard

Location: Front Exterior

Task: Improve

Time: Less than 1 year

Cost: Regular maintenance item

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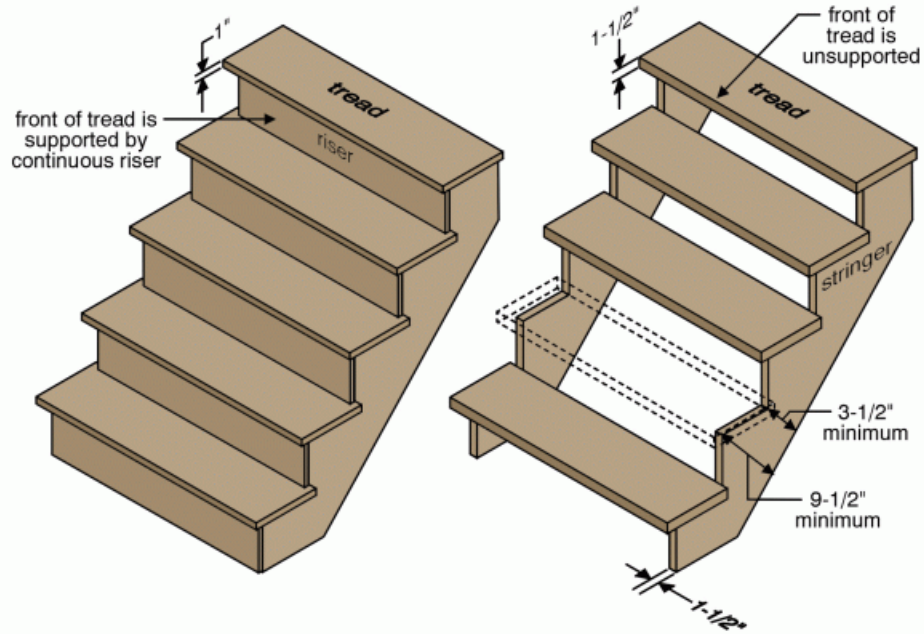
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Designing steps that aren't springy



6. Steps springy

Condition: • [Wood/soil contact](#)

Implication(s): Material deterioration | Shortened life expectancy of material

Location: Front Exterior

Task: Improve

Time: Less than 1 year

Cost: Regular maintenance item

PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Handrails and guards

Condition: • [Missing](#)

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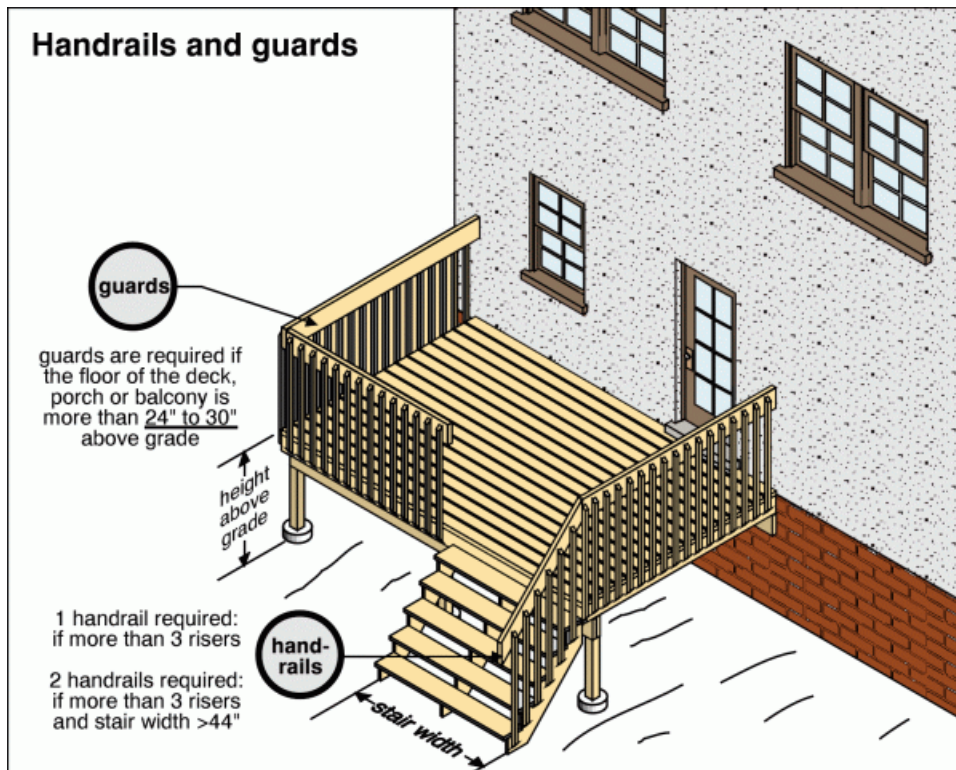
Implication(s): Fall hazard

Location: Front Exterior

Task: Provide Handrails and Guardrail

Time: Less than 1 year

Cost: Minor



7. Missing Hand and Guardrail

Condition: • Rot

Implication(s): Fall hazard

Location: Rear Exterior Deck

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Task: Replace

Time: Regular maintenance

Cost: Regular maintenance item



8. Example of Rot

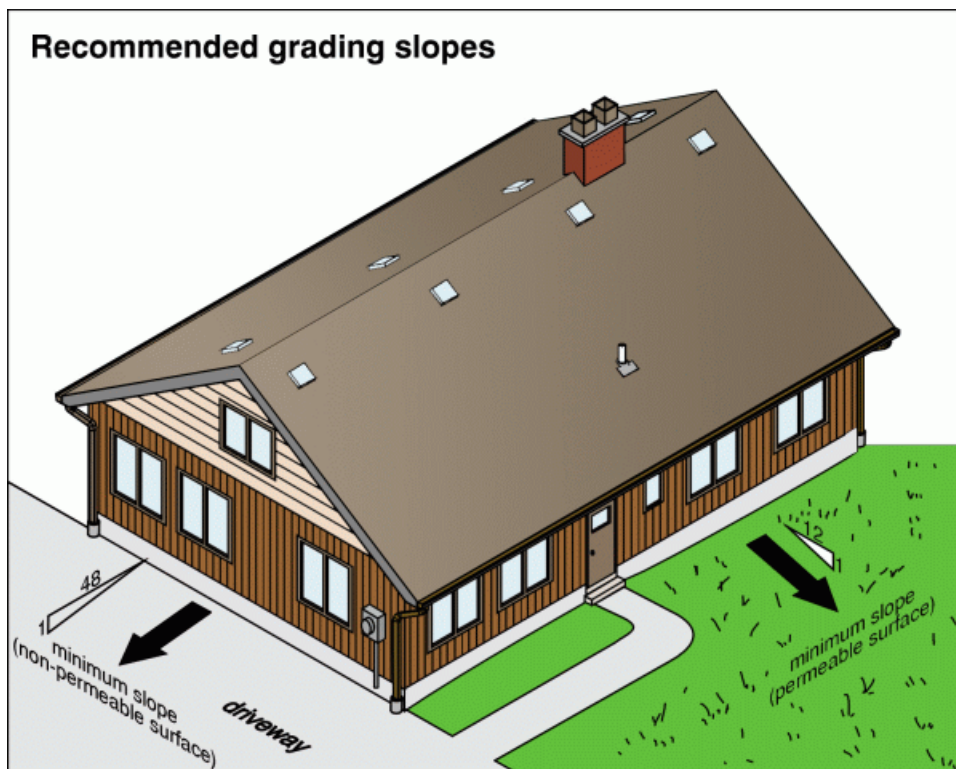
LANDSCAPING \ Lot grading

Condition: • Low Areas.

Location: Various Exterior

Task: Improve

Time: Regular maintenance



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Condition: • During rainfall, walk the exterior to view if any water is draining towards the home. Improve these areas as needed

Inspection Methods and Limitations

Inspection limited/prevented by: • Poor access under steps, deck, porch

Upper floors inspected from: • Ground level

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Descriptions

Configuration: • [Basement](#) • [Crawlspace](#)**Foundation material:** • [Masonry block](#)**Floor construction:** • [Joists](#)**Exterior wall construction:** • [Masonry](#)**Roof and ceiling framing:** • Rafters

Observations and Recommendations

FOUNDATIONS \ Foundation

Condition: • Typical minor cracks

Almost all houses with poured concrete foundations have minor settlement and/or shrinkage cracks. Monitor all cracks for

movement and nuisance water leakage. Repair cracks only if necessary

Implication(s): Chance of water entering building**Location:** Various Exterior Wall**Task:** Monitor / Repair**Time:** ongoing / if necessary

FLOORS \ Beams

Condition: • Missing

Upon viewing the crawlspace we noted a beam that was not attached. We could not determine if this beam was intended to be structural or was originally there to support and keep the insulation in place. Regardless of its use, due to the span of joist under the Addition, we recommend that a contractor analyze and provide support beams and posts if necessary.

Implication(s): Chance of structural movement**Location:** Crawl Space**Task:** As soon as possible / Repair**Time:** Less than 1 year**Cost:** Consult with Contractor

9.



10.



11.

ROOF FRAMING \ Sheathing

Condition: • [Sagging](#)

Implication(s): Chance of structural movement | Weakened structure

Location: Rear Exterior Roof

Task: Replace sheathing in this area

Time: When replacing covering

Cost: \$100-\$200 per sheet of sheathing



12. Minor Sag

Inspection Methods and Limitations

Inspection limited/prevented by: • Finishes, insulation, furnishings and storage conceal structural components, preventing/restricting inspection

Inspection limited/prevented by: • New finishes/paint

Attic/roof space: • No access

Descriptions

General: • ALL ELECTRICAL CONDITIONS ARE CONSIDERED PRIORITY ITEMS

Service entrance cable and location: • [Overhead - cable type not determined](#)

Service size:

• [100 Amps \(240 Volts\)](#)



13. 100 Amps (240 Volts)

Main disconnect/service box type and location: • [Breakers - basement](#)

Distribution panel rating: • [125 Amps](#)

Distribution panel type and location: • [Breakers - basement](#)

Distribution wire material and type: • [Copper - non-metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom](#)

Smoke detectors: • [Present](#)

Observations and Recommendations

SERVICE BOX, GROUNDING AND PANEL \ Service box

Condition: • [Unprotected openings](#)

Implication(s): Electric shock

Location: Basement

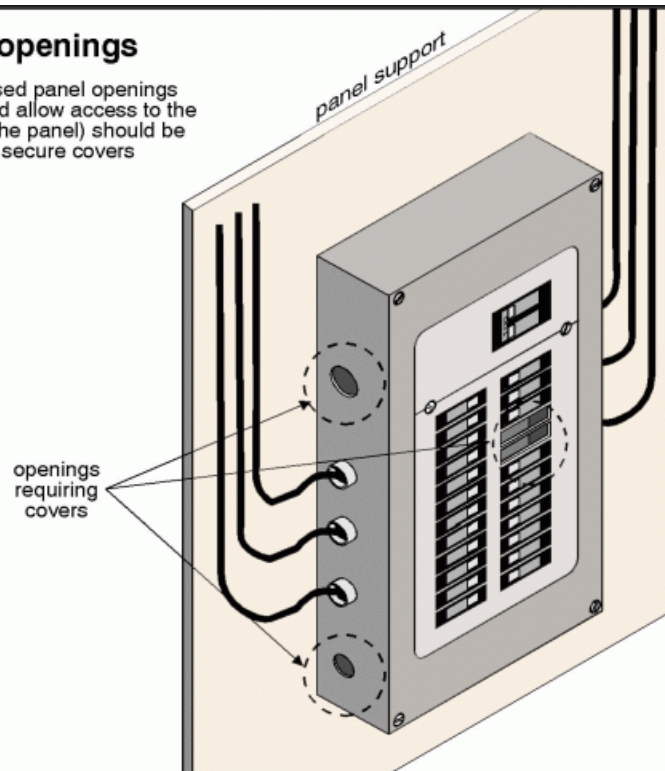
Task: Correct

Time: Immediate

Cost: Less than \$100

Panel openings

any exposed panel openings (that would allow access to the inside of the panel) should be fitted with secure covers



14. Unprotected openings

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

Condition: • [Poor location](#)

Electrical Panels are not permitted in bathrooms. Do not use Shower until you consult with a licensed electrician. You may need to abandon use of shower or relocate panel or provide a separation that meets current standards. Having the panel in a bathroom poses a potential fire risk due to the moisture that may accumulate in panel

Implication(s): Difficult to service

Location: Basement Bathroom

Task: Correct

Time: Immediate

Cost: Too many variables. Consult with electrician

DISTRIBUTION SYSTEM \ Wiring - installation

Condition: • [Not well secured](#)

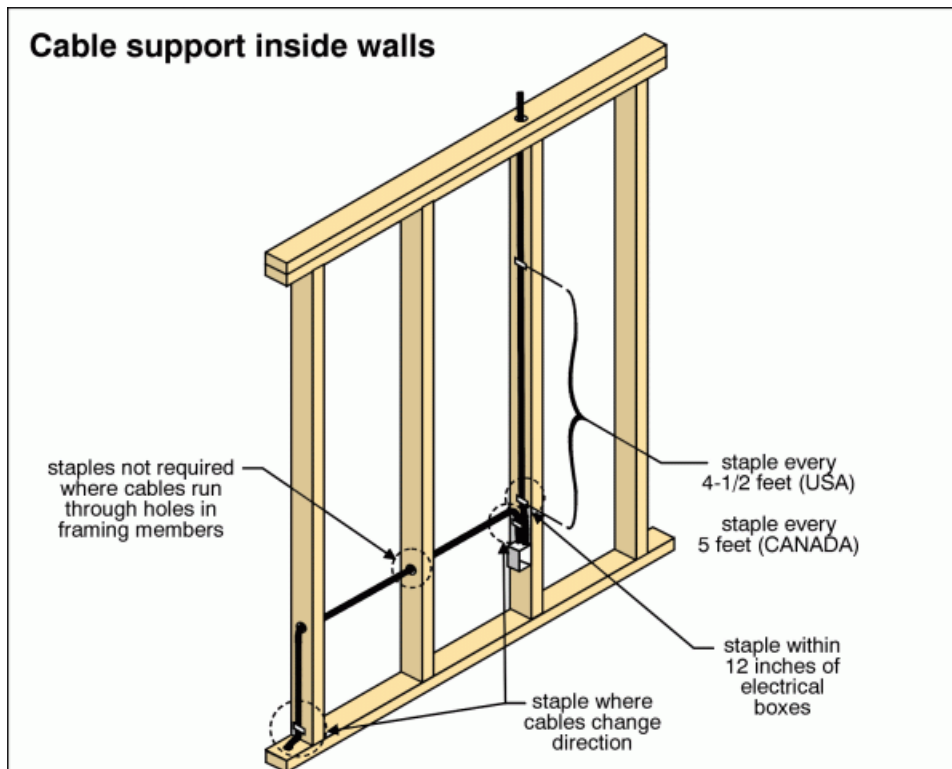
Implication(s): Fire hazard | Electric shock

Location: Various Crawl Space and Basement

Task: Correct

Time: Immediate

Cost: Minor



15. Not well secured



16. Not well secured

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Condition: • [Flexible conduit needed](#)

Implication(s): Electric shock

Location: Rear Exterior

Task: Correct

Time: As Soon As Possible

Cost: Minor



17. Flexible conduit needed

DISTRIBUTION SYSTEM \ Switches

Condition: • [Loose](#)

Implication(s): Electric shock

Location: First Floor

Task: Repair or replace

Time: As Soon As Possible

Cost: Minor



18. Loose

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • [GFCI/GFI needed \(Ground Fault Circuit Interrupter\)](#)

Adding Ground Fault Interrupters (GFIs) is a cost effective safety improvement to existing units. At a cost of roughly \$100 each, installed, they provide enhanced protection against electric shock and are required near wet areas (e.g. outdoors, garages, kitchens - especially near the sink, bathrooms) and where appliances with 3-prong plugs are used. GFIs may be either special circuit breakers or special wall outlets (receptacles). Either one protects all downstream outlets on that circuit.

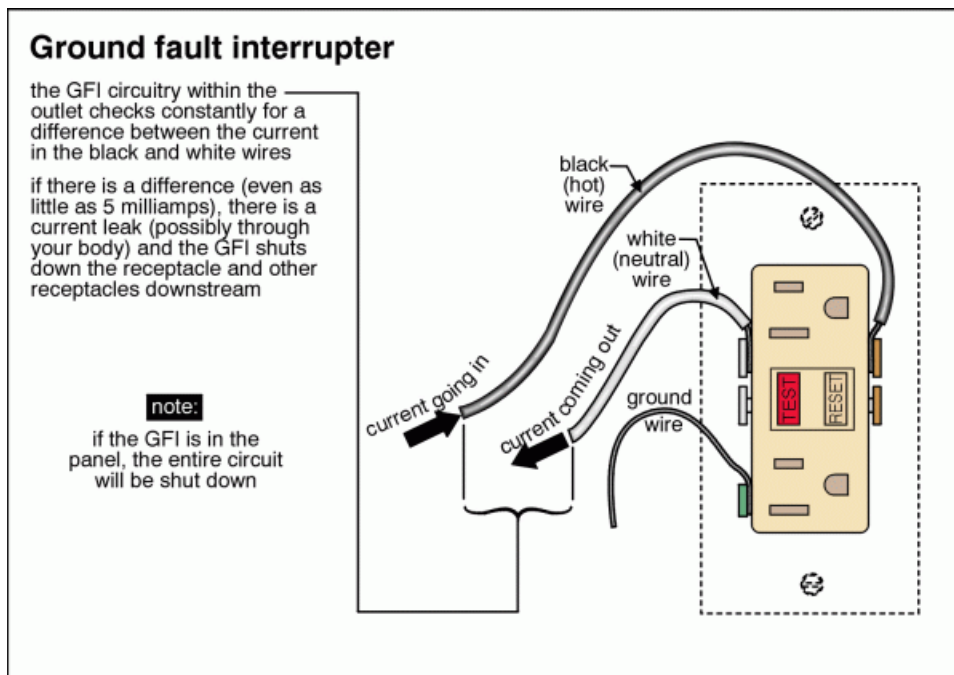
Implication(s): Electric shock

Location: Exterior Wall

Task: Upgrade

Time: Prior to first use

Cost: Minor



DISTRIBUTION SYSTEM \ Cover plates

Condition: • [Missing](#)

Implication(s): Electric shock

Location: Various

Task: Cover

Time: Immediate

Cost: Minor

DISTRIBUTION SYSTEM \ Smoke detectors

Condition: • Smoke and carbon monoxide (CO) detectors should be provided at every floor level of every home. Smoke detectors should be close to sleeping areas, and carbon monoxide detectors should be in any room with a wood-burning stove or fireplace. These devices are not tested as part of a home inspection. Once you take possession of the home, detectors should be tested regularly, and replaced every 10 years. If unsure of the age of a smoke detector, it should be replaced. Smoke detector batteries should be replaced annually.

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Inspection Methods and Limitations

System ground: • Quality of ground not determined

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Descriptions

System type: • [Furnace](#)

Fuel/energy source: • [Gas](#)

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • [60,000 BTU/hr](#)

Efficiency: • [High-efficiency](#)

Approximate age: • [3 years](#)

Typical life expectancy: • Furnace (high efficiency) 15 to 20 years

Fireplace/stove: • Non-functional

Observations and Recommendations

GAS FURNACE \ Ducts, registers and grilles

Condition: • Rust noted at furnace ducting . Likely caused by a prior humidifier leak.

Location: Basement



19.

CHIMNEY AND VENT \ Masonry chimney

Condition: • [Settling or leaning](#)

Minor lean of chimney noted. Have Chimney specialist evaluate.

Implication(s): Hazardous combustion products entering home | Chance of chimney movement | Chance of water damage to contents, finishes and/or structure

Location: Left Side Exterior Roof

Task: Improve

Time: Less than 1 year / if necessary.

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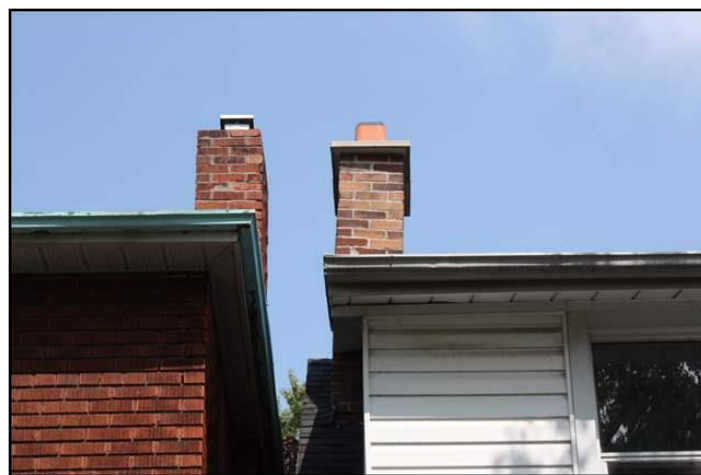
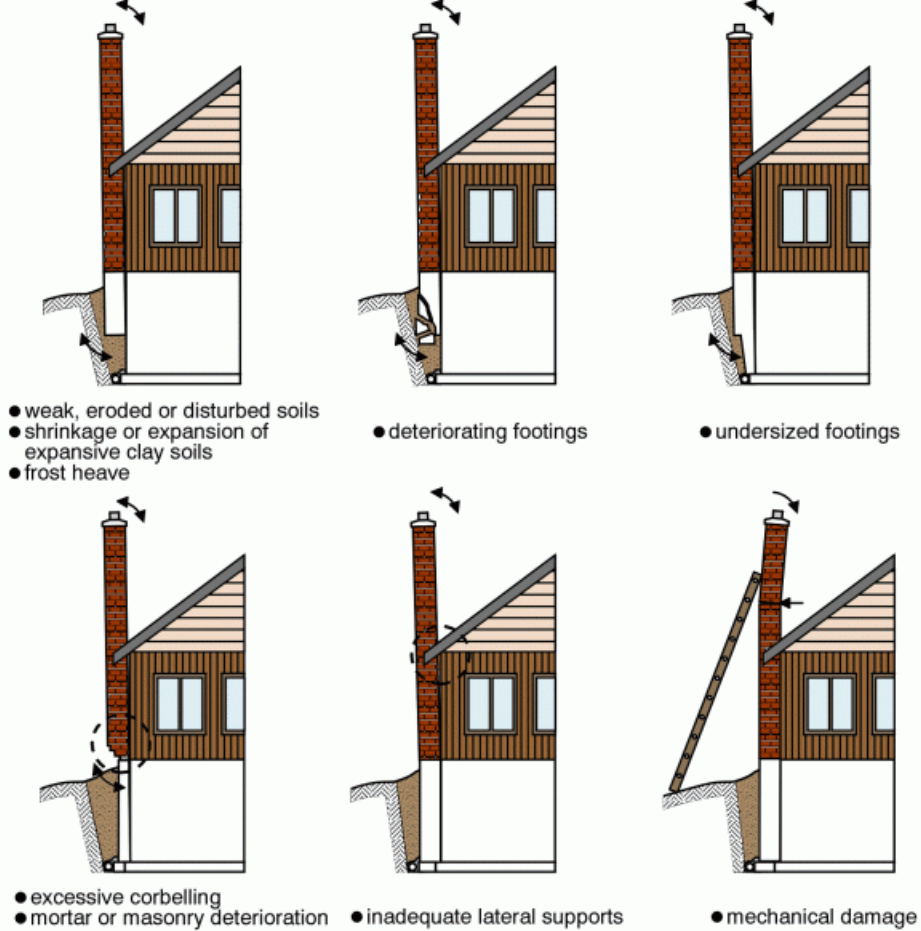
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Causes of chimney settling or leaning



20. leaning

FIREPLACE \ General

Condition: • Fireplace, flue and chimney should be inspected and swept as needed by a WETT certified technician and

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any recommended repairs completed before the fireplace is used. (WETT - Wood Energy Technology Transfer Inc. is a non-profit training and education association.) See www.wettinc.ca.

Time: Prior to first use

FIREPLACE \ Firebox

Condition: • [Deteriorated, missing or loose masonry or mortar](#)

Fireplace appears to be used as decorative only. Extensive repairs needed to firebox, flue, and chimney.

Implication(s): Fire hazard | Hazardous combustion products entering home

Location: First Floor

Task: Repair

Time: If you plan to use fireplace

Cost: Consult with specialist

Inspection Methods and Limitations

Safety devices: • Not tested as part of a building inspection

Heat loss calculations: • Not done as part of a building inspection

Heat exchanger: • Not visible

COOLING & HEAT PUMP

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Descriptions

Air conditioning type: • [Air cooled](#)

Cooling capacity: • Not Determined

Compressor approximate age: • Old

Typical life expectancy: • 10 to 15 years

Observations and Recommendations

AIR CONDITIONING \ Life expectancy

Condition: • [Old](#)

Typical life expectancy for a/c units are 10-15 years. The current unit is beyond its life expectancy. The unit functioned when tested. Continue to use and plan for replacement.

Implication(s): Equipment failure | Reduced comfort

Location: Exterior

Task: Replace

Time: When necessary / Unpredictable

Cost: \$3,000 - and up

AIR CONDITIONING \ Air cooled condenser coil

Condition: • [Corrosion](#)

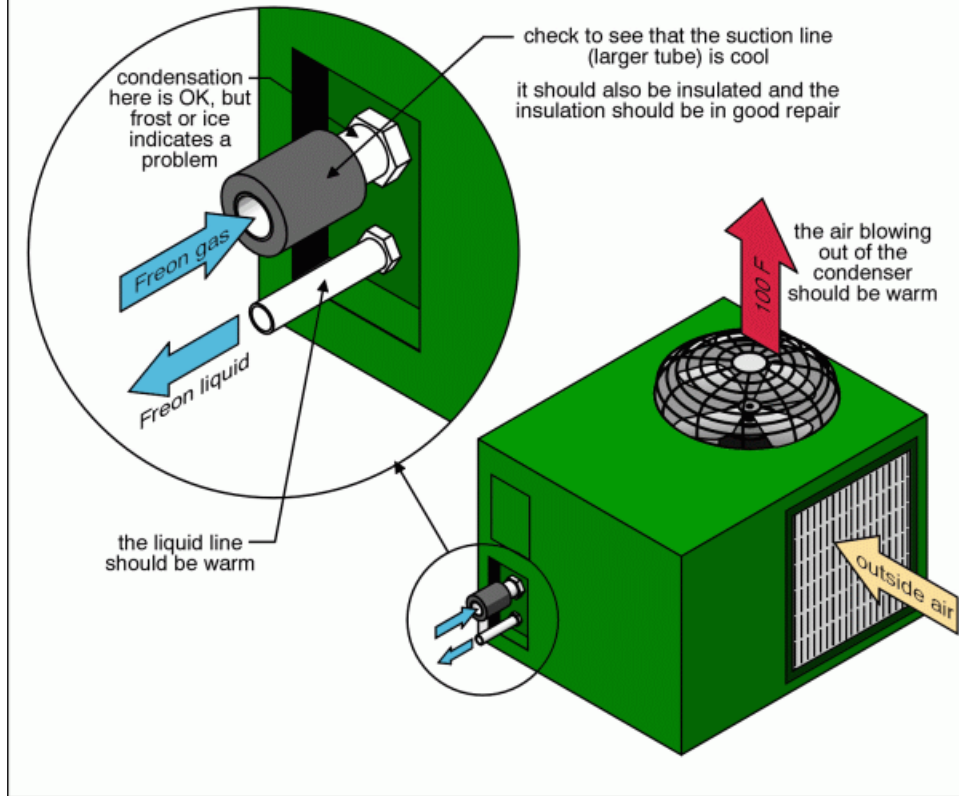
Implication(s): Reduced system life expectancy | Equipment not operating properly | Increased cooling costs | Reduced comfort

Location: Exterior

Task: Service

Time: Regular maintenance

Inspecting the condenser unit



Inspection Methods and Limitations

Heat gain/loss calculations: • Not done as part of a building inspection

Descriptions

Attic/roof insulation material: • [Glass fiber](#)

Attic/roof insulation amount/value: • Not determined

Attic/roof air/vapor barrier: • Spot Checked Only

Attic/roof air/vapor barrier: • [None found](#)

Attic/roof ventilation: • [Roof vent](#)

Observations and Recommendations

ATTIC/ROOF \ Hatch

Condition: • [Inaccessible](#)

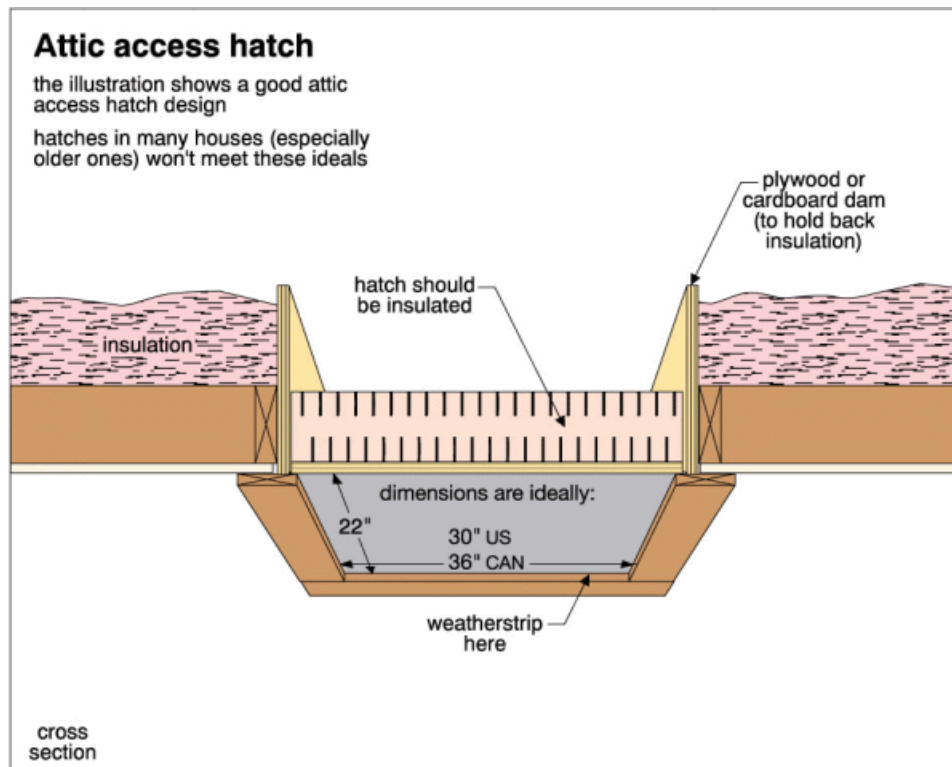
The attic hatch opening was too small, therefore we could not observe the attic. Attics are important areas. Provide larger access and inspect attic for issues with structure, insulation, water damage, vermiculite asbestos, and mold.

Implication(s): Difficult access

Location: Second Floor closet

Task: Increase hatch opening and inspect

Time: Immediate



INSULATION AND VENTILATION

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21. Small hatch

Inspection Methods and Limitations

Inspection prevented by no access to: • Roof space • Walls, which were spot checked only

Roof ventilation system performance: • Not evaluated

Air/vapor barrier system: • Continuity not verified

PLUMBING

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Descriptions

Service piping into building: • [Copper](#)

Supply piping in building: • [Copper](#)

Main water shut off valve at the: • Furnace Room

Main water shut off valve at the: • Basement

Water flow and pressure: • [Functional](#)

Water heater type: • [Conventional](#)

Water heater fuel/energy source: • [Gas](#)

Tank capacity: • 151 liters

Water heater approximate age: • 9 years

Typical life expectancy: • 10 - 15 years

Waste and vent piping in building: • [Plastic](#)

Floor drain location: • Near heating system

Observations and Recommendations

SUPPLY PLUMBING \ Supply piping in building

Condition: • [Poor support](#)

Secure laundry tub and improve piping and faucet.

Implication(s): Leakage | Chance of water damage to contents, finishes and/or structure

Location: Basement Laundry Area

Task: Correct

Time: Prior to first use

Cost: Regular maintenance item



22. Poor support

WASTE PLUMBING \ Drain piping - performance

Condition: • Sewage backup insurance is recommended.

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Implication(s): drainage and/or leakage problems

Location: Basement

Task: Provide

Time: Immediate

Condition: • Drain line video camera inspection recommended

Implication(s): Drainage and/or leakage problems

Location: Basement

Task: Camera inspection

Time: Immediate

WASTE PLUMBING \ Traps - installation

Condition: • [Nonstandard shape or material](#)

Implication(s): Reduced operability | Fixtures slow to drain

Location: Basement Bathroom

Task: Repair

Time: Less than 1 year



23. *Nonstandard material*

FIXTURES AND FAUCETS \ Faucet

Condition: • Missing

Implication(s): No water

Location: Basement Bathroom

Task: Provide Shower head

Time: When needed

Cost: Minor



24.

FIXTURES AND FAUCETS \ Shower stall enclosure

Condition: • [Not smooth, impervious or water resistant](#)

Finish shower enclosure ceiling before using

Implication(s): Hygiene issue

Location: Basement Bathroom

Task: Correct

Time: Prior to first use

Inspection Methods and Limitations

Items excluded from a building inspection: • Tub and basin overflows are not tested as part of a home inspection. Leakage at the overflows is a common problem.

Items excluded from a building inspection: • Well • Water quality • Septic system • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Pool • Spa

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Major floor finishes: • [Hardwood](#)

Major wall and ceiling finishes: • [Plaster/drywall](#) • [Stucco/texture/stipple](#)

Windows: • [Fixed](#) • [Sliders](#)

Glazing: • [Double](#) • [Primary plus storm](#)

Exterior doors - type/material: • Hinged

Evidence of basement leakage: • Dampness • Musty or damp odor

Observations and Recommendations

General

• Typical minor flaws were noted on floors, walls and ceilings. These cosmetic issues reflect normal wear and tear

FLOORS \ General

Condition: • Water stains

Dry at time of inspection

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Basement

Task: Monitor

Time: Unpredictable

WINDOWS \ General

Condition: • Many of the windows are older but generally serviceable. At some point they should be replaced for cosmetics, ease-of-operation, or improved energy efficiency. Replacement windows are expensive, roughly \$30 to \$50/sq. ft. installed for moderate quality units. Although more energy-efficient, new windows will typically not pay for themselves quickly in energy savings.

Windows on first and second floor were manufactured in 1987. Overall they are in good condition for their age.

Location: Throughout

Task: Upgrade

Time: Discretionary

Cost: \$15,000 - and up

DOORS \ Doors and frames

Condition: • [Stiff](#)

Implication(s): Reduced operability

Location: Second Floor

Task: Adjust

Time: Regular maintenance

Cost: Regular maintenance item

Condition: • [Loose or poor fit](#)

Implication(s): Chance of damage to finishes and structure

Location: Second Floor Bedroom

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Task: Adjust

Time: Regular maintenance

Cost: Regular maintenance item



25. Door rubs floor

STAIRS \ Height

Condition: • [Headroom - less than ideal](#)

Typical Older Style staircase

Implication(s): Physical injury

Location: Basement Staircase

Task: Improve

Time: When remodelling

STAIRS \ Handrails and guards

Condition: • [Missing](#)

Implication(s): Fall hazard

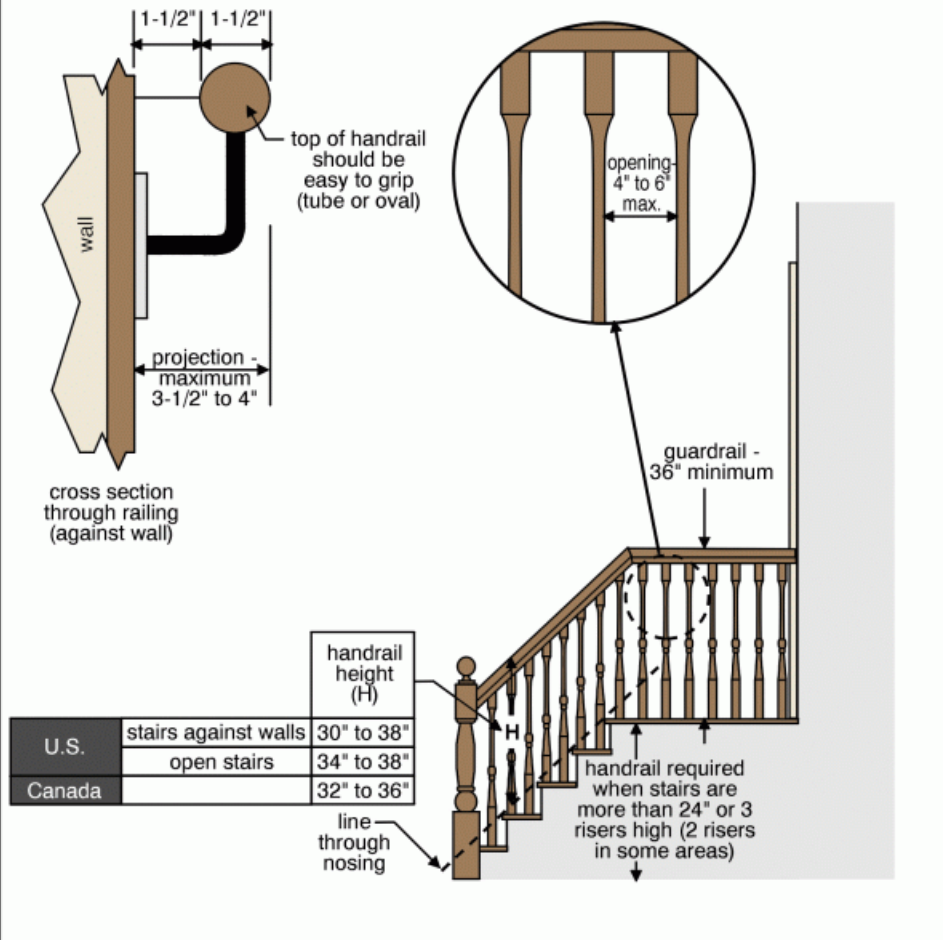
Location: Basement

Task: Provide

Time: Less than 1 year

Cost: Minor

Handrails and guards



EXHAUST FANS \ Exhaust Fan

Condition: • [Missing](#)

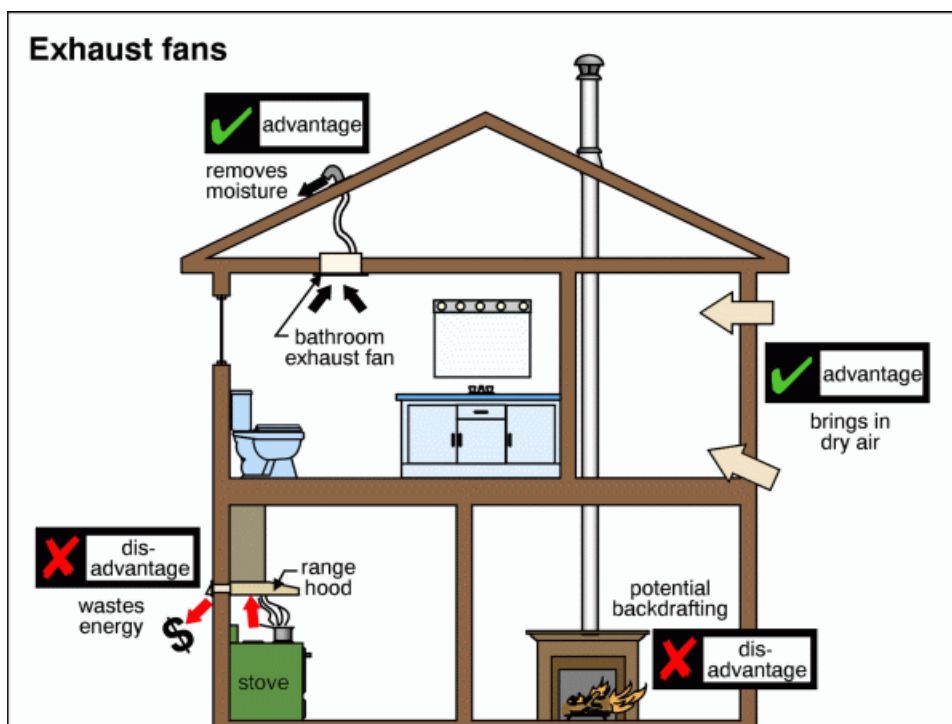
Implication(s): Chance of condensation damage to finishes and/or structure

Location: Basement Bathroom

Task: Provide

Time: As Soon As Possible

Cost: \$300 - \$600



BASEMENT \ Leakage

Condition: • ***FOR FUTURE REFERENCE*** Basement Leakage 4-step method.

Almost every basement (and crawlspace) leaks under the right conditions. Based on a one-time visit, it's impossible to know how often or severe leaks may be. While we look for evidence of past leakage during our inspection, this is often not a good indicator of current conditions. Exterior conditions such as poorly performing gutters and downspouts, and ground sloping down toward the house often cause basement leakage problems. To summarize, wet basement issues can be addressed in 4 steps: 1. First, ensure gutters and downspouts carry roof run-off away from the home. (relatively low cost) 2. If problems persist, slope the ground (including walks, patios and driveways) to direct water away from the home. (Low cost if done by homeowner. Higher cost if done by contractor or if driveways, patios and expensive landscaping are disturbed.) 3. If the problem is not resolved and the foundation is poured concrete, seal any leaking cracks and form-tie holes from the inside. (A typical cost is \$300 to \$600 per crack or hole.) 4. As a last resort, dampproof the exterior of the foundation, provide a drainage membrane and add/repair perimeter drainage tile. (High cost)

BASEMENT \ Wet basement - evidence

Condition: • [Dampness on floor or walls](#)

Dampness was noted using a moisture meter at various areas. We did not observe water. Prudent to monitor for now. It is important to keep in mind that some level of dampness is common in older homes

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Various Basement

Task: Monitor

Time: Ongoing

Condition: • [Odors](#)

Musty odors noted in basement. Air Quality testing is recommended at some point

Implication(s): Contaminants may enter building air | Chance of water damage to contents, finishes and/or structure

Location: Basement

Task: Further evaluation

Time: Discretionary/Less than one year

BASEMENT \ Wet basements - corrective action noted

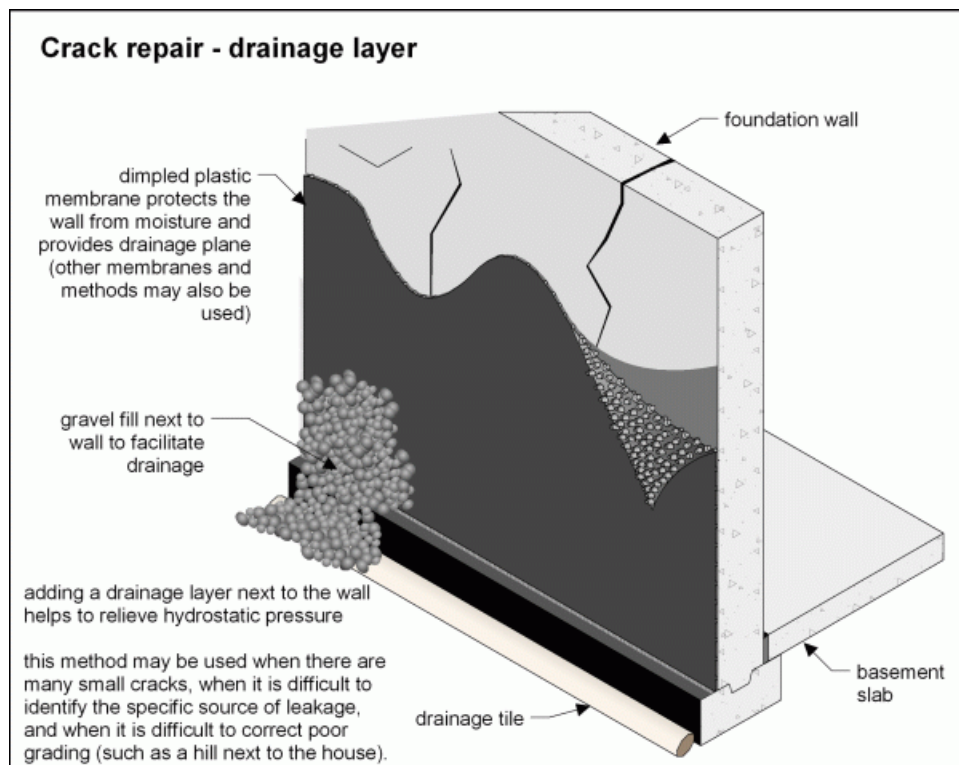
Condition: • [New dampproofing material](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Basement

Task: Monitor / Click link to read more information

Time: Unpredictable





26. New dampproofing material

Inspection Methods and Limitations

General: • Up until about 1985, Asbestos was used in a multitude of building materials including but not limited to: Insulation on hydronic piping, attic insulation, flooring and ceiling tiles, stucco ceilings, glue, insulation around heating ducts and registers and so on. Identification of asbestos is outside the scope of a home inspection. If you have concerns about asbestos, consult with a professional environmental company that specializes with asbestos lab testing.

General: • The evaluation of Mold is outside the scope of a home inspection. If the appearance of mold is observed during the normal procedure of the home inspection, it will be noted for further evaluation. If mold is not observed, it does not mean it is not present. It may be in an area that was not observed during the inspection.

Inspection limited/prevented by: • Storage/furnishings • New finishes/paint • New finishes/paint • Storage in closets/cupboards

Not included as part of a building inspection: • Carbon monoxide detectors, security systems, central vacuum • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any

Cosmetics: • No comment offered on cosmetic finishes

Appliances: • Appliances are not inspected as part of a building inspection • Appliances are not moved during an inspection

Percent of foundation not visible: • 40 %

Basement leakage: • Cannot predict how often or how badly basement will leak • Storage in basement limited inspection

LINKS

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Descriptions

General: • [The Inspection Professionals Website](#)

General: • [Low concentrations of CO can go undetected and can contribute to ongoing, unidentified illnesses. At high concentrations, it can be deadly.](#)

General: • [Serious structural problems in houses are not very common, but when they occur they are never cheap to fix.](#) Some cant be fixed at all. This report wont turn you into a home inspector, but it will give you some of the common indicators.

General: • [There are so many home maintenance and repair items that are important; it can be confusing trying to establish which are the most critical.](#)

General: • [\(Life Cycles and Costs\)](#)

General: • [This report will deal with the simpler topic of home repair--basically replacing things that are worn out or fixing things that are broken.](#)

General: • [Common Building Technical Terms Explained](#)

PHOTOS

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General: • pictures taken during inspection

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GOOD ADVICE FOR ALL HOMEOWNERS: • The following items apply to all homes and explain how to prevent and correct some common problems.

Roof Leaks: • Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced.

Annual Roof Maintenance: • We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of your roof.

Ice Dams on Roofs: • [Most roofs are susceptible to ice dams under the right weather conditions. This is where ice forms](#) at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather.

Maintaining the Exterior of Your Home: • Regular maintenance includes painting and caulking of all exterior wood.

Insulation Amounts - Current Standards: • Attic and roof space: R-40 (R-50 if electric heat)

Reduce Air Leaks: • Insulation is not effective if air (and the heat that goes with it) can escape from the home. Caulking and weather-stripping help control air leakage, improving comfort while reducing energy consumption and costs. Air leakage control improvements are inexpensive and provide a high return on investment.

Bathtub and Shower Maintenance: • Caulking and grout in bathtubs and showers should be checked every six months and improved as necessary to prevent leakage and damage behind wall surfaces.

Basement/Crawlspace Leakage: • Almost every basement (and crawlspace) leaks under the right conditions. • [Click](#) for more information.

MORE GOOD ADVICE FOR ALL HOMES: • Here is some more information that applies to all homes.

MORE GOOD INFORMATION: • The following links give you access to documents that provide additional information on a range of topics.

Life Cycles and Costs: • [Ballpark estimates based on a typical three-bedroom home.](#)

Priority Items for Home Buyers: • [A list of things you should do when moving into your new home and a few regular maintenance items.](#)

Maintenance: • [Scheduled maintenance can avoid repairs and extend the life expectancy of many home components.](#) This document helps you look after your home.

When Things Go Wrong: • [Unpleasant surprises are unfortunately part of homeownership. This document helps to explain why things happen and why your home inspector may not have predicted it.](#)

Standards of Practice: • [This document sets out what a professional home inspection should include, and guides the activities of our inspectors.](#)

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The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS