



YOUR INSPECTION REPORT

Inspection, Education, Knowledge.

PREPARED BY:

Glen Leslie



FOR THE PROPERTY AT:

27 Nelles Avenue

Toronto, ON M6S 1T6

PREPARED FOR:

LEAH MONERAWELA

INSPECTION DATE:

Sunday, September 22, 2019

TIP

**THE
INSPECTION
PROFESSIONALS**

THE INSPECTION PROFESSIONALS, INC.

3120 Rutherford Rd.

Concord, ON L4K 0B2

416-725-5568

HST# 89249 4501 RT0001

www.inspectionpros.ca

adam@inspectionpros.ca

TIP

THE
INSPECTION
PROFESSIONALS

October 1, 2019

Dear Leah Monerawela,

RE: Report No. 2545, v.3
27 Nelles Avenue
Toronto, ON
M6S 1T6

Thank you for choosing The Inspection Professionals to perform your Home Inspection.

The Inspection Professionals (TIP) is a Full-Time Professional, Certified multi-inspector company founded by Adam Hannan. Since 2006, Adam has performed thousands of residential and commercial inspections and has become a respected expert in his field. Adam has a passion for education and has been an inspection instructor teaching at Community Colleges and Universities since 2009.

"We inspect every home as if we were buying it for ourselves. We care about our clients and we strive to exceed expectations. We offer a professional unbiased opinion of the current performance of the home regardless of who we are working for."

-Adam

BUYERS -

An Onsite Review is an essential component to a complete home inspection. In order to more thoroughly familiarize yourself with the property and our findings, please book an Onsite Review at your convenience by calling (416) 725-5568. Once we have completed the Onsite Review, we will transfer the inspection report to the buyer. The fee for this service is only \$249. (A minimum savings of \$175)

Sincerely,

Glen Leslie
on behalf of
THE INSPECTION PROFESSIONALS, INC.

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SUMMARY

27 Nelles Avenue, Toronto, ON September 22, 2019

Report No. 2545, v.3

www.inspectionpros.ca

SUMMARY

ROOFING

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This Summary outlines some of the potentially short-term significant issues from a cost standpoint. This section is provided as a COURTESY ONLY and cannot be considered a substitute for reading the entire report. Please read the complete document.

It is not possible for a home inspector to predict the future. It would be advisable to annually budget between 0.5% to 1% of the value of the home for unforeseen repairs and maintenance. This would hold true for any house that you were considering.

Things will wear out, break down, and fail without warning. This is a fact of home ownership.

NOTE: ALL ELECTRICAL ISSUES ARE CONSIDERED PRIORITY ITEMS

NOTE: FOR BALLPARK COSTS THE TERM 'MINOR' REFERS TO COSTS UNDER \$500

NOTE: FOR DIRECTIONAL PURPOSES USED THROUGHOUT THE REPORT, THE "FRONT" OF THE HOUSE IS REFERENCED AS FACING THE FRONT DOOR FROM THE EXTERIOR.

During a home inspection we inspect all visible systems and components. There are literally hundreds of potential minor issues found in every home, new and old. The focus of this inspection was not to list every minor flaw or deficiency. The focus of this inspection was to identify MAJOR issues with MAJOR systems and components. To simplify and give you a better understanding of what is considered a major issue, the inspection can generally be categorized as follows.

- 1)OBSERVABLE STRUCTURAL DEFECTS
- 2)OBSERVABLE WATER LEAKAGE/DAMAGE Roof, Plumbing, and basement moisture intrusion.
- 3)OBSERVABLE ELECTRICAL DEFECTS
- 4)LIFESPAN SYSTEMS- Roof Covering, Heating System, Cooling System, Windows

For Ballpark costs of various home components, please click here:

<http://www.inspectionlibrary.com/costs.htm>

Roofing

SLOPED ROOFING \ Asphalt shingles

Condition: • Aging

Typical Life Expectancy for this type of roof covering is 13-17 years. The current roof is approximately 20 years and is aging. Advanced deterioration noted at South side of roof which typical due to sun exposure.

Location: Throughout Exterior Roof

Task: Replace

Time: Within 2 years

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Exterior

LANDSCAPING \ Lot grading

Condition: • Low Areas.

Water has recently infiltrated the basement via the east and west exterior walls. Grading or dampproofing solutions are required at both these locations.

Location: East and west Exterior Wall

Task: Upgrade/repair

Time: As Soon As Possible

Cost: Depends on approach

Electrical

DISTRIBUTION SYSTEM \ Knob-and-tube wiring

Condition: • [Outdated](#)

Knob and Tube wiring was observed. The electrical panel contains modern wiring, however these are likely connected in junction boxes with older knob and tube. Knob and tube wiring was installed pre-1950 in all homes. Most of the wiring in the home is behind walls and ceilings and not observed.

The ESA authority does not consider this wiring unsafe. However, Knob and tube wiring is an insurance issue as many insurers require that this wiring be upgraded. Some insurers will require an audit to estimate the percentage of knob and tube wiring still present. Consult with your insurance company for their requirements and/or acceptable limits

Implication(s): Potential problem when obtaining home insurance | Nuisance

Location: Various

Task: Upgrade

Time: As soon as possible

Cost: \$1500 per room

Cooling & Heat Pump

AIR CONDITIONING \ Life expectancy

Condition: • Past life expectancy

Implication(s): Reduced comfort | Equipment failure

Location: Rear Yard

Task: Replace

Time: When necessary / Unpredictable

Cost: \$3000 and up

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Interior

RECOMMENDATIONS \ Overview

Condition: • Evidence of basement leakage was noted.

Location: Various Basement

Task: Repair

Time: As Soon As Possible

Cost: Consult with Specialist

BASEMENT \ Wet basement - evidence

Condition: • [Dampness on floor or walls](#)

High moisture levels were found along the East and West exterior walls as well as residual moisture found wicking at centrally located walls. The source of the moisture is impossible to determine during a non-invasive. home inspection. Further evaluation is required.

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Various Basement

Task: Further evaluation

Time: As Soon As Possible

Condition: • [Mold](#)

The evaluation and analysis of mold is outside the scope of a home inspection. Mold was noted in various areas of the basement. Further Evaluation is recommended. EDIT SEPT 27 - Seller advises that they have addressed some of the mold issues. We did not verify as mold/air quality issues are outside our scope of work.

Implication(s): Chance of water damage to contents, finishes and/or structure | Contaminants may enter building air

Location: Various Basement

Task: Further Evaluation / Remove

Time: As needed

Cost: Outside our scope of work

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

<http://www.inspectionlibrary.com/wtgw.htm>

ROOFING

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Descriptions

The home is considered to face : • North

Sloped roofing material: • [Asphalt shingles](#)

Probability of leakage: • Medium

Approximate age: • 20 years

Observations and Recommendations

SLOPED ROOFING \ Asphalt shingles

Condition: • Aging

Typical Life Expectancy for this type of roof covering is 13-17 years. The current roof is approximately 20 years and is aging. Advanced deterioration noted at South side of roof which typical due to sun exposure.

Location: Throughout Exterior Roof

Task: Replace

Time: Within 2 years



1. Aging



2. Aging

Inspection Methods and Limitations

Inspection performed: • With binoculars from the ground

Descriptions

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout discharge: • [Above grade](#)

Lot slope: • [Towards building](#) • [Flat](#)

Wall surfaces and trim: • [Brick](#)

Wall surfaces - masonry: • [Brick](#)

Observations and Recommendations

WALLS \ Masonry (brick, stone) and concrete

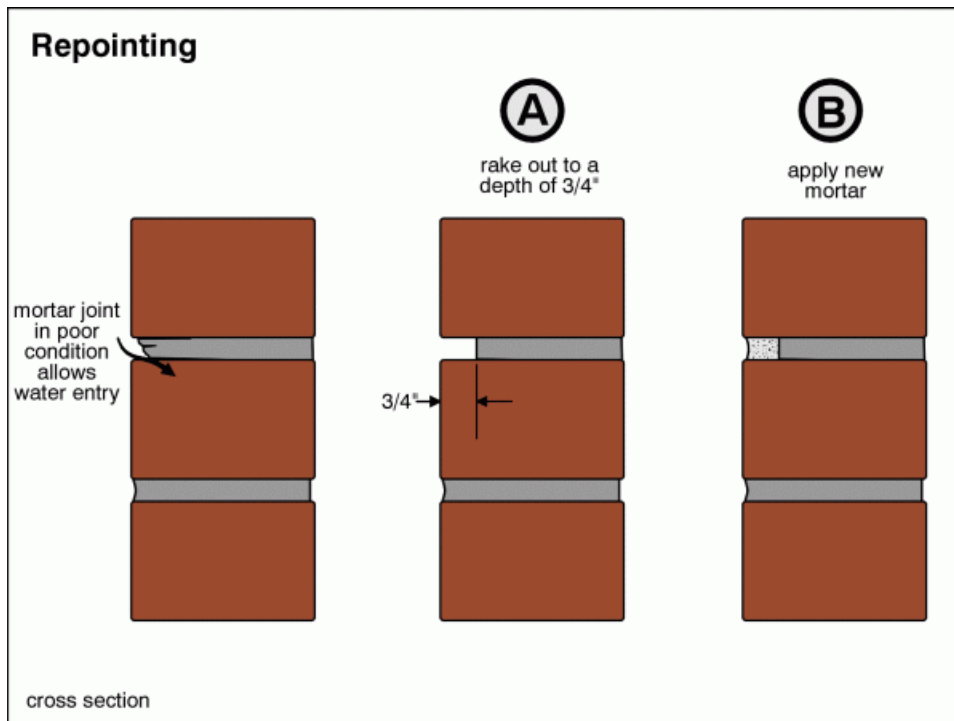
Condition: • [Mortar deterioration](#)

Implication(s): Chance of structural movement | Weakened structure | Chance of water entering building

Location: Various Exterior Wall

Task: Tuck-point

Time: Regular maintenance



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3. Mortar deterioration



4. Mortar deterioration



5. Mortar deterioration

LANDSCAPING \ Lot grading

Condition: • Low Areas.

Water has recently infiltrated the basement via the east and west exterior walls. Grading or dampproofing solutions are required at both these locations.

Location: East and west Exterior Wall

Task: Upgrade/repair

Time: As Soon As Possible

Cost: Depends on approach

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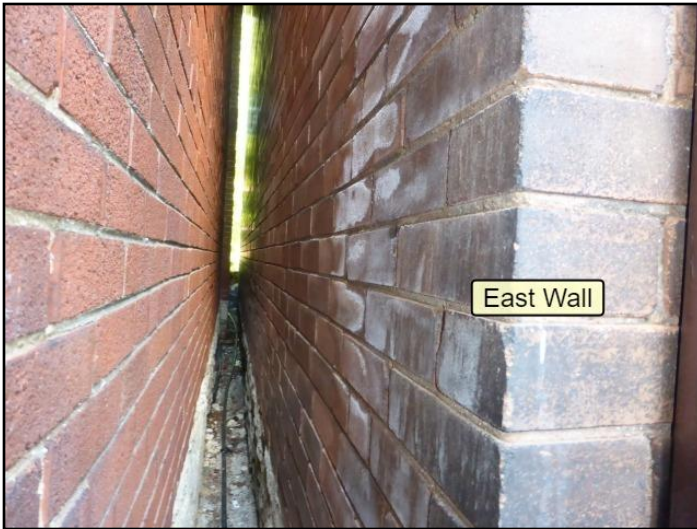
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6. Low Areas.



7. Low Areas.

Inspection Methods and Limitations

Inspection limited/prevented by: • Storage in garage • Poor access under steps, deck, porch

Upper floors inspected from: • Ground level

Descriptions

Configuration: • [Basement](#)

Foundation material: • [Stone](#)

Floor construction:

- [Joists](#)
- Subfloor - plank



8. Subfloor - plank

Exterior wall construction: • [Masonry](#)

Roof and ceiling framing:

- [Rafters/roof joists](#)
- [Plank sheathing](#)



9. Plank sheathing

STRUCTURE

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Inspection Methods and Limitations

Inspection limited/prevented by: • Finishes, insulation, furnishings and storage conceal structural components, preventing/restricting inspection

Attic/roof space: • Inspected from access hatch

Percent of foundation not visible: • 99 %

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Descriptions

Service entrance cable and location: • [Overhead - cable type not determined](#)

Service size: • [100 Amps \(240 Volts\)](#)

Main disconnect/service box type and location:

• [Breakers - basement](#)



10. Breakers - basement

Distribution panel type and location: • [Breakers - basement](#)

Distribution panel rating: • [125 Amps](#)

Distribution wire material and type: • [Copper - non-metallic sheathed](#) • [Copper - knob and tube](#)

Type and number of outlets (receptacles): • [Grounded - upgraded](#) • [Ungrounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom](#)

Smoke alarms (detectors): • [Present](#)

Observations and Recommendations

DISTRIBUTION SYSTEM \ Knob-and-tube wiring

Condition: • [Outdated](#)

Knob and Tube wiring was observed. The electrical panel contains modern wiring, however these are likely connected in junction boxes with older knob and tube. Knob and tube wiring was installed pre-1950 in all homes. Most of the wiring in the home is behind walls and ceilings and not observed.

The ESA authority does not consider this wiring unsafe. However, Knob and tube wiring is an insurance issue as many insurers require that this wiring be upgraded. Some insurers will require an audit to estimate the percentage of knob and tube wiring still present. Consult with your insurance company for their requirements and/or acceptable limits

Implication(s): Potential problem when obtaining home insurance | Nuisance

Location: Various

Task: Upgrade

Time: As soon as possible

Cost: \$1500 per room

DISTRIBUTION SYSTEM \ Outlets (receptacles)

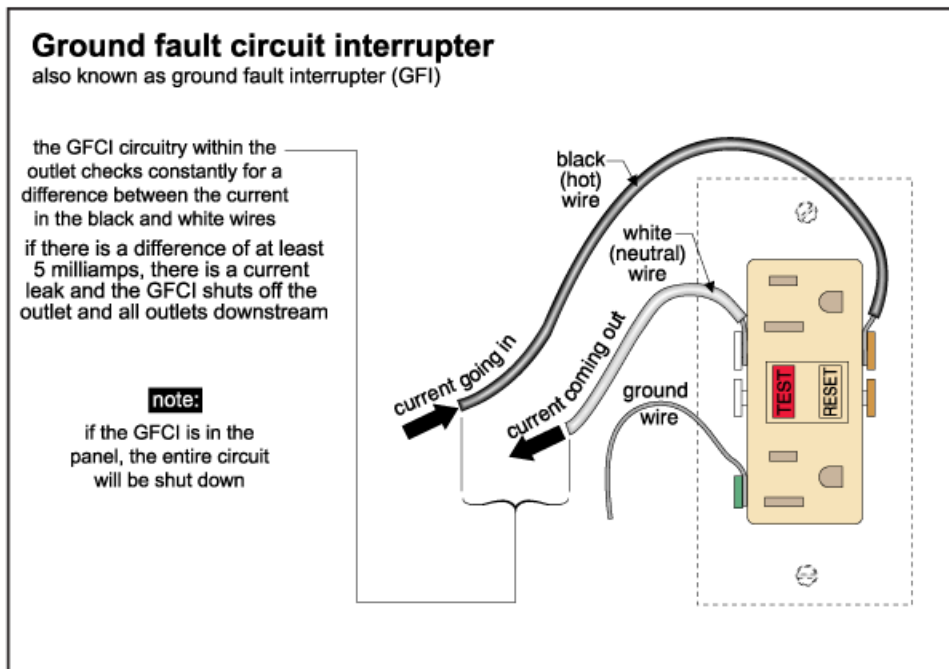
Condition: • [GFCI/GFI needed \(Ground Fault Circuit Interrupter\)](#)

Implication(s): Electric shock

Location: Basement Bathroom

Task: Install

Time: As Soon As Possible



11. GFCI/GFI needed (Ground Fault Circuit...

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DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

Condition: • Smoke and carbon monoxide (CO) detectors should be provided at every floor level of every home. Smoke detectors should be close to sleeping areas, and carbon monoxide detectors should be in any room with a wood-burning stove or fireplace. These devices are not tested as part of a home inspection. Once you take possession of the home, detectors should be tested regularly, and replaced every 10 years. If unsure of the age of a smoke detector, it should be replaced. Smoke detector batteries should be replaced annually.

Inspection Methods and Limitations

System ground: • Quality of ground not determined

HEATING

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Descriptions

System type: • [Furnace](#)

Fuel/energy source: • [Gas](#)

Furnace manufacturer:

• Trane



12. Trane

Approximate capacity: • [80,000 BTU/hr](#)

Efficiency: • [High-efficiency](#)

Approximate age: • [11 years](#)

Typical life expectancy: • Furnace (high efficiency) 15 to 20 years

Fireplace/stove:

• [Gas fireplace](#)



13. Gas fireplace

Observations and Recommendations

General

- Set up annual service plan which includes coverage for parts and labour.

Location: Basement Furnace Room

Task: Service annually

Time: Ongoing

Cost: Regular maintenance item

GAS FURNACE \ Mechanical air filter

Condition: • [Dirty](#)

Implication(s): Increased heating costs | Reduced comfort

Location: Basement Furnace Room

Task: Replace

Time: Immediate



14. Dirty

Inspection Methods and Limitations

Safety devices: • Not tested as part of a building inspection

Heat loss calculations: • Not done as part of a building inspection

Heat exchanger: • Not visible

COOLING & HEAT PUMP

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Descriptions

Air conditioning type: • [Air cooled](#)

Manufacturer:

• Rheem



15. Rheem

Cooling capacity: • [24,000 BTU/hr](#)

Compressor approximate age: • 31 years

Typical life expectancy: • 12 to 15 years

Observations and Recommendations

AIR CONDITIONING \ Life expectancy

Condition: • Past life expectancy

Implication(s): Reduced comfort | Equipment failure

Location: Rear Yard

Task: Replace

Time: When necessary / Unpredictable

Cost: \$3000 and up

COOLING & HEAT PUMP

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16. Past life expectancy

Inspection Methods and Limitations

Heat gain/loss calculations: • Not done as part of a building inspection

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Descriptions

Attic/roof insulation material: • [Glass fiber](#)

Attic/roof insulation amount/value: • [R-12](#)

Attic/roof air/vapor barrier: • [None found](#)

Attic/roof ventilation: • [Roof vent](#)

Observations and Recommendations

ATTIC/ROOF \ Insulation

Condition: • [Amount inadequate](#)

The attic insulation has not been upgraded since the house was built. Topping up insulation levels and installing vapor barrier would improve energy efficiency in the home.

Implication(s): Increased heating and cooling costs

Location: Attic

Task: Improve

Time: As Soon As Possible



17. Amount inadequate

ATTIC/ROOF \ Air/vapor barrier

Condition: • [Missing](#)

Vapor barrier should be installed before upgrading attic insulation.

Implication(s): Chance of condensation damage to finishes and/or structure | Increased heating and cooling costs | Reduced comfort

Location: Attic

Time: As Needed

INSULATION AND VENTILATION

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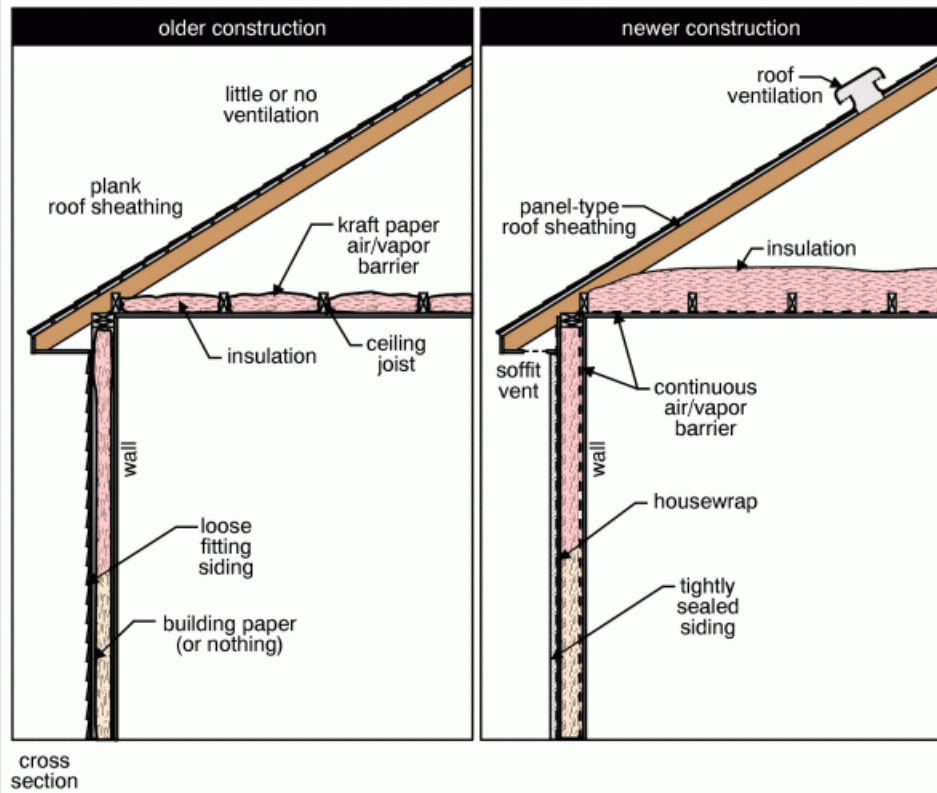
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Differences between old and new construction



Inspection Methods and Limitations

Inspection prevented by no access to: • Walls, which were spot checked only

Attic inspection performed: • From access hatch

Roof ventilation system performance: • Not evaluated

Air/vapor barrier system: • No Vapor barrier.

Descriptions

Service piping into building: • [Not visible](#)

Supply piping in building: • [Copper](#)

Main water shut off valve at the:

- Front of the basement



18. Front of the basement

Water flow and pressure: • [Typical for neighborhood](#)

Water heater type: • [Conventional](#) • Rental

Water heater fuel/energy source: • [Gas](#)

Water heater tank capacity: • [33.3 gallons](#)

Water heater approximate age: • 11 years

Water heater typical life expectancy: • 10 to 15 years

Waste and vent piping in building: • [Not visible](#)

Floor drain location: • None found

Observations and Recommendations

WATER HEATER \ Life expectancy

Condition: • [Near end of life expectancy](#)

Rental Water Heater is at end of life expectancy. Contact rental provider to replace appliance if required.

Implication(s): No hot water

Location: Basement

Task: Replace

Time: If necessary

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WASTE PLUMBING \ Drain piping - performance

Condition: • Sewage backup insurance is recommended.

Implication(s): drainage and/or leakage problems

Location: Basement

Task: Provide

Time: Immediate

Condition: • Drain line video camera inspection recommended

Implication(s): Drainage and/or leakage problems

Location: Basement

Task: Camera inspection

Time: Immediate

Inspection Methods and Limitations

Items excluded from a building inspection: • Tub and basin overflows are not tested as part of a home inspection. Leakage at the overflows is a common problem.

Items excluded from a building inspection: • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows

Descriptions

Major floor finishes: • [Carpet](#) • [Hardwood](#) • [Resilient](#) • [Ceramic](#)

Major wall and ceiling finishes: • [Plaster/drywall](#)

Windows: • [Fixed](#) • [Single/double hung](#) • [Sliders](#) • Wood • Vinyl

Glazing: • [Single](#) • [Double](#)

Exterior doors - type/material: • Hinged • [Wood](#)

Evidence of basement leakage: • Present • Efflorescence • Stains • Dampness • Mold • Musty or damp odor • Drywall/plaster damage • Dehumidifier in basement

Observations and Recommendations

General

• Typical minor flaws were noted on floors, walls and ceilings. These cosmetic issues reflect normal wear and tear

• Work in Progress Observed

Cosmetic improvements were being performed at the time of inspection.

Location: Throughout



19. Work in Progress Observed

RECOMMENDATIONS \ Overview

Condition: • Evidence of basement leakage was noted.

Location: Various Basement

Task: Repair

Time: As Soon As Possible

Cost: Consult with Specialist

STAIRS \ Handrails and guards

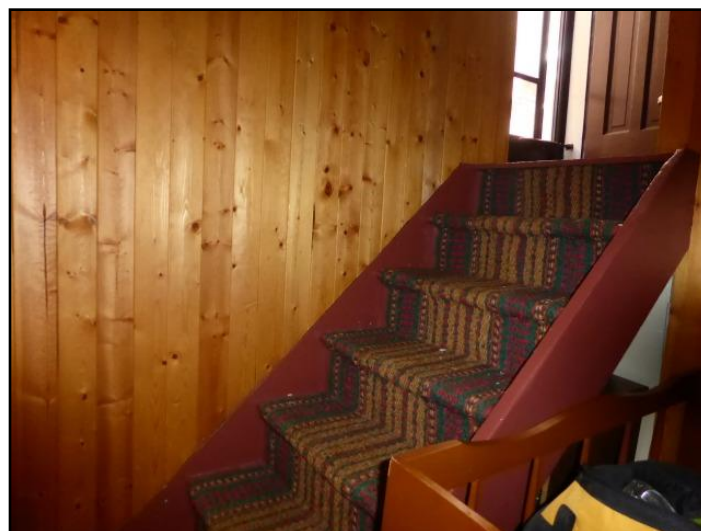
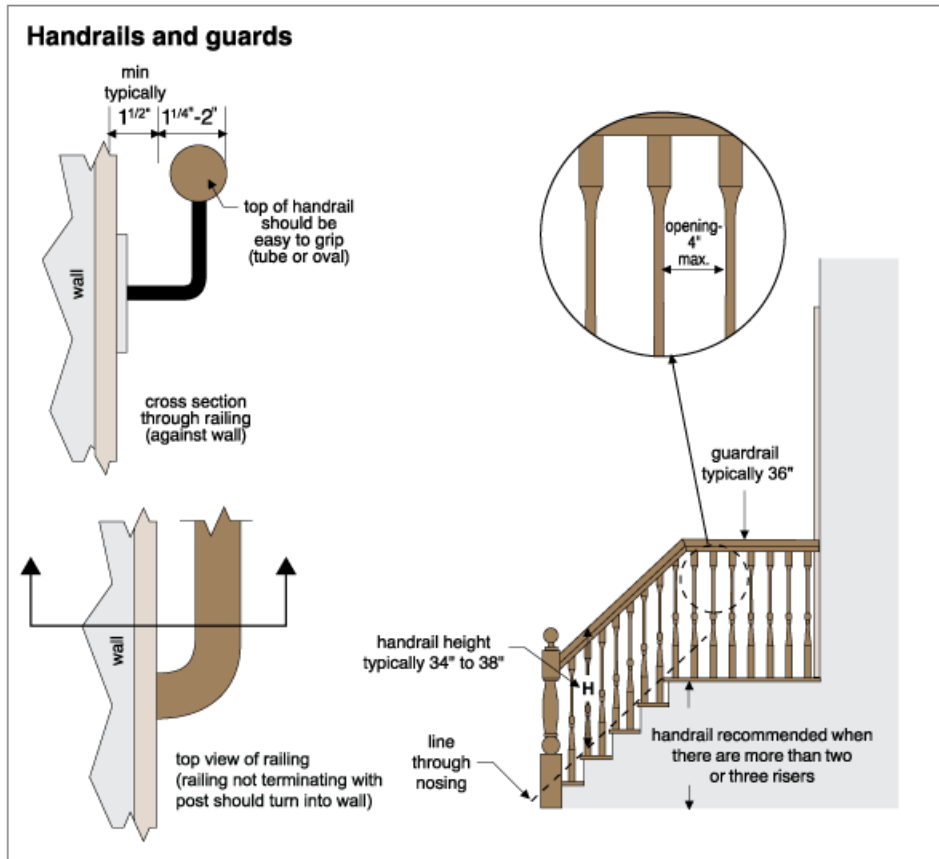
Condition: • [Missing](#)

Implication(s): Fall hazard

Location: Basement

Task: Install

Time: As Required



20. Missing

EXHAUST FANS \ Duct

Condition: • [Not insulated in unconditioned space](#)

Metal bathroom exhaust duct is not insulated in the attic. Duct should be insulated to protect against moisture damage.

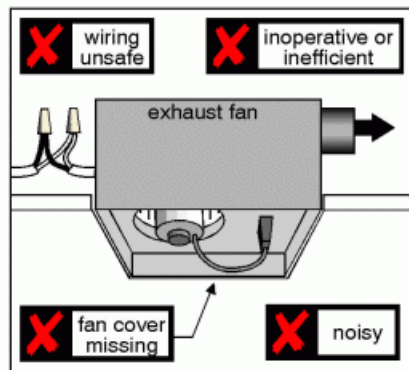
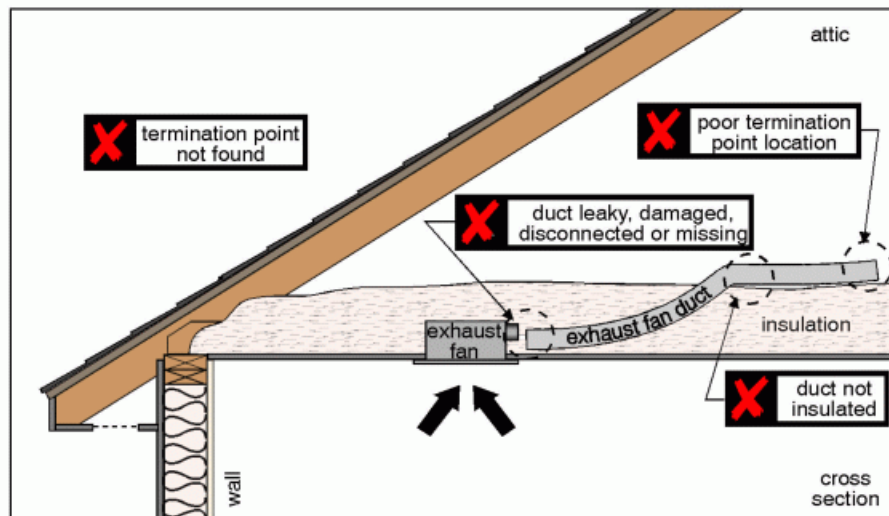
Implication(s): Chance of condensation damage to finishes and/or structure

Location: Attic

Task: Provide

Time: As Needed

Exhaust fan conditions



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21. Not insulated in unconditioned space

Condition: • [Not vented to exterior](#)

Implication(s): Chance of condensation damage to finishes and/or structure

Location: Basement Bathroom Kitchen

Task: Install

Time: As Required



22. Not vented to exterior



23. Not vented to exterior

BASEMENT \ Leakage

Condition: • [Leakage - Read these articles before undertaking any action](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

BASEMENT \ Wet basement - evidence

Condition: • [Dampness on floor or walls](#)

High moisture levels were found along the East and West exterior walls as well as residual moisture found wicking at

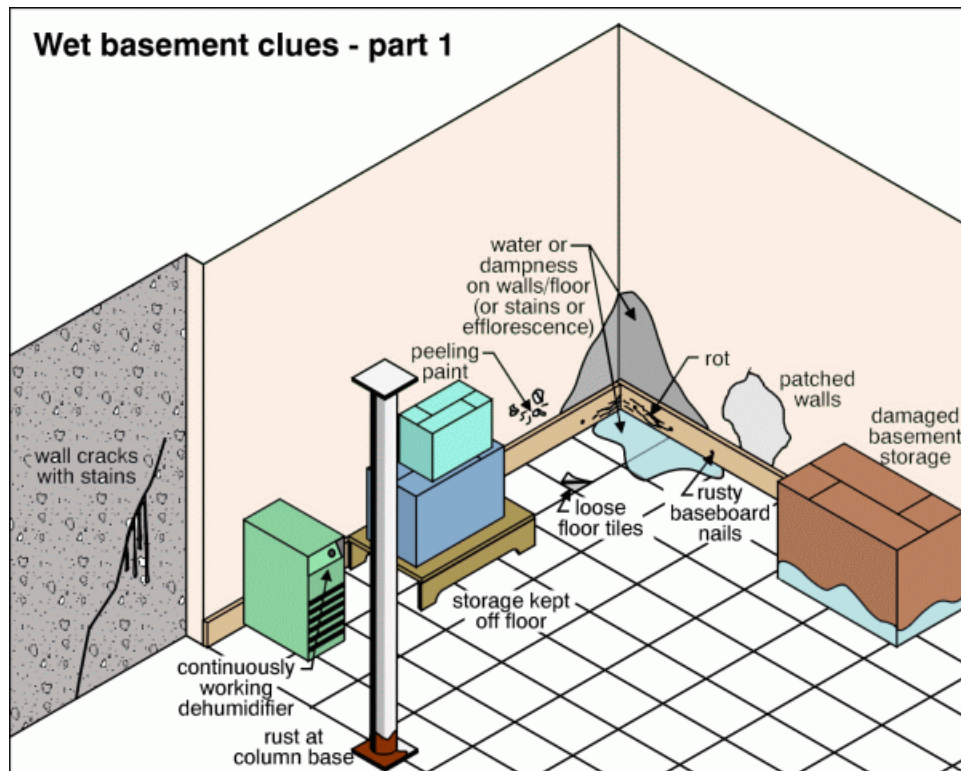
centrally located walls. The source of the moisture is impossible to determine during a non-invasive. home inspection. Further evaluation is required.

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

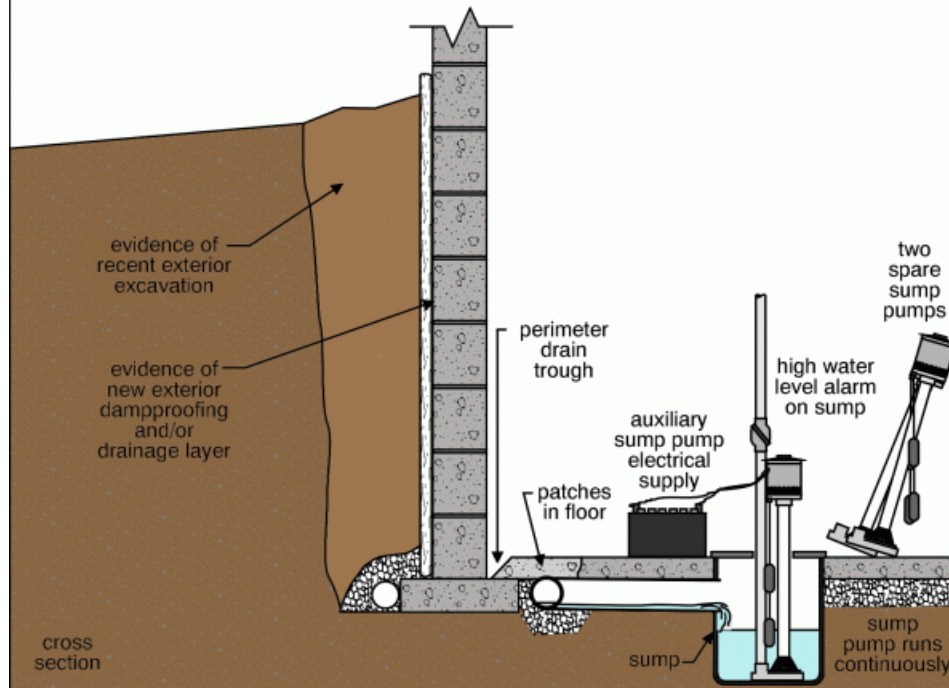
Location: Various Basement

Task: Further evaluation

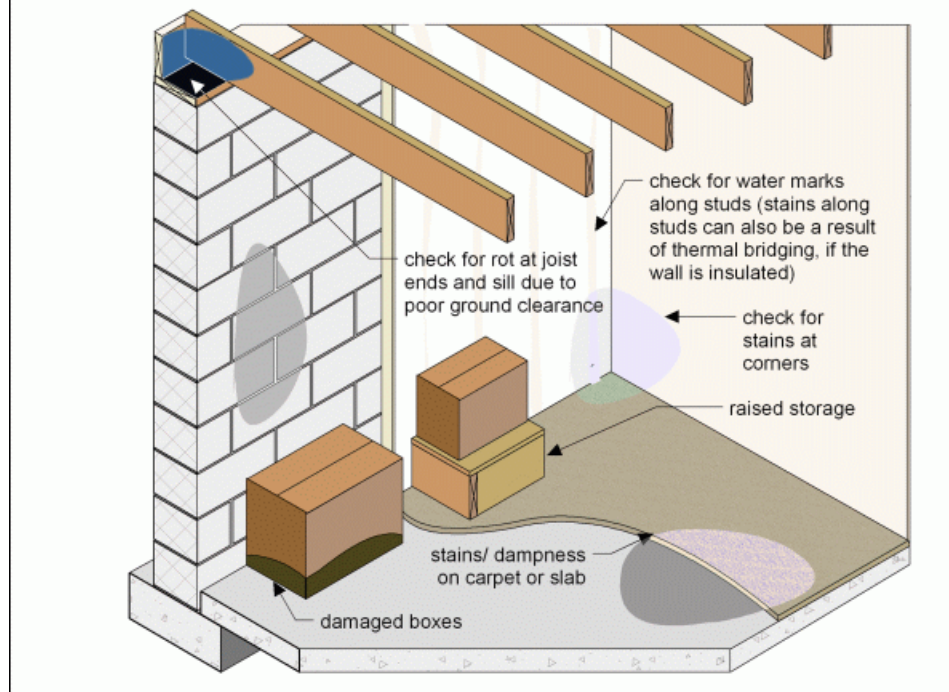
Time: As Soon As Possible



Wet basement clues - part 2



Basement leakage clues - rot, stains or water marks



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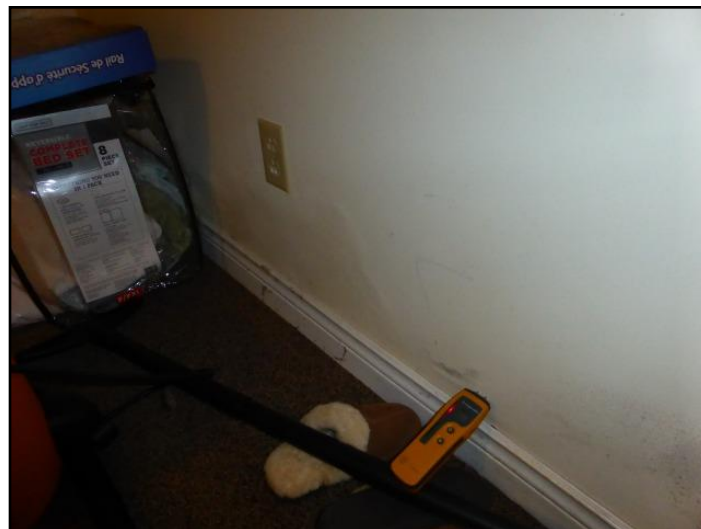
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24. Dampness on floor or walls



25. Dampness on floor or walls



26. Dampness on floor or walls

Condition: • [Efflorescence](#)

click blue link for more information.

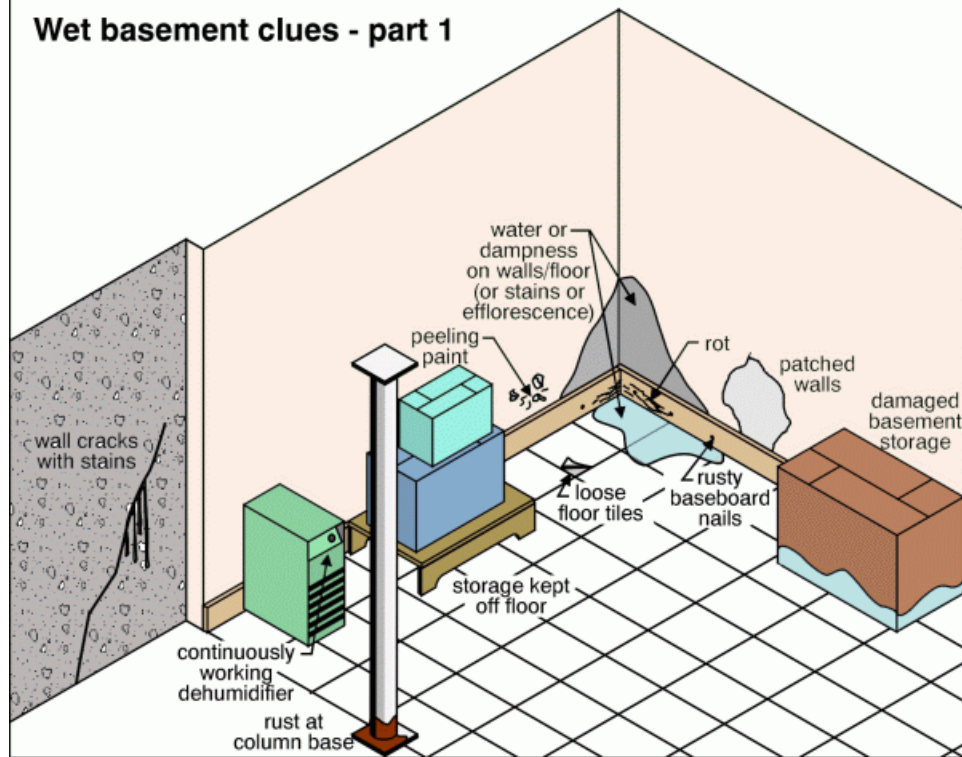
Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Basement Various

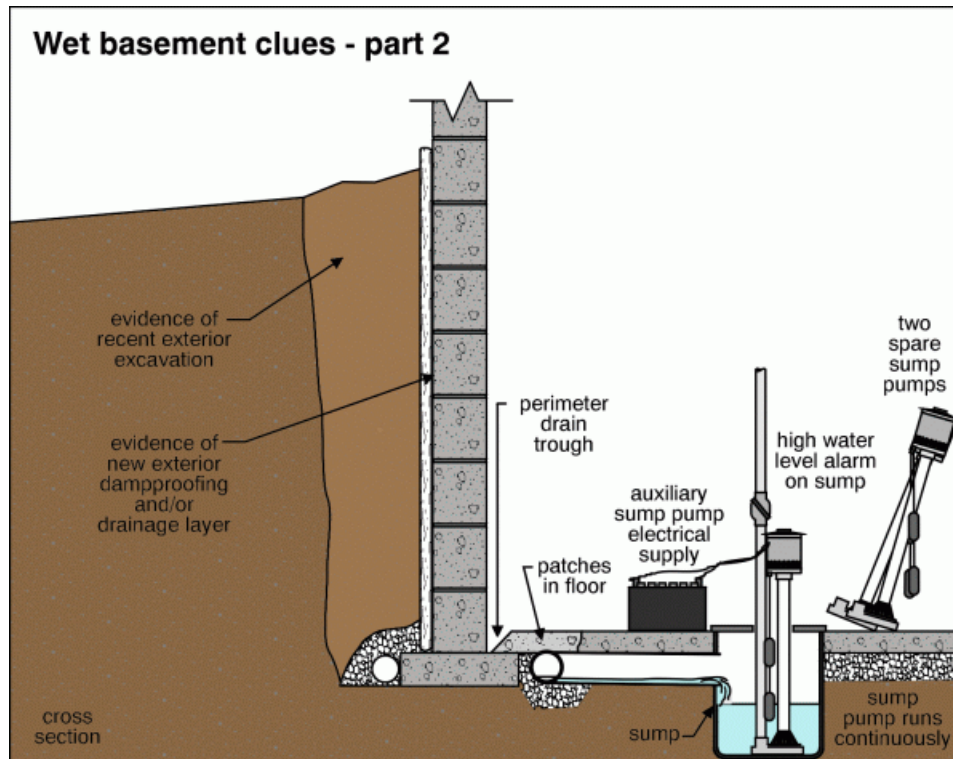
Task: Remove/Clean

Time: As Needed

Wet basement clues - part 1



Wet basement clues - part 2



Condition: • [Mold](#)

The evaluation and analysis of mold is outside the scope of a home inspection. Mold was noted in various areas of the basement. Further Evaluation is recommended. EDIT SEPT 27 - Seller advises that they have addressed some of the mold issues. We did not verify as mold/air quality issues are outside our scope of work.

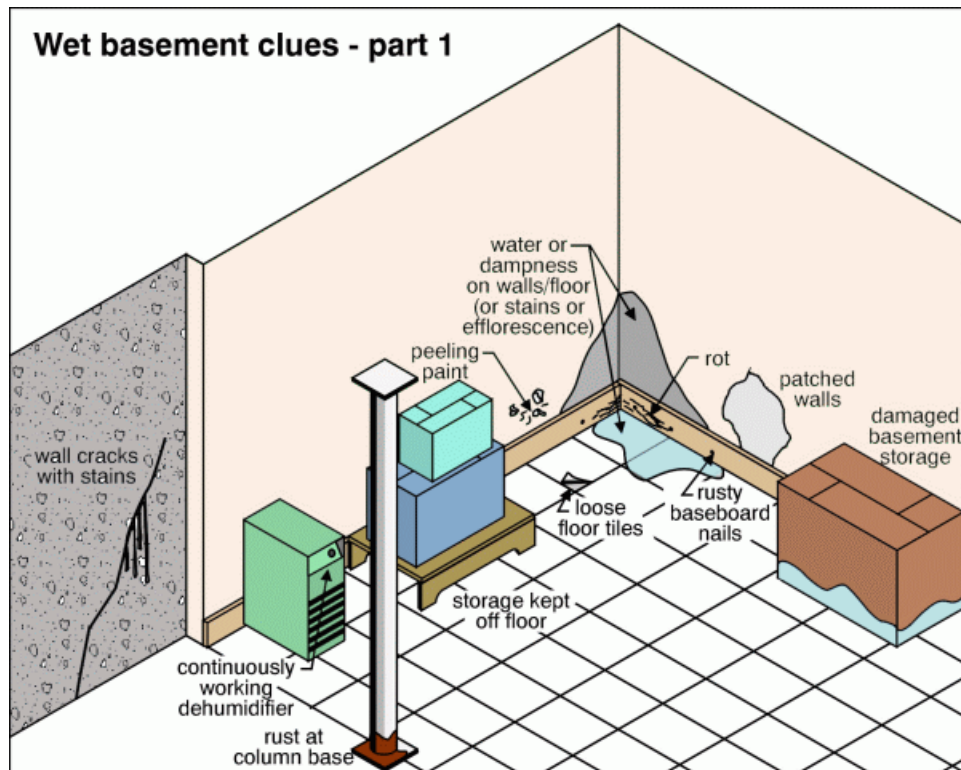
Implication(s): Chance of water damage to contents, finishes and/or structure | Contaminants may enter building air

Location: Various Basement

Task: Further Evaluation / Remove

Time: As needed

Cost: Outside our scope of work



BASEMENT \ Wet basements - corrective action noted

Condition: • [Dehumidifier in basement](#)

Implication(s): Chance of water damage to contents, finishes and/or structure



27. Dehumidifier in basement

BASEMENT \ Wet basements - vulnerability

Condition: • Typical of many homes with stone, brick, or block foundations, some moisture can be expected from time to time and is not unusual. Exterior grading and water management improvements are generally effective at reducing basement moisture. A dehumidifier can also be used to keep humidity levels down.

Inspection Methods and Limitations

General: • The evaluation of Mold is outside the scope of a home inspection. If the appearance of mold is observed during the normal procedure of the home inspection, it will be noted for further evaluation. If mold is not observed, it does not mean it is not present. It may be in an area that was not observed during the inspection.

Inspection limited/prevented by: • Carpet • Storage/furnishings • New finishes/paint • Storage in closets and cabinets / cupboards

Not included as part of a building inspection: • Carbon monoxide alarms (detectors), security systems, central vacuum • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any • Floor coverings

Cosmetics: • No comment offered on cosmetic finishes

Appliances: • Appliances are not inspected as part of a building inspection • Appliances are not moved during an inspection

Percent of foundation not visible: • 99 %

Basement leakage: • Cannot predict how often or how badly basement will leak • Storage in basement severely limited inspection

LINKS

27 Nelles Avenue, Toronto, ON September 22, 2019

Report No. 2545, v.3

www.inspectionpros.ca

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

LINKS

PHOTOS

MORE INFO

REFERENCE

Descriptions

General: • [The Inspection Professionals Website](#)

General: • [Low concentrations of CO can go undetected and can contribute to ongoing, unidentified illnesses. At high concentrations, it can be deadly.](#)

General: • [Serious structural problems in houses are not very common, but when they occur they are never cheap to fix.](#) Some cant be fixed at all. This report wont turn you into a home inspector, but it will give you some of the common indicators.

General: • [There are so many home maintenance and repair items that are important; it can be confusing trying to establish which are the most critical.](#)

General: • [\(Life Cycles and Costs\)](#)

General: • [This report will deal with the simpler topic of home repair--basically replacing things that are worn out or fixing things that are broken.](#)

General: • [Common Building Technical Terms Explained](#)

PHOTOS

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Descriptions

General: • pictures taken during inspection

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Descriptions

GOOD ADVICE FOR ALL HOMEOWNERS: • The following items apply to all homes and explain how to prevent and correct some common problems.

Roof Leaks: • Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced.

Annual Roof Maintenance: • We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of your roof.

Ice Dams on Roofs: • [Most roofs are susceptible to ice dams under the right weather conditions. This is where ice forms](#) at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather.

Maintaining the Exterior of Your Home: • Regular maintenance includes painting and caulking of all exterior wood.

Insulation Amounts - Current Standards: • Attic and roof space: R-40 (R-50 if electric heat)

Reduce Air Leaks: • Insulation is not effective if air (and the heat that goes with it) can escape from the home. Caulking and weather-stripping help control air leakage, improving comfort while reducing energy consumption and costs. Air leakage control improvements are inexpensive and provide a high return on investment.

Bathtub and Shower Maintenance: • Caulking and grout in bathtubs and showers should be checked every six months and improved as necessary to prevent leakage and damage behind wall surfaces.

Basement/Crawlspace Leakage: • Almost every basement (and crawlspace) leaks under the right conditions. • [Click](#) for more information.

MORE GOOD ADVICE FOR ALL HOMES: • Here is some more information that applies to all homes.

MORE GOOD INFORMATION: • The following links give you access to documents that provide additional information on a range of topics.

Life Cycles and Costs: • [Ballpark estimates based on a typical three-bedroom home.](#)

Priority Items for Home Buyers: • [A list of things you should do when moving into your new home and a few regular](#) maintenance items.

Maintenance: • [Scheduled maintenance can avoid repairs and extend the life expectancy of many home components.](#) This document helps you look after your home.

When Things Go Wrong: • [Unpleasant surprises are unfortunately part of homeownership. This document helps to](#) explain why things happen and why your home inspector may not have predicted it.

Standards of Practice: • [This document sets out what a professional home inspection should include, and guides the](#) activities of our inspectors.

END OF REPORT

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
LINKS	PHOTOS	MORE INFO	REFERENCE						

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS