

# INSPECTION REPORT



For the Property at:  
**1234 MAIN ST.**  
KELOWNA, BC

Prepared for: CHEKMARK HOME INSPECTIONS

Inspection Date: Friday, June 12, 2015

Prepared by: Derek Montgomery



Chekmark Home Inspections Inc.  
5044 Twinflower Cres.  
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"chek with the best"



January 18, 2017

Dear Chekmark Home Inspections,

RE: Report No. 1574, v.2  
1234 Main St.  
Kelowna, BC

Thank- you for choosing Chekmark. Our goal is to make this an educational experience for you. Please feel free to call us at 250-862-1223 or 250-861-7009, if you have ANY questions.

Sincerely,

Derek Montgomery  
on behalf of  
Chekmark Home Inspections Inc.

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# ROOFING

1234 Main St., Kelowna, BC June 12, 2015

Report No. 1574, v.2

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ROOFING

EXTERIOR

STRUCTURE

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## Description

**General:** • General Roofing. Note; Photos of all areas not included



1.



2. Close up of roof shingle



3.



4.



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5.



6. Close up of roof valley

**Sloped roofing material:** • [Asphalt shingles](#)

**Flat roofing material:** • [Metal](#)

**Probability of leakage:** • High

## Limitations

**Inspection performed:** • By walking on roof

## Recommendations

### SLOPED ROOFING \ Asphalt shingles

**1. Condition:** • [Old, worn out](#)

The asphalt roof shingles are old and showing signs of deterioration including granule loss, widened slots as well as cupping and curling. Recommend replacement within 2 years

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Throughout Roof

**Task:** Replace

**Time:** Less than 2 years

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7.



8.



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## Description

**General:** • General exterior.



9. Central vacuum exhaust



10.



11.



12. Under rear deck



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13. Concrete deck footings



14. Phone + cable + remote water meter



15. Irrigation supply



16. Gas meter



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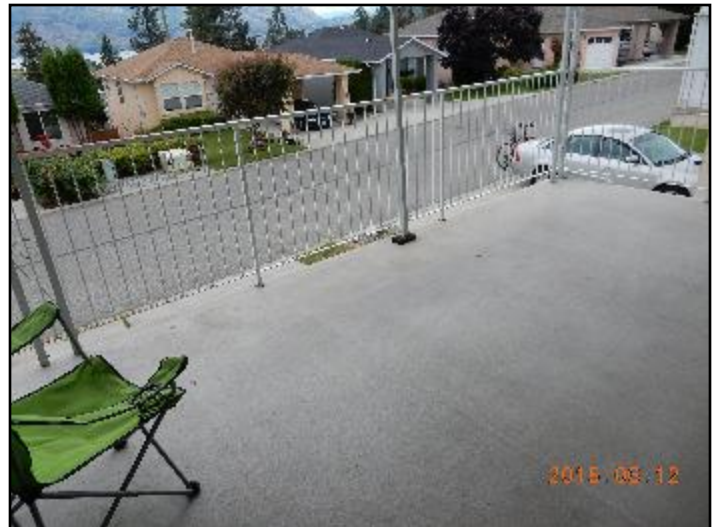
17. Electrical meter



18.



19. Gas connection for BBQ



20.



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21.

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout type: • [Eave mounted](#)

Gutter & downspout discharge:

• [Below grade](#)



22.



23.

Lot slope: • [Hillside](#)

Wall surfaces and trim: • [Stucco/EIFS](#)

Soffit and fascia: • [Metal](#)

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**Retaining wall:** • [Wood](#)

**Driveway:** • Concrete

**Walkway:** • Concrete

**Deck:** • Raised • Wood

**Exterior steps:** • Wood

**Fence:** • Wood

**Garage:**

• General



24.



25.



26. Self closing, metal, garage man-door



27. Central vacuum - Tested



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28. Tested for auto reverse function

## Limitations

**Inspection limited/prevented by:** • Underground sprinklers are not part of the inspection. Consult homeowner. Be sure to direct sprinklers away from exterior finishes to prevent moisture damage.

**Inspection limited/prevented by:** • New finishes/paint/trim • Car/storage in garage • Poor access under steps, deck, porch • Vines/shrubs/trees against wall

**No or limited access to:** • Outbuilding, swing-sets, tree forts, sheds and playhouses are excluded from inspection.

**No or limited access to:** • Area below steps, deck, porches

**Upper floors inspected from:** • Ground level

**Exterior inspected from:** • Ground level

## Recommendations

### General

2. • Caulk all exterior penetrations to prevent pest or moisture entry.

**Implication(s):** Chance of pest or moisture penetration

**Location:** Various Exterior

**Task:** Protect

**Time:** Regular maintenance

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29.

## ROOF DRAINAGE \ Downspouts

### 3. Condition: • [Downspouts end too close to building](#)

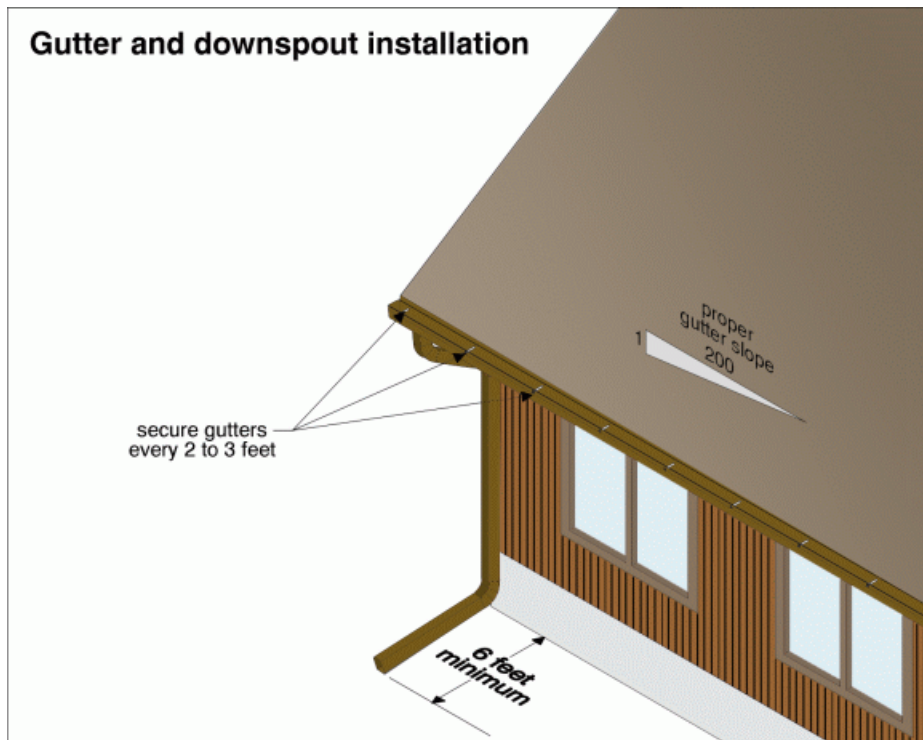
The downspout should discharge approx 6 feet from the building. Downspouts that drain water against the foundation can damage exterior finishes, erode the structure, and increase the risk of water damage. Recommend improvement of any downspouts that end too close to the structure.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Front Left Side Garage

**Task:** Improve

**Time:** Immediate





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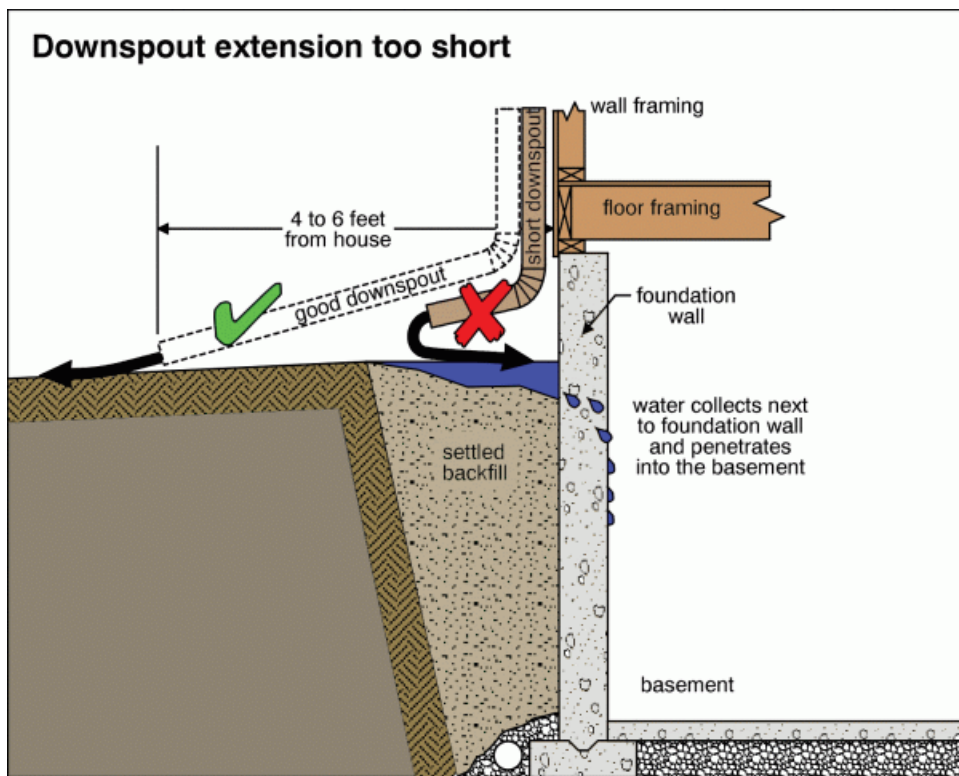
COOLING

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30.

## WALLS \ Stucco and EIFS

### 4. Condition: • [Minor cracks](#)

Cracks in stucco at change in direction and window edges and corner beads are typical for a home this age. Hairline cracks are common as the materials age. Seal cracks if a concern. These are minor, non structural cosmetic cracks.

**Implication(s):** Cosmetic defects | Shortened life expectancy of material

**Location:** Various Exterior

**Task:** Repair

**Time:** Regular maintenance

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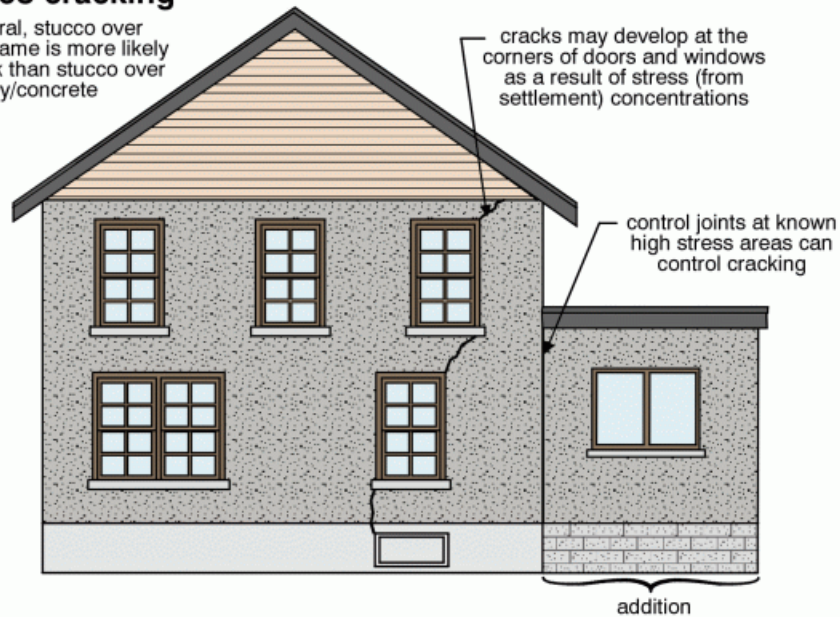
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## Stucco cracking

in general, stucco over wood frame is more likely to crack than stucco over masonry/concrete



31.



32.

## PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Floors

### 5. Condition: • [Wood/soil contact](#)

The rear exterior wood patio structure is not visible. It is likely that the wood is in contact with the soil. This arrangement will deteriorate the structure over time. Correct the arrangement if needed.

**Implication(s):** Weakened structure | Chance of movement | Rot | Insect damage

**Location:** Rear Exterior Deck

**Task:** Correct

**Time:** If necessary



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33.

## PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Steps and landings

**6. Condition:** • The rear exterior small set of stairs is poorly fastened to the deck and is weak. The post supporting the steps is split, and in contact with the soil. There is movement noted when used. repair is recommended immediately.

**Implication(s):** Chance of movement. Risk of personal injury

**Location:** Rear Exterior Staircase

**Task:** Repair

**Time:** Immediate



34.



35.

## PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Handrails and guards

**7. Condition:** • [Missing](#)

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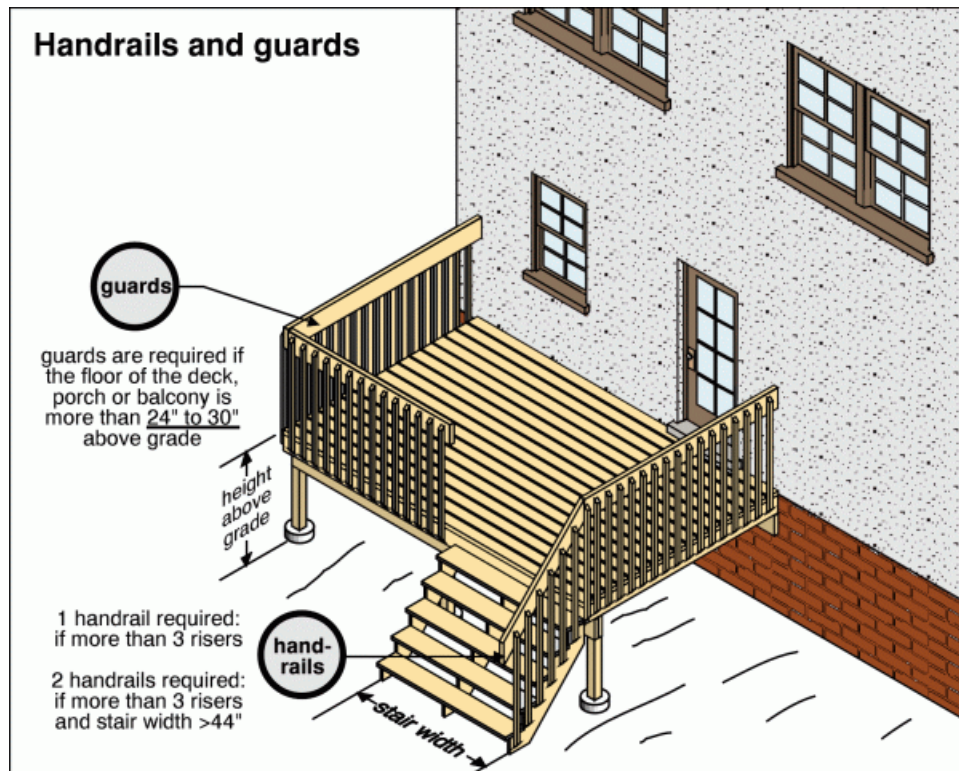
There are missing handrails and guard rails on the rear stairs. Stairs with 3 or more stairs require a handrail and guardrail on both sides.

**Implication(s):** Fall hazard

**Location:** Rear Exterior Staircase

**Task:** Provide

**Time:** Immediate



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**8. Condition:** • [Rust](#)

The structure of the rail does not appear to be affected. Rust will deteriorate the materials over time. Repair or replace as needed.



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**Implication(s):** Fall hazard

**Location:** Front Exterior Deck

**Task:** Repair or replace

**Time:** Discretionary



37.

## LANDSCAPING \ Retaining wall

**9. Condition:** • [Rot](#)

The small wood retaining wall in the back yard is rotten and damaged. Repair or replace at your discretion.

**Implication(s):** Weakened structure | Material deterioration

**Location:** Rear Yard

**Task:** Repair or replace

**Time:** Discretionary



38.

## LANDSCAPING \ Fence

**10. Condition:** • Deteriorated

The back yard fence is deteriorated, broken, leaning and damaged throughout. Repair or replace as part of regular house maintenance.

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**Implication(s):** Material deterioration

**Location:** Various Rear Yard

**Task:** Repair or replace

**Time:** Regular maintenance



39.



40.



41.

## GARAGE \ Door into garage

**11. Condition:** • [No self-closer](#)

The rear garage man-door has no self closer. The door is also not fire rated (window). Replacement is recommended as well as adding self closing hinges.

**Implication(s):** Hazardous combustion products entering home | Increased fire hazard

**Location:** Garage



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**Task:** Replace

**Time:** Immediate



42.

## Description

**Configuration:** • Raised concrete

**Configuration:** • [Basement](#)

**Foundation material:** • [Poured concrete](#)

**Floor construction:**

- [Wood I-joists](#)
- Subfloor - OSB (Oriented Strand Board)



43. OSB subfloor w/ wood I-Joists

**Exterior wall construction:** • [Wood frame](#)

**Roof and ceiling framing:** • Attic



44. OSB roof sheathing



45. Dry attic space



# STRUCTURE

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46. Roof trusses



47. Soffit baffles for venting

Roof and ceiling framing: • [Trusses](#) • [OSB \(Oriented Strand Board\) sheathing](#)

## Limitations

**Inspection limited/prevented by:** • Interior finishes conceal structural components.

**Inspection limited/prevented by:** • Wall, floor and ceiling coverings • Carpet/furnishings • Storage • New finishes/paint • Insulation

**Attic/roof space:** • Inspected from access hatch

**Percent of foundation not visible:** • 90 %

## Recommendations

### ROOF FRAMING \ Sheathing

**12. Condition:** • There is condensation damage noted on the roof sheathing above the hallway bathroom fan in the attic. Air leakage from the fan has caused the damage. It is recommended to replace the material when re-roofing and ensure the exhaust vent is sealed to prevent air leakage from causing future damage.

**Implication(s):** Weakened structure. Health risk

**Location:** Attic

**Task:** Repair or replace

**Time:** Immediate

# STRUCTURE

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48.



## Description

**Service entrance cable and location:** • [Underground - not visible](#)

**Service size:** • [125 Amps \(240 Volts\)](#)

**Main disconnect/service box rating:** • [125 Amps](#)

**Main disconnect/service box type and location:** • Breakers - laundry area



49. Main electrical panel



50. 125 amp main electrical disconnect

**System grounding material and type:** • [Copper - ground rods](#)

**Distribution panel type and location:** • Breakers - laundry area



51. Panel w/ cover removed

**Distribution wire material and type:** • [Copper - non-metallic sheathed](#)

**Type and number of outlets (receptacles):** • [Grounded - typical](#)

## Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):

- [GFCI - bathroom](#)

All bathroom outlets protected by GFCI and tested



52.

- [GFCI - outside](#)

Exterior GFCI tested



53.

## Smoke detectors:

- [Present](#)

It is outside the scope of the inspection to test smoke detectors. As a homeowner you should test your smoke detectors annually. Smoke alarms have a 10 year lifespan. Recommend checking each battery and manufacture date tag and replace as needed.



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**Carbon monoxide (CO) detectors:** • None noted

## Limitations

**Inspection limited/prevented by:** • Concealed wiring not inspected.

**Inspection limited/prevented by:** • Insulation

**System ground:** • Continuity not verified • Quality of ground not determined

**Circuit labels:** • The accuracy of the circuit index (labels) was not verified.

## Recommendations

### SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

**13. Condition:** • [Openings in panel](#)

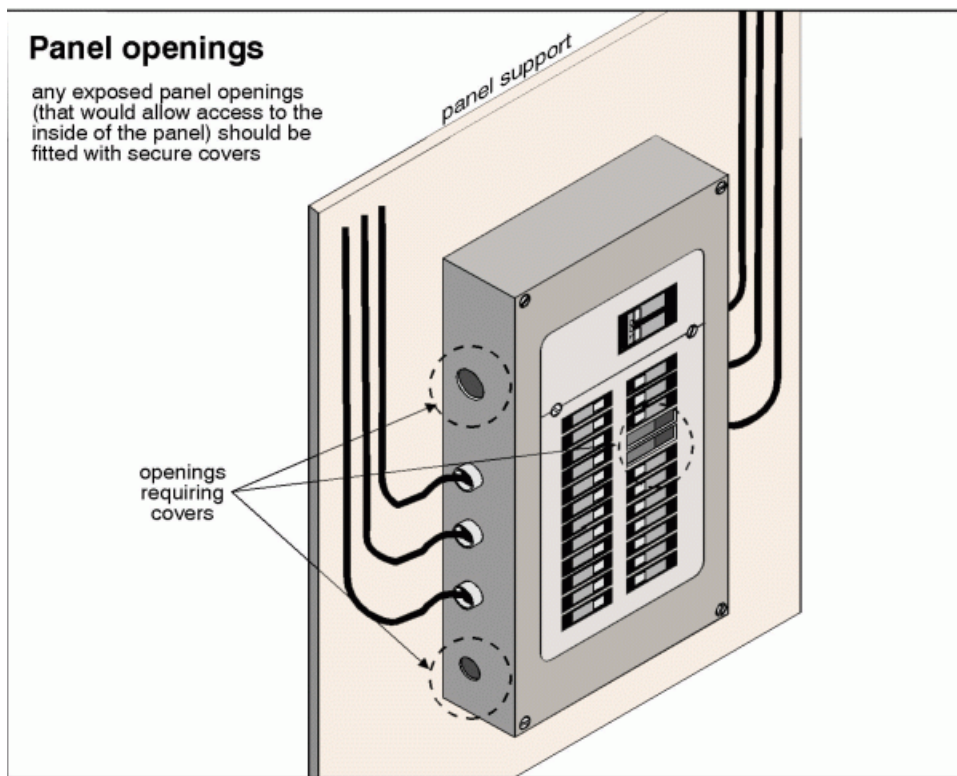
There is a portion of the electrical panel where the cut-outs (block off plates) are missing. This is a safety item, and should be protected immediately. Block off plates are inexpensive and easy to install.

**Implication(s):** Electric shock | Fire hazard

**Location:** Basement Laundry Area

**Task:** Protect

**Time:** Immediate



55.

## DISTRIBUTION SYSTEM \ Outlets (receptacles)

### 14. Condition: • [Damage](#)

There are broken and damaged outlets noted. Replace immediately.

**Implication(s):** Electric shock | Fire hazard

**Location:** Various

**Task:** Replace

**Time:** Immediate





56.

**15. Condition:** • [Test faulty on Ground Fault Circuit Interrupter \(GFCI\)](#)

The GFCI at the front of the home tested faulty and would not trip. This is typical for mechanical devices to fail over time. Replacement is recommended.

**Implication(s):** Electric shock

**Location:** Front Exterior

**Task:** Replace

**Time:** Immediate



57.

**DISTRIBUTION SYSTEM \ Cover plates**

**16. Condition:** • [Missing](#)

There are various areas where outlets and switches are missing covers. This is a safety concern and covers should be provided immediately.

**Implication(s):** Electric shock

**Location:** Throughout

**Task:** Provide

**Time:** Immediate

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# HEATING

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## Description

**General:** • Heating system responds to normal operating controls with no performance issues noted during the inspection.

**General:** • Gas fireplace responds to normal operating controls.

**Fuel/energy source:** • [Gas](#)

**System type:**

• [Furnace](#)



60. Gas furnace



61. Furnace w/ cover removed



62. Data plate - Date 1993

**Heat distribution:** • [Ducts and registers](#)

# HEATING

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Approximate capacity: • [75,000 BTU/hr](#)

Efficiency: • [Conventional](#)

Approximate age: • [22 years](#)

Typical life expectancy: • Furnace (conventional or mid-efficiency) 18 to 25 years

Main fuel shut off at: • Utility room

Failure probability: • [Medium](#)

Fireplace:

• [Gas fireplace](#)

Tested - Responds to normal operating controls.



63.



64.

Chimney/vent:

• [Metal](#)



65. Vent for gas furnace

• Sidewall venting



# HEATING

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66. Vent for gas fireplace

**Chimney liner:** • B-vent (double-wall metal liner)

**Combustion air source:** • Interior of building

**Mechanical ventilation system for home:**

• Bathroom exhaust fan

De-humidistats activate bathroom fan to exhaust moist house air to reduce humidity. Tested



67.

## Limitations

**Safety devices:** • Not tested as part of a building inspection

**Warm weather:** • Prevents testing heating effectiveness

**Heat loss calculations:** • Not done as part of a building inspection

**Heat exchanger:** • Only a small portion visible

## Recommendations

### GAS FURNACE \ Life expectancy

**17. Condition:** • [Near end of life expectancy](#)

The furnace is 22 yrs old. It is near the end of its typical 25 year life expectancy. Recommend service by a qualified technician to determine service schedule and remaining life expectancy. It is wise to budget for replacement

**Implication(s):** Equipment failure | No heat for building

**Location:** Utility Room

**Task:** Service

**Time:** Immediate

### GAS FURNACE \ Mechanical air filter

**18. Condition:** • [Missing](#)

There is no filter noted at the gas furnace. Provide immediately.

**Implication(s):** Increased heating costs | Reduced comfort | Increased maintenance costs

**Location:** Utility Room

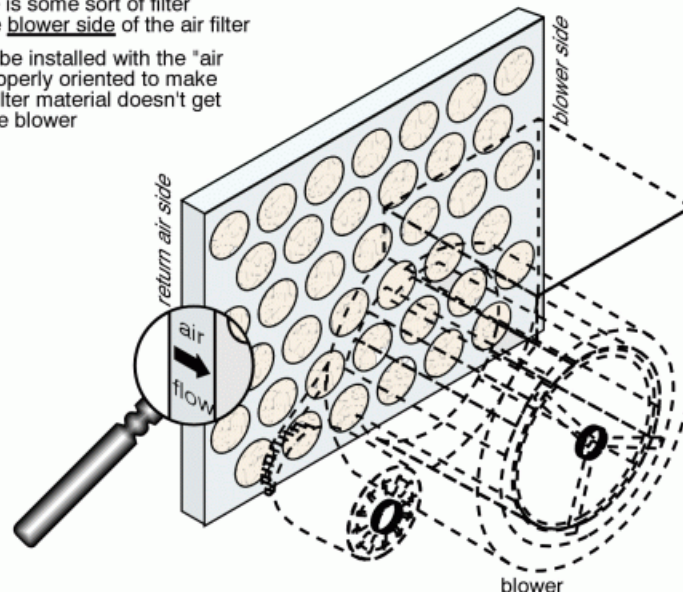
**Task:** Provide

**Time:** Immediate

### **Air filter orientation**

typically, there is some sort of filter support on the blower side of the air filter

the filter must be installed with the "air flow" arrow properly oriented to make sure that the filter material doesn't get sucked into the blower



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# COOLING & HEAT PUMP

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## Description

**General:** • Cooling system responds to normal operating controls with no performance issues noted during the inspection.

**Air conditioning type:**

- [Air cooled](#)



69. Data plate - Date 1999



70. Air conditioner

**Cooling capacity:** • [30,000 BTU/hr](#)

**Compressor type:** • Electric

**Compressor approximate age:** • 16 years

**Typical life expectancy:** • 12 to 15 years

**Failure probability:** • [High](#)

## Limitations

**Heat gain calculations:** • Not done as part of a building inspection

**Not part of a home inspection:** • Home inspectors cannot typically access or inspect the indoor coil • Home inspectors do not verify that the size of the indoor coil matches the outdoor coil

## Recommendations

### AIR CONDITIONING \ Life expectancy

**19. Condition:** • Exceeded typical life expectancy.

The air conditioner is past its typical life expectancy of 10-15 yrs. Although in good working order, with cold air noted at all registers, its remaining life expectancy is unpredictable. Replace when necessary,.

**Implication(s):** Equipment failure

**Location:** Right Side Exterior

**Task:** Replace

**Time:** When necessary

## AIR CONDITIONING \ Compressor

### 20. Condition: • Out of level

The air conditioner has settled and is no longer level. This can stress refrigerant lines and shorten life expectancy of the equipment. The refrigerant lines appear to have no added stress or damage at the time of the inspection. The settlement is minor. Monitor for further movement and improve as needed.

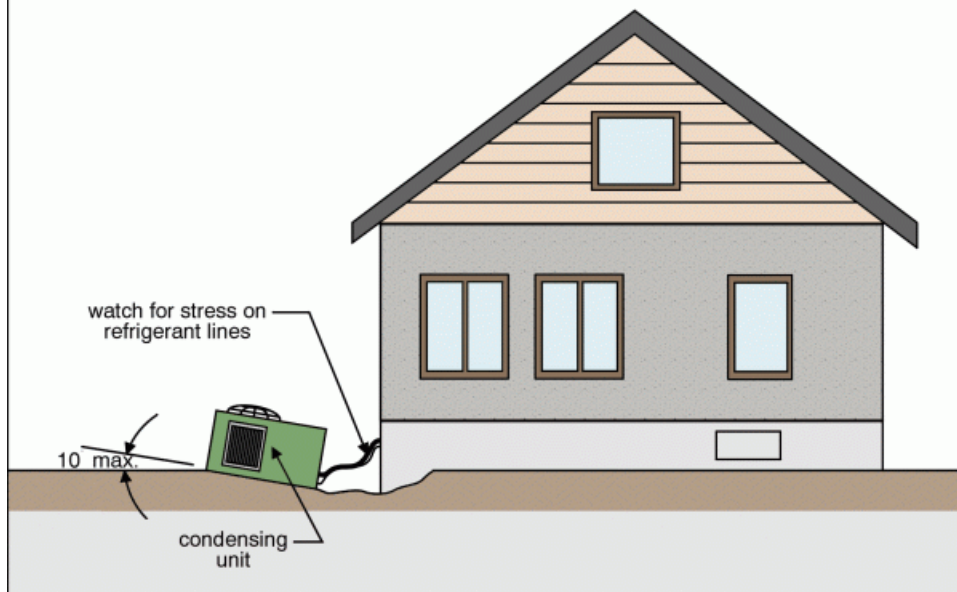
**Implication(s):** Reduced system life expectancy | Damage to equipment

**Location:** Right Side Exterior

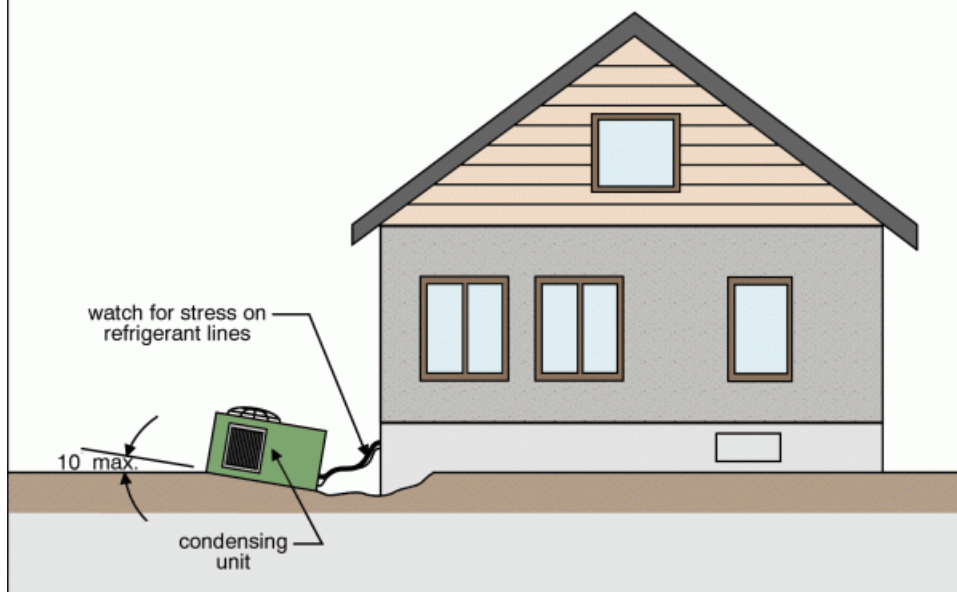
**Task:** Improve

**Time:** Regular maintenance

### Condensing unit out of level



### Condensing unit out of level



# COOLING & HEAT PUMP

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# INSULATION AND VENTILATION

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## Description

Attic/roof insulation material: • [Glass fiber](#)

Attic/roof insulation amount/value: • [R-28](#)

Attic/roof ventilation: • [Roof and soffit vents](#)

Attic/roof air/vapor barrier: • [Plastic](#)

Wall insulation material: • [Glass fiber](#)

Wall air/vapor barrier: • Plastic

Foundation wall insulation material: • Not determined

## Limitations

Inspection prevented by no access to: • Walls, which were spot checked only

Attic inspection performed: • From access hatch

Roof space inspection performed: • From access hatch

Roof ventilation system performance: • Not evaluated

Air/vapor barrier system: • Continuity not verified

Mechanical ventilation effectiveness: • Not verified

## Recommendations

### General

21. • No visible deficiencies were discovered during the inspection

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## Description

**General:** • All plumbing fixtures are functional with no visible evidence of leaks during the time of the inspection

**General:** • General Plumbing



72. hallway bathroom sink



73. Master bathroom sink



74. master bathroom toilet



75. master bathroom shower/tub

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76. hallway bathroom tub/shower



77. hallway bathroom toilet



78. laundry sink



79. basement bathroom shower



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80. kitchen sink



81. basement bathroom sink



82. basement bathroom toilet

**Water supply source:** • Public

**Service piping into building:** • [Plastic](#)

**Supply piping in building:**

• Polybutylene (PB)

Copper fittings noted (t's and 90's)

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83.

**Main water shut off valve at the:**

- Utility room



84. Irrigation shut-off (above laundry)



85. Main water shut-off

**Water flow and pressure:** • [Functional](#) • [Typical for neighborhood](#)

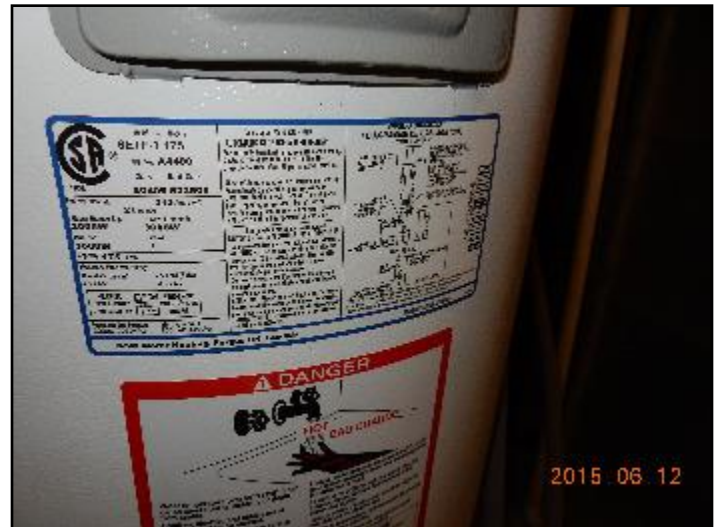
**Water heater fuel/energy source:** • [Electric](#)

**Water heater type:**

- [Conventional](#)



86. Electric hot water heater



87. Data plate - Date 2004

**Tank capacity:** • 175 Litres

**Water heater approximate age:** • 11 years

**Typical life expectancy:** • 8 to 12 years

**Water heater failure probability:** • [Medium](#)

**Waste disposal system:** • Not determined

**Waste and vent piping in building:** • [Plastic](#)

**Floor drain location:**

- Near water heater

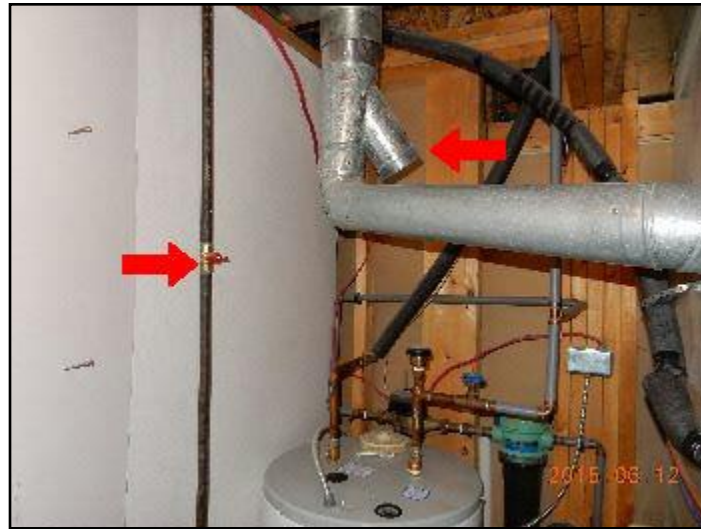


88. Floor drain w/ condensate drain line



## Gas piping:

- Steel



89. Gas line and vent for 'future' gas hwt

Main fuel shut off valve at the: • Utility room

## Limitations

**Items excluded from a building inspection:** • Water quality • Septic system • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains

## Recommendations

### SUPPLY PLUMBING \ Supply piping in building

#### 22. Condition: • [Polybutylene](#)

There is Poly B supply piping throughout the home. This is a common plumbing material found in homes built in and around the 1990's. There have been issues with plastic fittings. Copper fittings (t's and 90's) noted in visible areas.

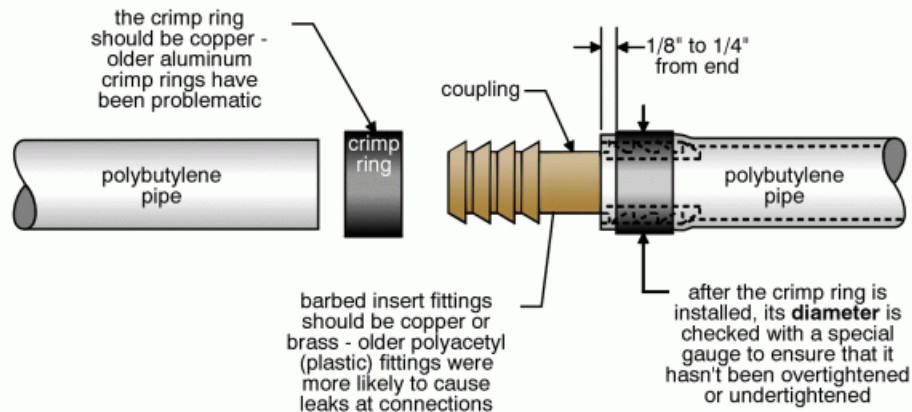
**Implication(s):** Chance of water damage to contents, finishes and/or structure | Leakage

**Location:** Throughout

**Task:** Further evaluation

**Time:** If necessary

## Polybutylene pipe - crimp fitting



90.



91.

### WATER HEATER \ Life expectancy

#### 23. Condition: • [Near end of life expectancy](#)

Hot water heater is 11 years old. It is near the end of its life expectancy. Budget for replacement.

**Implication(s):** No hot water

**Location:** Utility Room

**Task:** Replace

**Time:** When necessary

### FIXTURES AND FAUCETS \ Faucet

#### 24. Condition: • [Hot and cold reversed](#)

The laundry sink faucet has the hot and cold reversed. This is a safety concern. Recommend repair immediately. It may be as simple as switching supply plumbing lines under the sink.

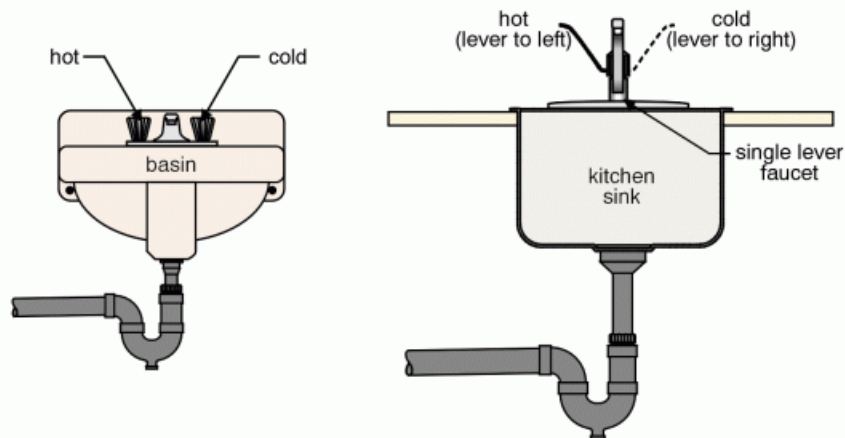
**Implication(s):** Scalding

**Location:** Basement Laundry Area

**Task:** Correct

**Time:** Immediate

## Hot/cold conventions



92.

## FIXTURES AND FAUCETS \ Toilet

**25. Condition:** • Suspect wax seal leak. Moisture present around base of toilet.

The master bathroom toilet as well as the hallway bathroom toilet have moisture present in the floor when tested with a moisture meter. It is likely that the wax seal is leaking. Repair is recommended immediately. Concealed damage of the floor may exist.

**Implication(s):** Water damage to structure and finishes.

**Location:** Various Bathroom



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**Task:** Repair

**Time:** Immediate



93.



94.

## FIXTURES AND FAUCETS \ Bathtub enclosure

**26. Condition:** • [Caulking loose, missing or deteriorated](#)

The master bathroom has areas around the tub/floor intersection with deteriorated or missing caulking. This is typical for a home this age. These areas need to be protected as part of regular maintenance with new caulking to ensure no moisture penetration.

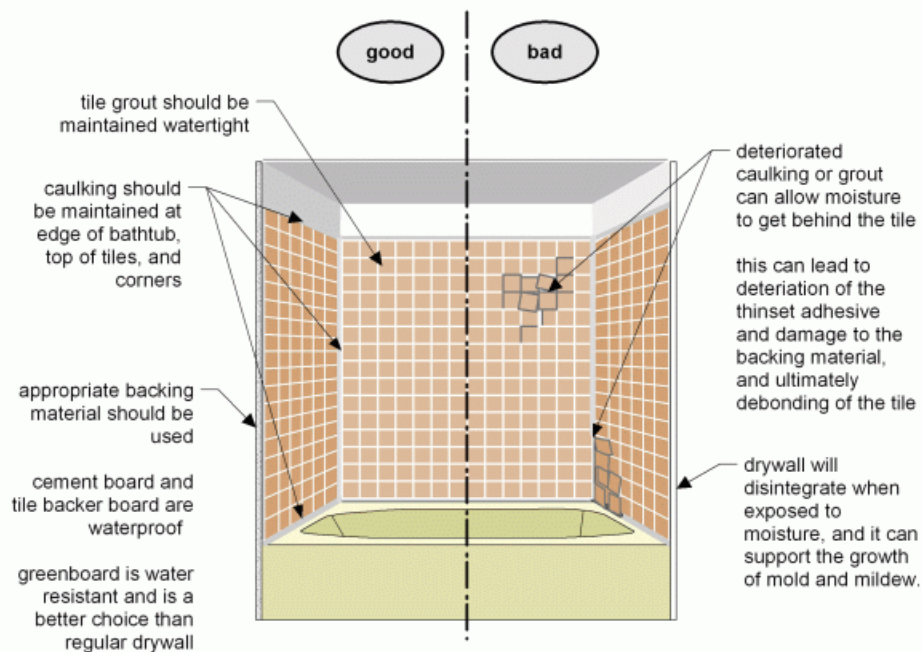
**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Master Bathroom

**Task:** Repair

**Time:** Regular maintenance

## Expansion, debonding of tile due to moisture



95.

### FIXTURES AND FAUCETS \ Shower stall enclosure

#### **27. Condition:** • [Caulking loose, missing or deteriorated](#)

The basement bathroom shower pan is poorly sealed at the floor. There is also some shims noted that were left behind after the install. Repair is recommended immediately to prevent the possibility of moisture penetration between the floor and shower pan.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Basement Bathroom

**Task:** Repair

**Time:** Immediate

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## Description

**General:** • General Interior. Note; photos of all areas are not included



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99.



100.

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102.



103.



104.



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107.



108.



109. Tested in rinse cycle



110. Tested



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111.



112.



113. Tested



114.

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115. Thermostat - tested



116.



117. Vented to exterior



118.



119. In-counter blender - Tested



120. Timer for exterior lights

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121. Irrigation timer - Not tested

**Major floor finishes:** • [Resilient](#) • [Laminate](#) • Tile

**Major wall and ceiling finishes:** • [Plaster/drywall](#) • [Paneling](#) • [Stucco/texture/stipple](#)

**Windows:** • [Fixed](#) • [Sliders](#) • Vinyl

**Glazing:** • [Double](#)

**Exterior doors - type/material:** • Hinged • [Sliding glass](#) • Metal-clad • Garage door - metal

**Doors:** • Inspected

**Range fuel:** • Electricity

**Laundry facilities:** • Washer • Laundry tub • Hot/cold water supply • Dryer • Vented to outside • 120-Volt outlet • 240-Volt outlet • Waste standpipe

**Kitchen ventilation:** • Discharges to exterior

**Bathroom ventilation:**

• Exhaust fan

• None

Master bathroom

**Stairs and railings:** • Inspected

## Limitations

**Inspection limited/prevented by:** • Flooring

**Inspection limited/prevented by:** • New finishes/paint

**Not included as part of a building inspection:** • Carbon monoxide detectors, security systems, central vacuum • Appliances • Perimeter drainage tile around foundation, if any

**Cosmetics:** • No comment offered on cosmetic finishes

**Appliances:** • Appliances are only tested for power connectivity.



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**Appliances:** • Effectiveness of dishwasher drying cycle not tested • Appliances are not moved during an inspection

**Basement leakage:** • Basement was dry, where visible, during inspection

**Basement leakage:** • Cannot predict how often or how badly basement will leak

## Recommendations

### FLOORS \ Wood/laminate floors

**28. Condition:** • Damage

There are areas of the laminate floor that are damaged and worn. There are also areas that have paint drips. This is a cosmetic issue.

**Implication(s):** Cosmetic.

**Location:** Various

**Task:** Repair or replace

**Time:** Discretionary



122.

### FLOORS \ Resilient flooring

**29. Condition:** • [Damage](#)

There are areas of the resilient floor that are torn or damaged. Repair or replace as needed.

**Implication(s):** Cosmetic defects

**Location:** Various

**Task:** Repair or replace

**Time:** If necessary

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124.

## CEILINGS \ General

### **30. Condition:** • Stains

There are areas of the drop down ceiling in the basement with water stains. Paneling was removed in each area to determine the cause. There are no visible signs of moisture damage, nor are there sources of water noted with leaks. Repair or replace panels at your discretion.

**Implication(s):** Cosmetic defects

**Location:** Various Basement

**Task:** Repair or replace

**Time:** Discretionary



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## DOORS \ Doors and frames

**31. Condition:** • Most interior doors and closet doors are missing. Provide immediately.

**Implication(s):** Cosmetic. Security

**Location:** Throughout

**Task:** Provide

**Time:** Immediate

## CARPENTRY \ Cabinets

**32. Condition:** • [Doors or drawers missing or loose](#)

All of the kitchen cabinet doors have been removed. Repair may be necessary. Replacement is recommended.

**Implication(s):** Cosmetic defects

**Location:** Kitchen

**Task:** Repair or replace

**Time:** Immediate



128.



## STAIRS \ Handrails

### 33. Condition: • [Missing](#)

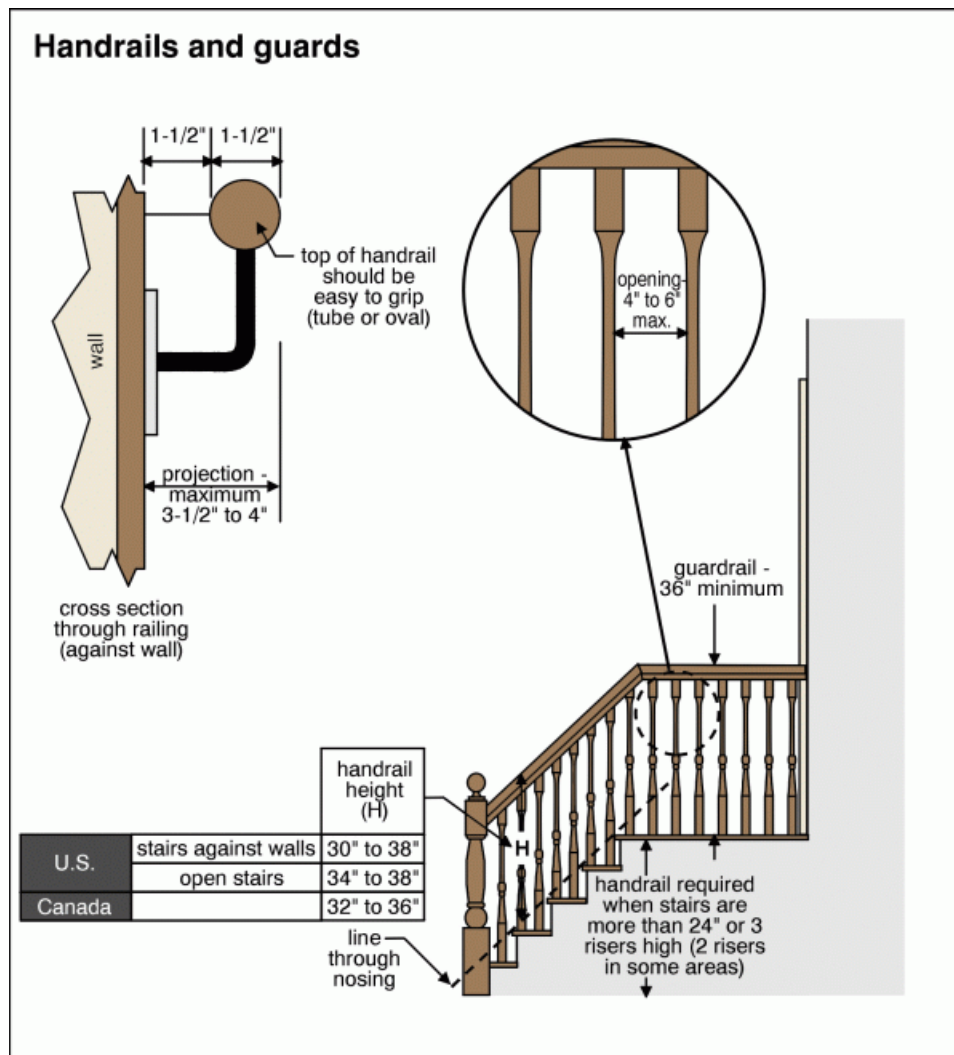
The main staircase has no handrail. This is a safety concern and should be provided immediately.

**Implication(s):** Fall hazard

**Location:** First Floor Staircase

**Task:** Provide

**Time:** Immediate





129.

## EXHAUST FANS \ Exhaust duct

### 34. Condition: • [Poor termination location](#)

The basement bathroom exhaust fan duct terminates in the ceiling. It is recommended to extend the exhaust duct to the exterior to prevent the possibility of condensation damage. There is no damage noted as a result of the arrangement.

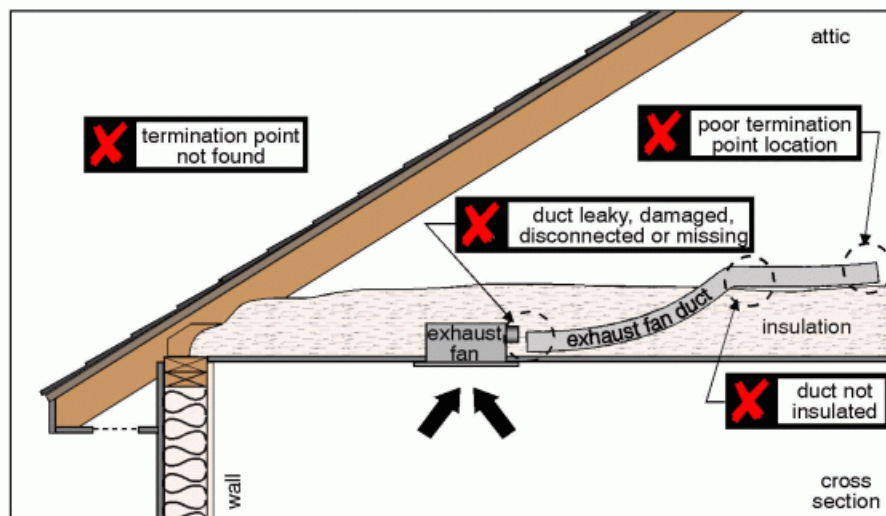
**Implication(s):** Chance of condensation damage to finishes and/or structure

**Location:** Basement Bathroom

**Task:** Correct

**Time:** Immediate

### Exhaust fan conditions



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END OF REPORT



The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS