

# YOUR Inspection Report



*Because it's more than just four walls!*

**FOR THE PROPERTY AT:**

123 Sample Address  
Virginia Beach, VA 23455

**PREPARED FOR:**

JOE ABRAHAM

**INSPECTION DATE:**

Friday, June 9, 2017

**PREPARED BY:**

Owen Littlewood



Crawl to Crown, LLC  
3529 Byrn Brae Dr  
Virginia Beach, VA 23464

(757) 330-0772

[www.crawltocrown.com](http://www.crawltocrown.com)  
[olittlewood@crawltocrown.com](mailto:olittlewood@crawltocrown.com)



July 19, 2017

Dear Joe Abraham,

RE: Report No. 1319, v.5  
123 Sample Address  
Virginia Beach, VA  
23455

Thank you for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thank you very much for choosing us to perform your home inspection.

Sincerely,

Owen Littlewood  
on behalf of  
Crawl to Crown, LLC

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## INVOICE

July 19, 2017

Client: Joe Abraham

Report No. 1319, v.5

For inspection at:

123 Sample Address

Virginia Beach, VA

23455

on: Friday, June 9, 2017

2,000 to 2,500 sq ft

\$340.00

Total

\$340.00

PAID IN FULL - THANK YOU!

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# AGREEMENT

123 Sample Address, Virginia Beach, VA June 9, 2017

Report No. 1319, v.5

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## PARTIES TO THE AGREEMENT

### **Company**

Crawl to Crown, LLC  
3529 Byrn Brae Dr  
Virginia Beach, VA 23464

### **Client**

Joe Abraham

This is an agreement between Joe Abraham and Crawl to Crown, LLC.

THIS CONTRACT LIMITS THE LIABILITY OF THE HOME INSPECTION COMPANY.  
PLEASE READ CAREFULLY BEFORE SIGNING.

In addition to the limitations in the Standards of Practice, the Inspection of this property is subject to the Limitations and Conditions set out in this Agreement. The Inspection is performed in accordance with the Standards of Practice of our national association.

## LIMITATIONS AND CONDITIONS OF THE HOME INSPECTION

There are limitations to the scope of this Inspection. It provides a general overview of the more obvious repairs that may be needed. It is not intended to be an exhaustive list. The ultimate decision of what to repair or replace is yours. One homeowner may decide that certain conditions require repair or replacement, while another will not.

### 1) THE INSPECTION IS NOT TECHNICALLY EXHAUSTIVE.

The Home Inspection provides you with a basic overview of the condition of the property. Because your Home Inspector has only a limited amount of time to go through the property, the Inspection is not technically exhaustive.

Some conditions noted, such as foundation cracks or other signs of settling in a house, may either be cosmetic or may indicate a potential problem that is beyond the scope of the Home Inspection.

If you are concerned about any conditions noted in the Home Inspection Report, we strongly recommend that you consult a qualified Licensed Contractor or Consulting Engineer. These professionals can provide a more detailed analysis of any conditions noted in the Report at an additional cost

### 2) THE INSPECTION IS AN OPINION OF THE PRESENT CONDITION OF THE VISIBLE COMPONENTS.

The Home Inspector's Report is an opinion of the present condition of the property. It is based on a visual examination of the readily accessible features of the building.

A Home Inspection does not include identifying defects that are hidden behind walls, floors or ceilings. This includes wiring, heating, cooling, structure, plumbing and insulation that are hidden or inaccessible.

Some intermittent problems may not be obvious on a Home Inspection because they only happen under certain circumstances. As an example, your Home Inspector may not discover leaks that occur only during certain weather conditions or when a specific tap or appliance is being used in everyday life.

Home Inspectors will not find conditions that may only be visible when storage or furniture is moved. They do not

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remove wall coverings (including wallpaper) or lift flooring (including carpet) or move storage to look underneath or behind.

### 3) THE INSPECTION DOES NOT INCLUDE HAZARDOUS MATERIALS.

This includes building materials that are now suspected of posing a risk to health such as phenol-formaldehyde and urea-formaldehyde based insulation, fiberglass insulation and vermiculite insulation. The Inspector does not identify asbestos roofing, siding, wall, ceiling or floor finishes, insulation or fireproofing. We do not look for lead or other toxic metals in such things as pipes, paint or window coverings.

The Inspection does not deal with environmental hazards such as the past use of insecticides, fungicides, herbicides or pesticides. The Home Inspector does not look for, or comment on, the past use of chemical termite treatments in or around the property.

### 4) WE DO NOT COMMENT ON THE QUALITY OF AIR IN A BUILDING.

The Inspector does not try to determine if there are irritants, pollutants, contaminants, or toxic materials in or around the building.

The Inspection does not include spores, fungus, mold or mildew that may be present. You should note that whenever there is water damage noted in the report, there is a possibility that mold or mildew may be present, unseen behind a wall, floor or ceiling.

If anyone in your home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens at additional cost.

### 5) WE DON'T LOOK FOR BURIED TANKS.

Your Home Inspector does not look for and is not responsible for fuel oil, septic or gasoline tanks that may be buried on the property. If the building had its heating system converted from oil, there will always be the possibility that a tank may remain buried on the property.

If fuel oil or other storage tanks remain on the property, you may be responsible for their removal and the safe disposal of any contaminated soil. If you suspect there is a buried tank, we strongly recommend that you retain a qualified Environmental Consultant to determine whether this is a potential problem.

### 6) TIME TO INVESTIGATE

We will have no liability for any claim or complaint if conditions have been disturbed, altered, repaired, replaced or otherwise changed before we have had a reasonable period of time to investigate.

### 7) REPORT IS FOR OUR CLIENT ONLY

The inspection report is for the exclusive use of the client named herein. No use of the information by any other party is intended.

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## 8) CANCELLATION FEE

If the inspection is cancelled within 24 hours of the appointment time, a cancellation fee of 50% of the inspection fee will apply.

## 9) NOT A GUARANTEE, WARRANTY OR INSURANCE POLICY.

The inspection is not a guarantee, warranty or an insurance policy with regard to the fitness of the property.

## 10) LIMIT OF LIABILITY / LIQUIDATED DAMAGES

The liability of the Home Inspector and the Home Inspection Company arising out of this Inspection and Report, for any cause of action whatsoever, whether in contract or in negligence, is limited to a refund of the fees that you have been charged for this inspection.

11) Check Policy: By using a check for payment, you agree to the following terms: In the event your check is dishonored or returned for any reason, you authorize us to electronically (or by paper draft) re-present the check to your bank account for collection of the amount of the check, plus any applicable fees as permitted by state law. ( Re\$ubmittlt )

## 12) InterNACHI's Buy-Back Guarantee.

The Buy-Back Guarantee will be honored for 90 days after closing.

InterNACHI will pay you whatever price you paid for the home.

The home must be listed with a licensed real estate agent.

The Buy-Back Guarantee excludes homes with material defects not present at the time of the inspection, or not required to be inspected per InterNACHI's Residential Standards of Practice, which can be read online at [www.nachi.org/sop.htm](http://www.nachi.org/sop.htm)

**I, Joe Abraham (Signature) \_\_\_\_\_, (Date) \_\_\_\_\_, have read, understood and accepted the terms of this agreement.**

# SUMMARY

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[www.crawltoacrown.com](http://www.crawltoacrown.com)

SUMMARY

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This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

## Exterior

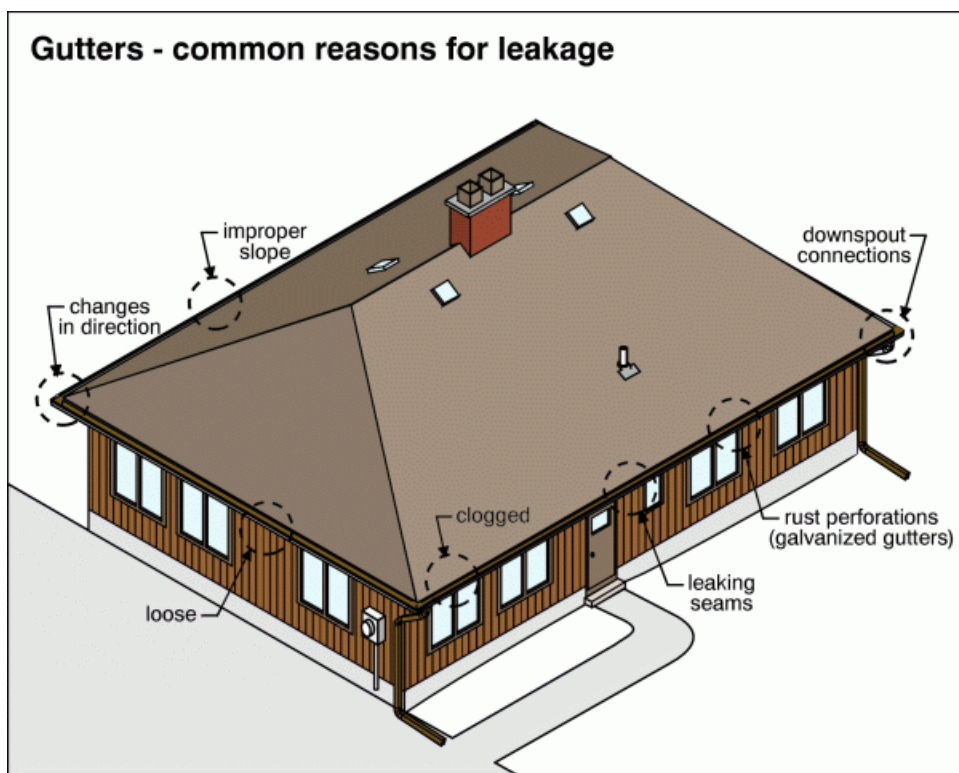
### ROOF DRAINAGE \ Gutters

**Condition:** • [Clogged](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Throughout Exterior

**Task:** Repair or replace



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1. Clogged

**Condition:** • Loose

**Location:** Front Left First floor Exterior

**Task:** Repair or replace



2. Loose

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## ROOF DRAINAGE \ Downspouts

**Condition:** • [Loose connections](#)

**Implication(s):** Leakage

**Location:** Front Left First Floor Exterior

**Task:** Repair or replace



3. *Loose connections*

**Condition:** • [Missing](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Front Second Floor Exterior

**Task:** Repair or replace

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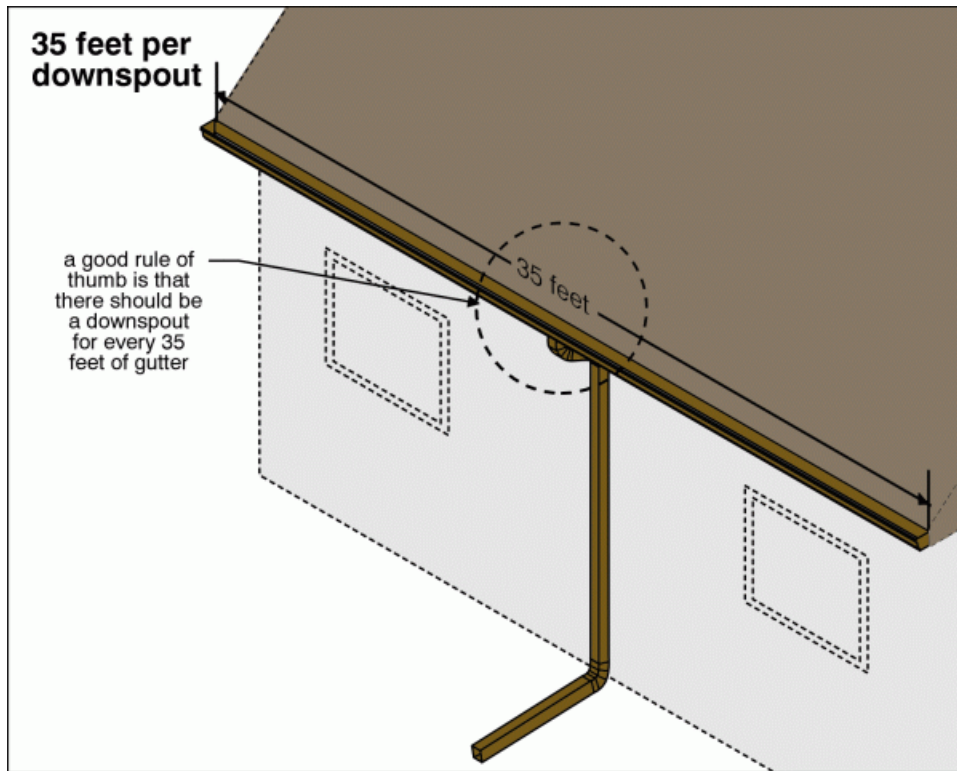
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4. Missing

**Condition:** • [Should discharge 6 feet from building](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

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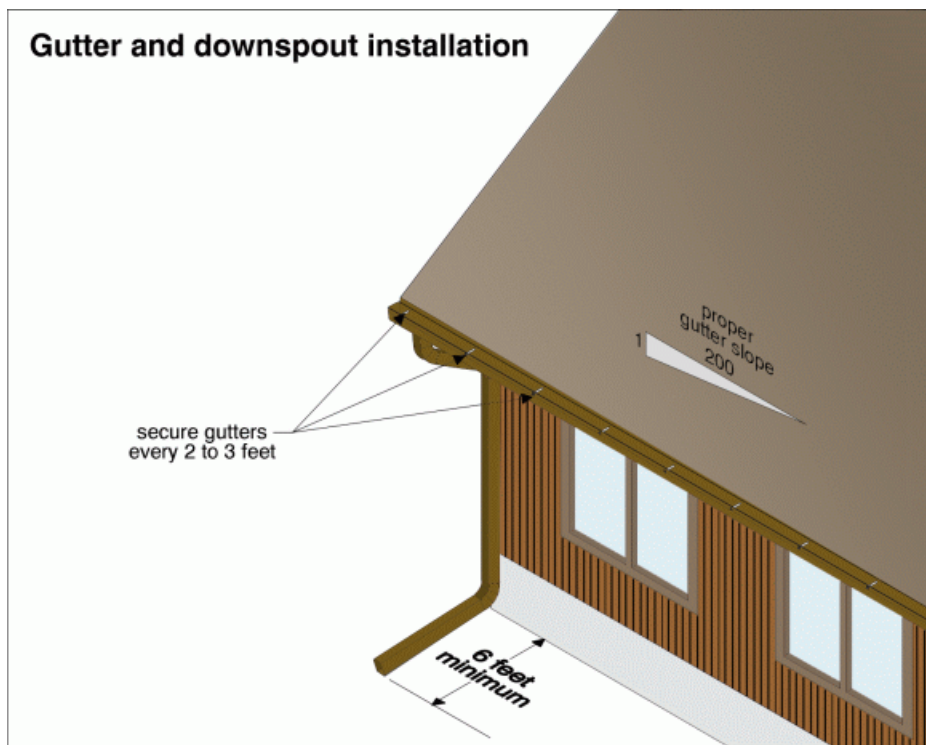
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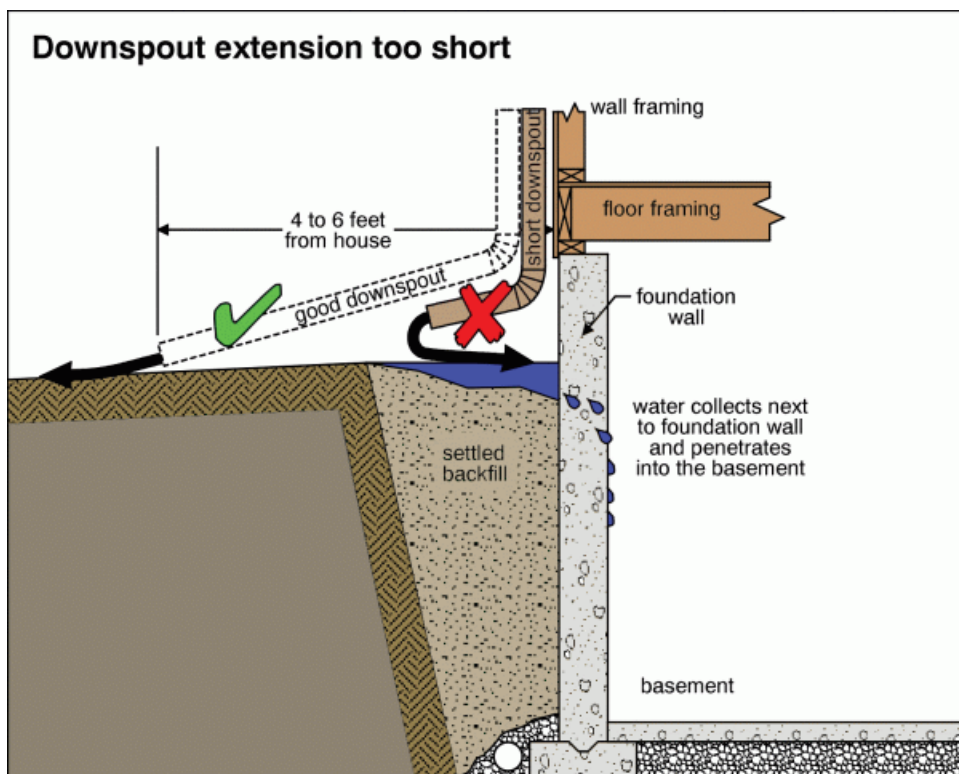
**Location:** Throughout Exterior

**Task:** Improve

## Gutter and downspout installation



## Downspout extension too short



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5. Should discharge 6 feet from building

## WALLS \ Trim

**Condition:** • Rot

Beside Air conditioning unit

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Material deterioration

**Location:** Rear Right Exterior

**Task:** Repair or replace

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6. Rot

**Condition:** • Rot

**Implication(s):** Material deterioration | Chance of water damage to contents, finishes and/or structure

**Location:** Front Left and Right Corners Exterior

**Task:** Repair or replace



7. Rot



8. Rot

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9. Rot

## DOORS \ Doors and frames

**Condition:** • Bolt lock does not work

**Location:** Rear First Floor Exterior

**Task:** Repair or replace



10.

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**Condition:** • [Inoperable](#)

Screen door hinges missing

**Implication(s):** Chance of damage to finishes and structure

**Location:** Rear Exterior

**Task:** Repair or replace



11. Inoperable

## LANDSCAPING \ General

**Condition:** • Vines on building

**Implication(s):** Chance of pests entering building | Chance of damage to finishes

**Location:** Left Side Exterior

**Task:** Repair or replace

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12. Vines on building

## LANDSCAPING \ Driveway

**Condition:** • Cracks in concrete driveway need to be sealed/repared to prevent further moisture penetration/damage.

**Task:** Needs Sealing/Caulking



13. Cracks in concrete driveway need to be...

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## Structure

### ROOF FRAMING \ Sheathing

**Condition:** • Appears there have been prior repairs to replace flashing

**Location:** Rear Left Attic



14.



15.

**Condition:** • Water damage

Water stain on sheathing and drywall at chimney

**Location:** Left Side Second Floor in attic at chimney

**Task:** Repair Replace

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16. Water damage



17. Water damage



18. Water damage

**Condition:** • [Water stains](#)

Small water stain right of pipe stack

**Implication(s):** Material deterioration

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**Location:** Rear Left Attic

**Task:** Further evaluation



19. Water stains

## Electrical

### DISTRIBUTION SYSTEM \ Lights

**Condition:** • [Inoperative](#)

Can lights inoperative

**Implication(s):** Inadequate lighting

**Location:** Left Side First Floor Living Room

**Task:** Further evaluation

**Condition:** • [Inoperative](#)

Possibly bulb burned out

**Implication(s):** Inadequate lighting

**Location:** Right Side Second Floor Bedroom closet

**Task:** Repair or replace

# SUMMARY

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20. Inoperative

## DISTRIBUTION SYSTEM \ Outlets (receptacles)

**Condition:** • No power in bedroom or master bathroom. Have extractor fan checked too

**Location:** Front Right Second Floor Bedroom

**Task:** Further evaluation



21.



22.

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**Condition:** • [Inoperative](#)

Left of front door

**Implication(s):** Equipment inoperative

**Location:** Front Left Garage

**Task:** Repair or replace

**Time:** Immediate



23. Inoperative

**Condition:** • [Reversed polarity](#)

Refrigerator outlet

**Implication(s):** Electric shock

**Location:** Rear Right Kitchen

**Task:** Repair or replace

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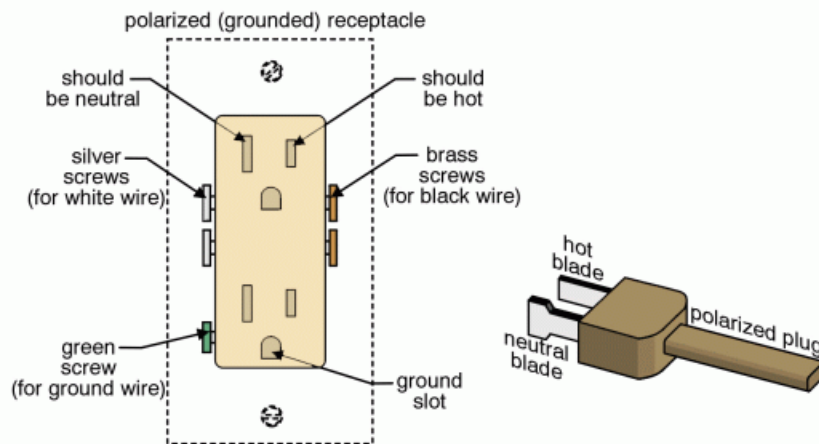
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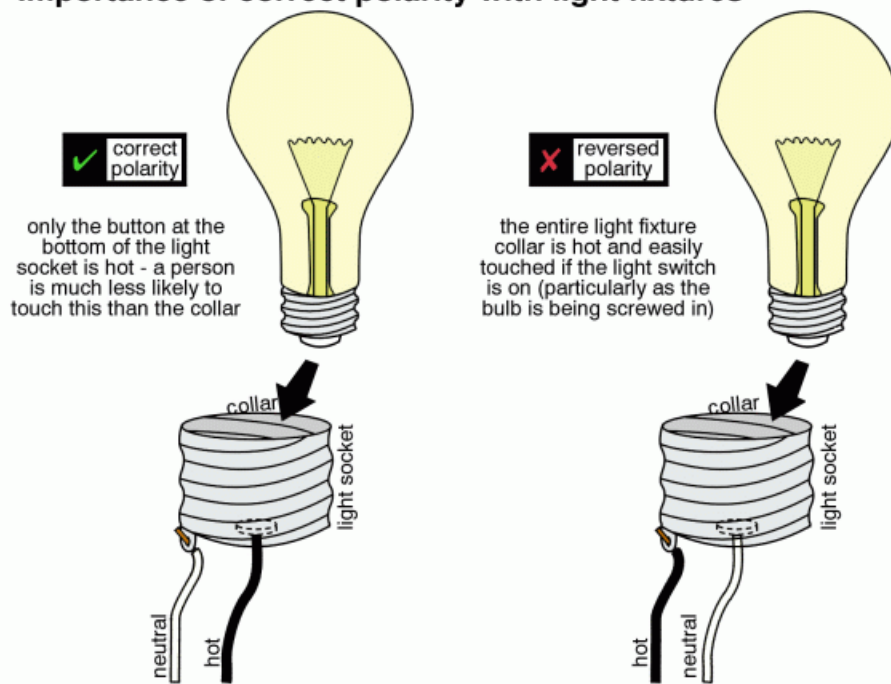
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## Reversed polarity



when the polarity is reversed, the wide receptacle slot is (incorrectly) hot and the narrow slot is neutral - this is not uncommon when people forget that the black wire should be attached to the receptacle's brass screws

## Importance of correct polarity with light fixtures



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24. *Reversed polarity*

**Condition:** • [Reversed polarity](#)

Middle outlet on outside wall

**Implication(s):** Electric shock

**Location:** Front Right First Floor Living Room

**Task:** Repair or replace

**Time:** Immediate

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25. *Reversed polarity*

**Condition:** • [Reversed polarity](#)

Three outlets marked with a red sticker

**Implication(s):** Electric shock

**Location:** Left Side Second Floor Bedroom

**Task:** Repair or replace

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26. *Reversed polarity*

**Condition:** • [Ungrounded](#)

Marked with red sticker

**Implication(s):** Electric shock

**Location:** Rear Right First Floor Kitchen

**Task:** Repair or replace

**Time:** Immediate

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27. Ungrounded

**Condition:** • [No GFCI/GFI \(Ground Fault Circuit Interrupter\)](#)

**Implication(s):** Electric shock

**Location:** Front Left Garage

**Task:** Repair or Replace

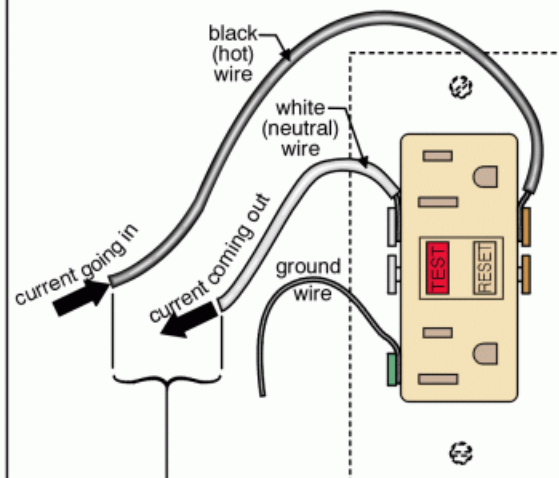
## Ground fault interrupter

the GFI circuitry within the outlet checks constantly for a difference between the current in the black and white wires

if there is a difference (even as little as 5 milliamps), there is a current leak (possibly through your body) and the GFI shuts down the receptacle and other receptacles downstream

### note:

if the GFI is in the panel, the entire circuit will be shut down



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**Condition:** • [Test faulty on GFCI/GFI \(Ground Fault Circuit Interrupter\)](#)

No power to reset outlet.

**Implication(s):** Electric shock

**Location:** Bathroom(s)

**Task:** Further evaluation

## Heating

### GAS FURNACE \ Mechanical air filter

**Condition:** • [Missing](#)

**Implication(s):** Increased maintenance costs | Reduced comfort | Increased heating costs

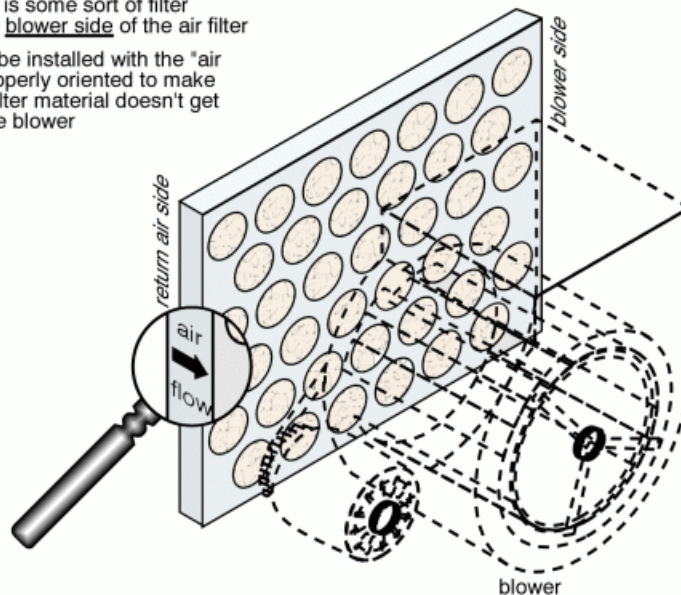
**Location:** Middle First Floor Living Room

**Task:** Repair or replace

#### **Air filter orientation**

typically, there is some sort of filter support on the blower side of the air filter

the filter must be installed with the "air flow" arrow properly oriented to make sure that the filter material doesn't get sucked into the blower



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28. Missing

## FIREPLACE \ General

**Condition:** • Inspect chimney, and sweep, if needed before using

**Implication(s):** Fire hazard

## Insulation and Ventilation

### ATTIC/ROOF \ Hatch

**Condition:** • [Not insulated](#)

**Implication(s):** Reduced comfort | Increased heating and cooling costs

**Task:** Improve

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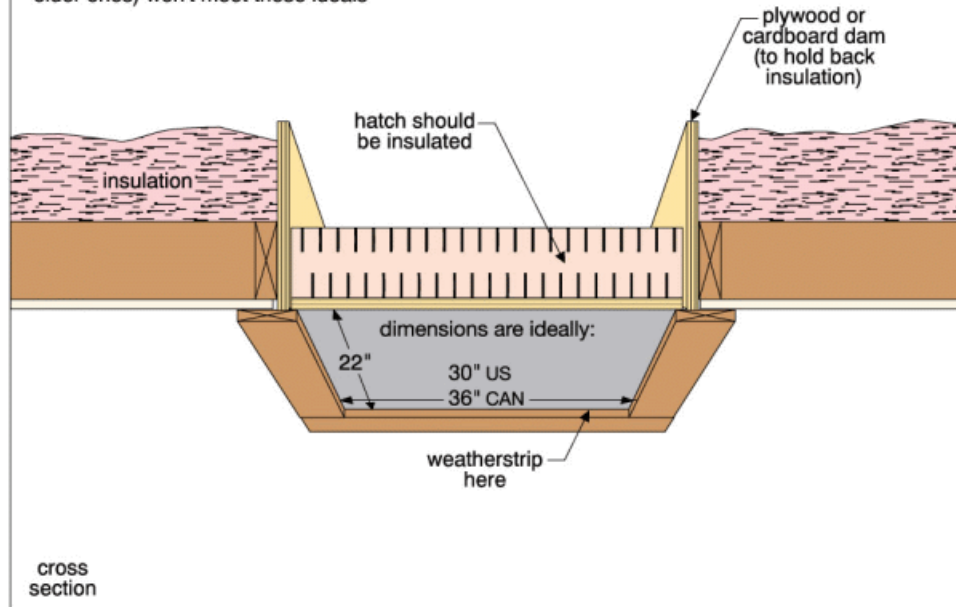
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## Attic access hatch

the illustration shows a good attic access hatch design

hatches in many houses (especially older ones) won't meet these ideals



29. Not insulated

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## Plumbing

### WATER HEATER \ Life expectancy

Condition: • [Near end of life expectancy](#)

Implication(s): No hot water

### WATER HEATER \ Hot/cold piping

Condition: • [Rust](#)

Implication(s): Leakage

Task: Monitor

Time: ongoing



30. Rust

### FIXTURES AND FAUCETS \ Basin, sink and laundry tub

Condition: • Corrugated piping is not ridged nor recommended for household plumbing.

Location: Middle First Floor Hallway Bathroom

Task: Repair or replace

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31. Corrugated piping is not ridged nor...

**Condition:** • Drain stop missing  
**Implication(s):** Reduced operability  
**Location:** Second Floor Bathroom  
**Task:** Repair or replace



32. Drain stop missing

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## FIXTURES AND FAUCETS \ Shower stall enclosure

**Condition:** • Handle is cracked

**Location:** Front Right Second Floor Master Bathroom

**Task:** Repair or replace



33.



34.

## Interior

### CEILINGS \ Fan

**Condition:** • Inoperative

**Implication(s):** Reduced comfort

**Location:** Right Side Second Floor Bedroom

**Task:** Repair or replace

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35. Inoperative

## WINDOWS \ Glass (glazing)

**Condition:** • [Lost seal on double or triple glazing](#)

Marked with a red sticker

**Implication(s):** Shortened life expectancy of material

**Location:** Left Side Second Floor Bedroom

**Task:** Repair or replace

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36. Lost seal on double or triple glazing

## DOORS \ Doors and frames

**Condition:** • [Stiff](#)

Door catches at bottom of threshold plate

**Implication(s):** Reduced operability

**Location:** Second Floor Bathroom

**Task:** Repair or replace

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37. Stiff

## **CARPENTRY \ Countertops**

**Condition:** • [Loose or missing pieces](#)

Loose

**Implication(s):** Hygiene issue

**Location:** Front Right Second Floor Master Bathroom

**Task:** Repair or replace

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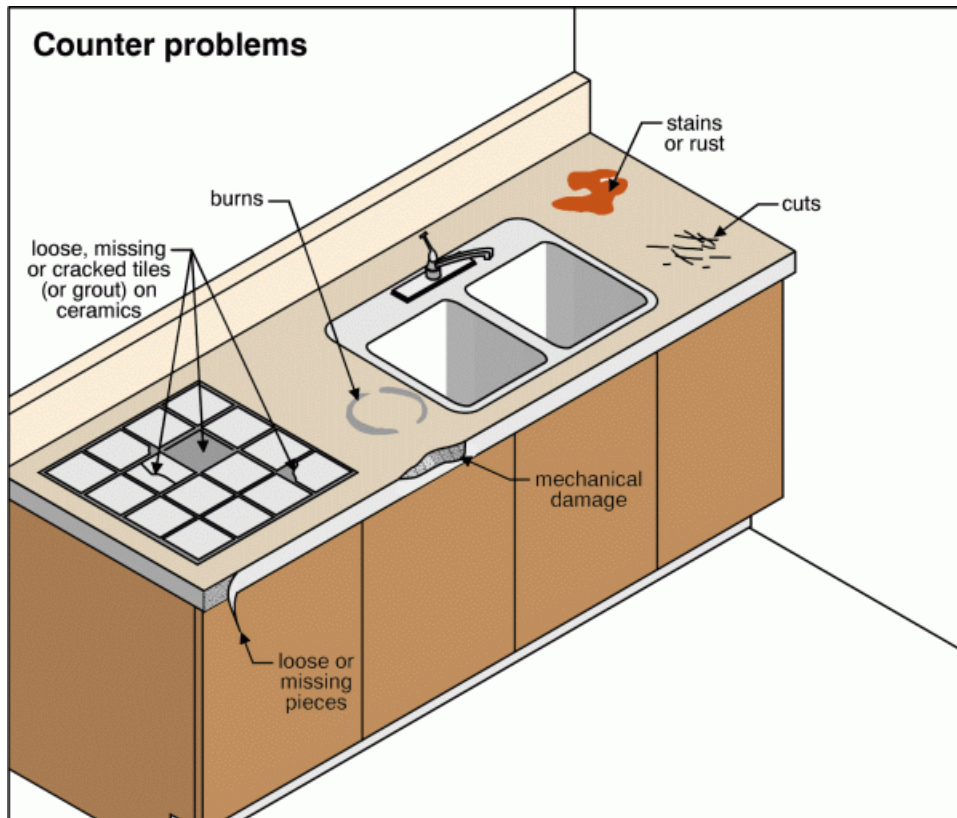
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**38.** *Loose or missing pieces*

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## APPLIANCES \ Oven

**Condition:** • Anti-tipping device missing

**Implication(s):** Physical injury

**Condition:** • Handle defective

**Implication(s):** System inoperative or difficult to operate

**Location:** Kitchen

**Task:** Repair or replace



39. Handle defective

## APPLIANCES \ Microwave oven

**Condition:** • Recirculating fan is noisy

**Location:** Rear Right First Floor Kitchen

**Task:** Repair or replace

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40.

## APPLIANCES \ Dryer

**Condition:** • Dryer vent disconnected

**Implication(s):** Chance of damage to finishes and structure | Equipment not operating properly | Fire hazard | Odors, molds, etc.

**Location:** Middle First Floor Laundry Area

**Task:** Repair or replace

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**41.** *Dryer vent disconnected*

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

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## Description

**Sloped roofing material:** • Architectural Asphalt Shingles typical life expectancy 25 years.

*Note:* Approximately 1 to 5 years old



42. Architectural Asphalt Shingles typical life...



43. Architectural Asphalt Shingles typical life...



44. Architectural Asphalt Shingles typical life...

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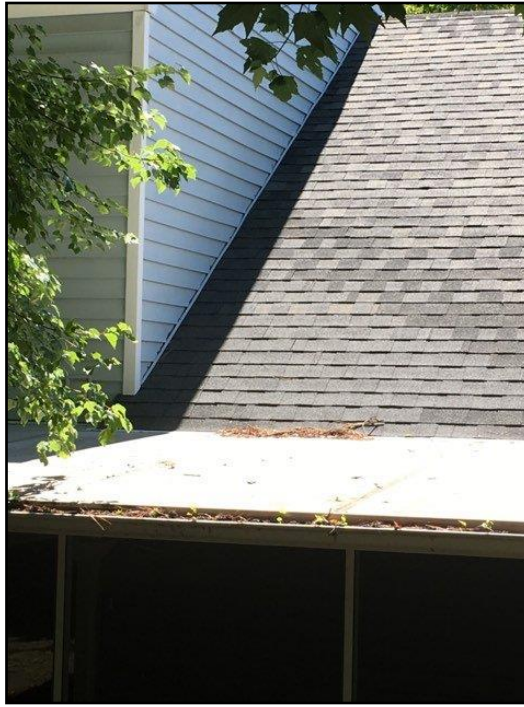
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## Sloped roofing material:

- [Roll roofing](#)



45. Roll roofing

## Limitations

**Inspection performed:** • With binoculars from the ground

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## Description

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout type: • [Eave mounted](#)

Gutter & downspout discharge: • [Above grade](#)

Lot slope: • [Flat](#)

Wall surfaces and trim: • [Vinyl siding](#)

Soffit and fascia: • [Wood](#)

Driveway:

• Concrete



46. Concrete

Fence:

• Wood

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47. Wood

**Garage:** • Man-door into house. • Safety Cables installed • Auto reverse worked. • Sensors noted and working

## Recommendations

### ROOF DRAINAGE \ Gutters

1. **Condition:** • [Clogged](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Throughout Exterior

**Task:** Repair or replace

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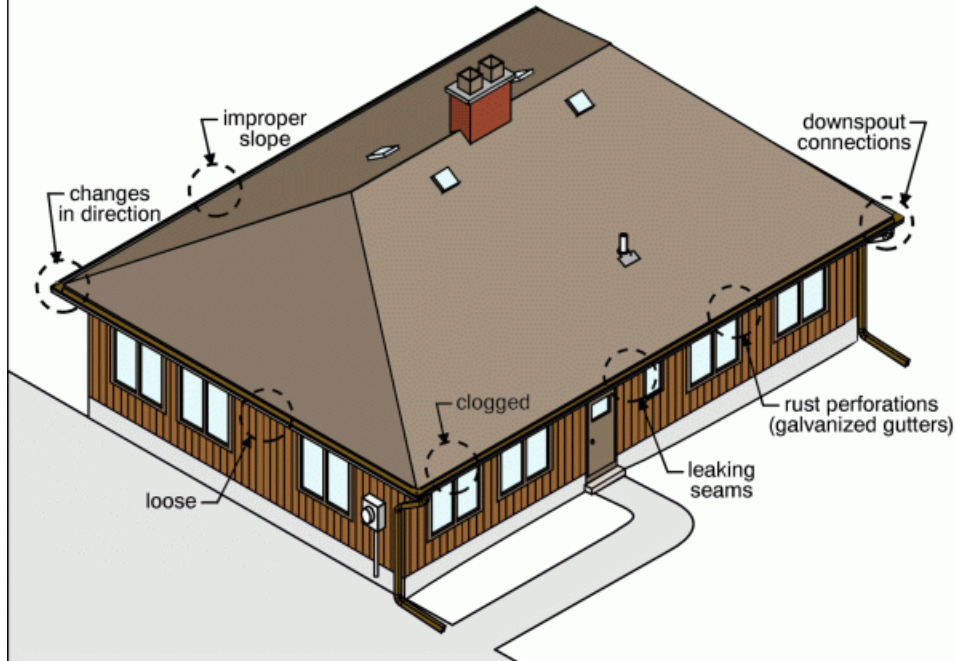
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## Gutters - common reasons for leakage



48. Clogged

2. Condition: • Loose

Location: Front Left First floor Exterior

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**Task:** Repair or replace



49. Loose

## ROOF DRAINAGE \ Downspouts

3. Condition: • [Loose connections](#)

Implication(s): Leakage

Location: Front Left First Floor Exterior

Task: Repair or replace

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50. Loose connections

4. Condition: • [Missing](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Front Second Floor Exterior

Task: Repair or replace

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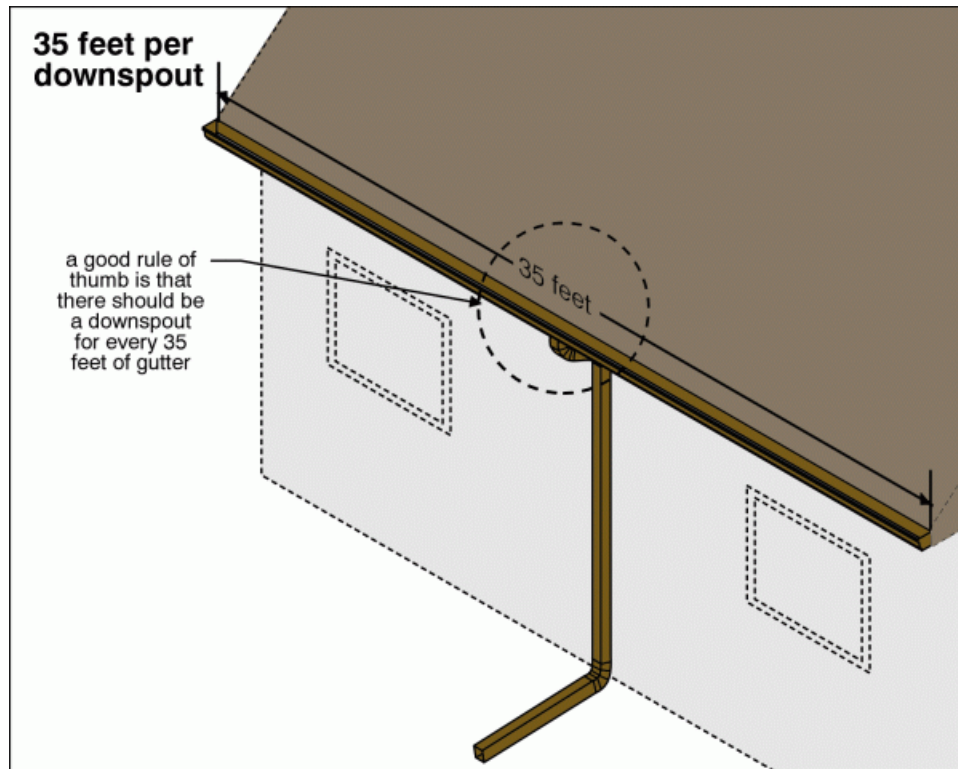
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51. Missing

5. Condition: • [Should discharge 6 feet from building](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

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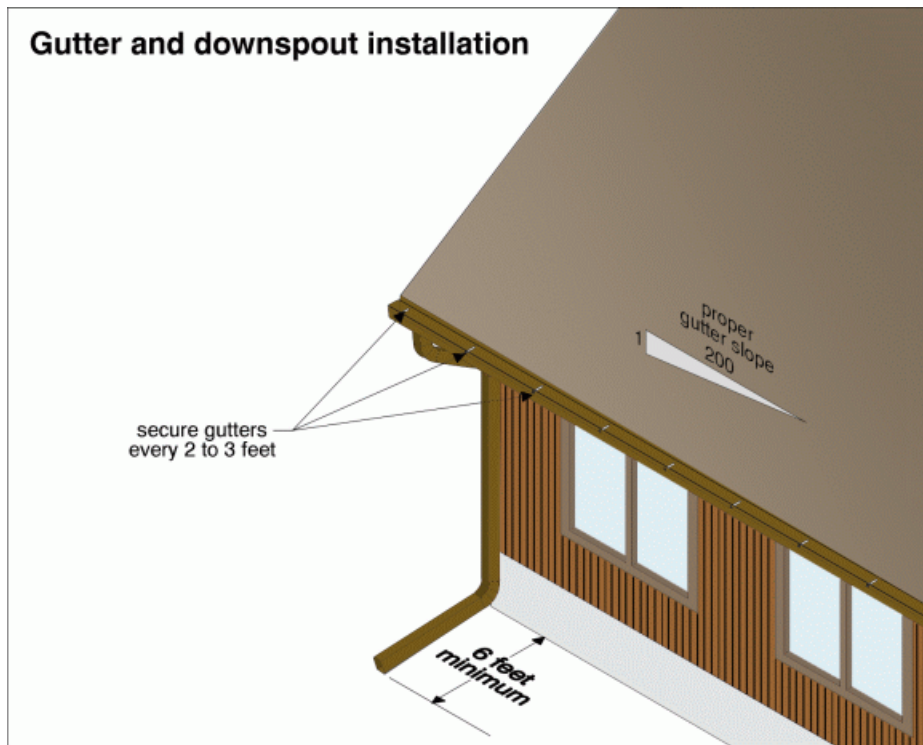
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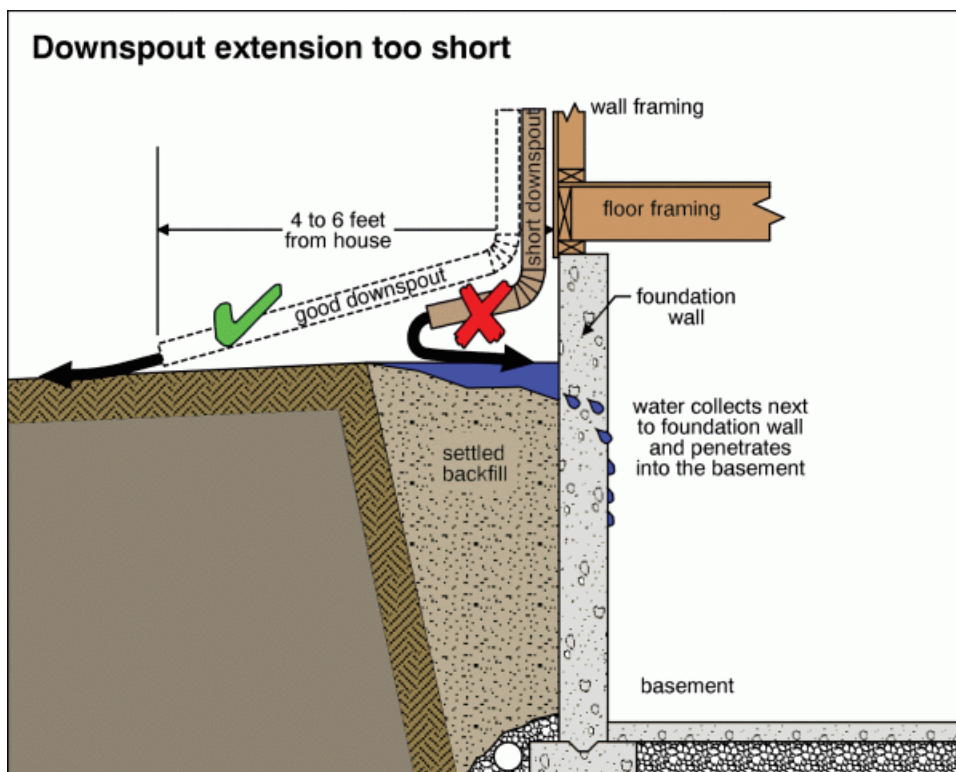
**Location:** Throughout Exterior

**Task:** Improve

## Gutter and downspout installation



## Downspout extension too short



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**52.** *Should discharge 6 feet from building*

## WALLS \ Trim

### **6. Condition:** • Rot

Beside Air conditioning unit

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Material deterioration

**Location:** Rear Right Exterior

**Task:** Repair or replace

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53. Rot

## 7. Condition: • Rot

**Implication(s):** Material deterioration | Chance of water damage to contents, finishes and/or structure

**Location:** Front Left and Right Corners Exterior

**Task:** Repair or replace



54. Rot



55. Rot

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56. Rot

## DOORS \ Doors and frames

**8. Condition:** • Bolt lock does not work

**Location:** Rear First Floor Exterior

**Task:** Repair or replace



57.

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## 9. Condition: • [Inoperable](#)

Screen door hinges missing

**Implication(s):** Chance of damage to finishes and structure

**Location:** Rear Exterior

**Task:** Repair or replace



58. Inoperable

## LANDSCAPING \ General

### 10. Condition: • Vines on building

**Implication(s):** Chance of pests entering building | Chance of damage to finishes

**Location:** Left Side Exterior

**Task:** Repair or replace

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59. Vines on building

## LANDSCAPING \ Driveway

**11. Condition:** • Cracks in concrete driveway need to be sealed/repared to prevent further moisture penetration/damage.

**Task:** Needs Sealing/Caulking



60. Cracks in concrete driveway need to be...

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## Description

**Configuration:** • [Slab-on-grade](#)

**Foundation material:** • [Poured concrete](#)

**Roof and ceiling framing:**

• [Trusses](#)



61. *Trusses*

• [Plywood sheathing](#)

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62. Plywood sheathing

## Recommendations

### ROOF FRAMING \ Sheathing

**12. Condition:** • Appears there have been prior repairs to replace flashing

**Location:** Rear Left Attic

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63.



64.

**13. Condition:** • Water damage

Water stain on sheathing and drywall at chimney

**Location:** Left Side Second Floor in attic at chimney

**Task:** Repair Replace



65. Water damage



66. Water damage

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67. Water damage

**14. Condition:** • [Water stains](#)

Small water stain right of pipe stack

**Implication(s):** Material deterioration

**Location:** Rear Left Attic

**Task:** Further evaluation

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**68.** *Water stains*

## Description

### Service entrance cable and location:

- [Underground aluminum](#)

Located on leftside exterior



69. *Underground aluminum*

### Service size:

- [200 Amps \(240 Volts\)](#)

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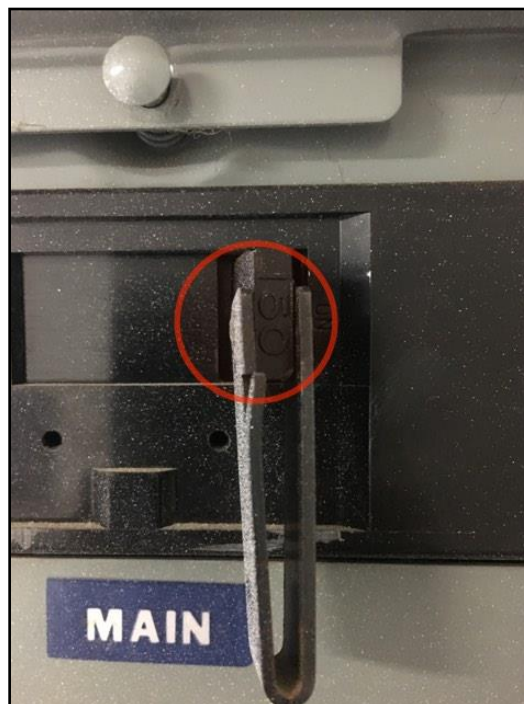
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70. 200 Amps (240 Volts)

Main disconnect/service box rating:

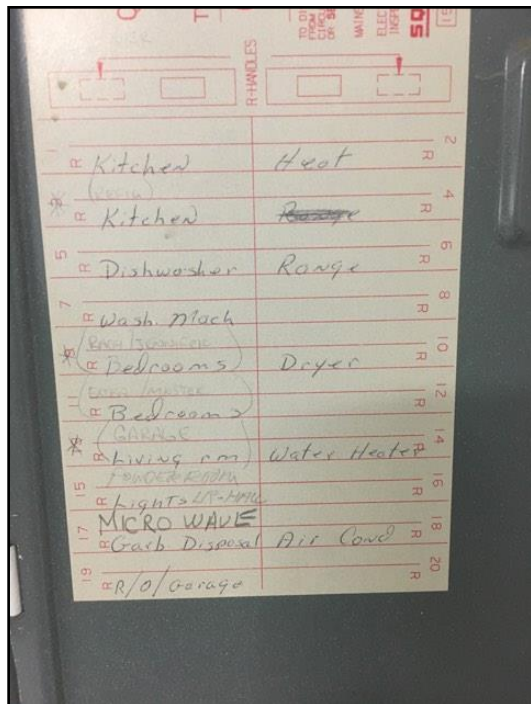
- [150 Amps](#)



71. 150 Amps

**Main disconnect/service box type and location:**• Breakers - garage

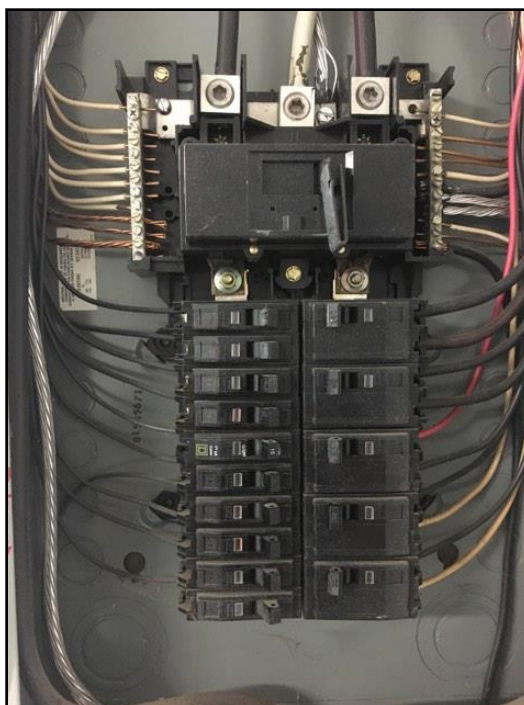
Square D panel and breakers located in garage



72. Breakers - garage



73. Breakers - garage



74. Breakers - garage

**System grounding material and type:** • [Aluminum - water pipe](#)

**Distribution wire material and type:** • [Copper - non-metallic sheathed](#)

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • [GFCI - kitchen](#) • No AFCI

**Smoke detectors:** • [Present](#)

## Recommendations

### DISTRIBUTION SYSTEM \ Lights

**15. Condition:** • [Inoperative](#)

Can lights inoperative

**Implication(s):** Inadequate lighting

**Location:** Left Side First Floor Living Room

**Task:** Further evaluation

**16. Condition:** • [Inoperative](#)

Possibly bulb burned out

**Implication(s):** Inadequate lighting

**Location:** Right Side Second Floor Bedroom closet

**Task:** Repair or replace



75. Inoperative

### DISTRIBUTION SYSTEM \ Outlets (receptacles)

**17. Condition:** • No power in bedroom or master bathroom. Have extractor fan checked too

**Location:** Front Right Second Floor Bedroom

**Task:** Further evaluation

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76.



77.

## 18. Condition: • [Inoperative](#)

Left of front door

**Implication(s):** Equipment inoperative

**Location:** Front Left Garage

**Task:** Repair or replace

**Time:** Immediate



78. Inoperative

**19. Condition:** • [Reversed polarity](#)

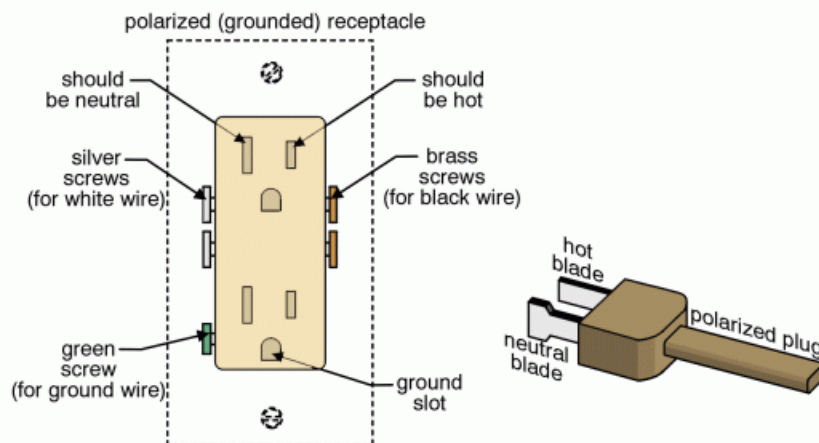
Refrigerator outlet

**Implication(s):** Electric shock

**Location:** Rear Right Kitchen

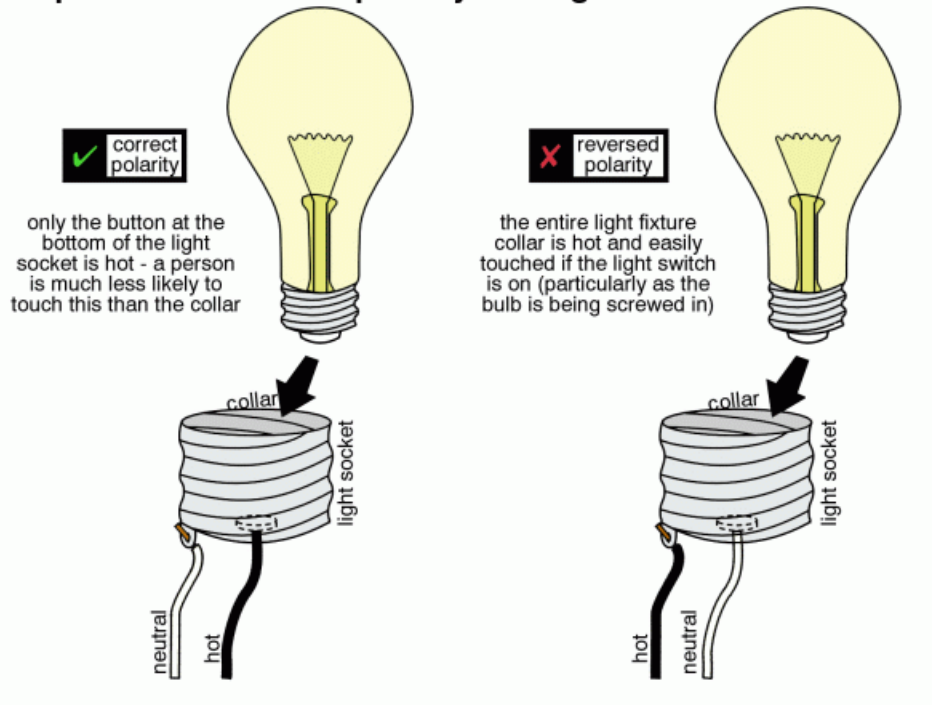
**Task:** Repair or replace

## Reversed polarity



when the polarity is reversed, the wide receptacle slot is (incorrectly) hot and the narrow slot is neutral - this is not uncommon when people forget that the black wire should be attached to the receptacle's brass screws

### Importance of correct polarity with light fixtures



79. Reversed polarity

20. Condition: • [Reversed polarity](#)

Middle outlet on outside wall

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**Implication(s):** Electric shock

**Location:** Front Right First Floor Living Room

**Task:** Repair or replace

**Time:** Immediate



80. *Reversed polarity*

**21. Condition:** • [Reversed polarity](#)

Three outlets marked with a red sticker

**Implication(s):** Electric shock

**Location:** Left Side Second Floor Bedroom

**Task:** Repair or replace

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81. *Reversed polarity*

## 22. Condition: • [Ungrounded](#)

Marked with red sticker

**Implication(s):** Electric shock

**Location:** Rear Right First Floor Kitchen

**Task:** Repair or replace

**Time:** Immediate



82. Ungrounded

23. Condition: • [No GFCI/GFI \(Ground Fault Circuit Interrupter\)](#)

Implication(s): Electric shock

Location: Front Left Garage

Task: Repair or Replace

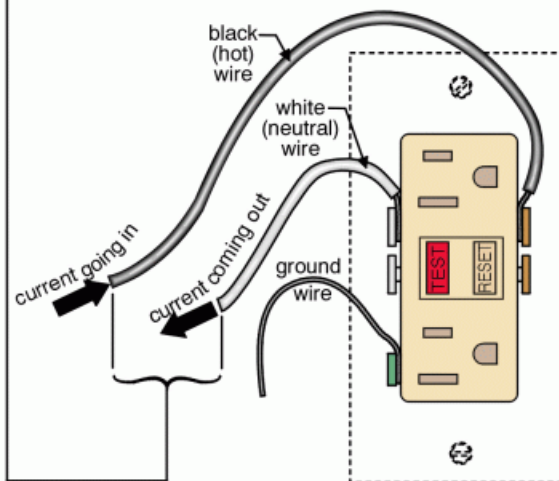
## Ground fault interrupter

the GFI circuitry within the outlet checks constantly for a difference between the current in the black and white wires

if there is a difference (even as little as 5 milliamps), there is a current leak (possibly through your body) and the GFI shuts down the receptacle and other receptacles downstream

### note:

if the GFI is in the panel, the entire circuit will be shut down



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## 24. Condition: • [Test faulty on GFCI/GFI \(Ground Fault Circuit Interrupter\)](#)

No power to reset outlet.

**Implication(s):** Electric shock

**Location:** Bathroom(s)

**Task:** Further evaluation

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## Description

### System type:

- [Heat pump](#)

Carrier heatpump, located in attic

Model number: fb4cnp030 Serial number: 3216a73512



83. Heat pump



84. Heat pump

Fuel/energy source: • [Electricity](#)

Furnace manufacturer: • Carrier

Heat distribution: • [Ducts and registers](#)

Approximate age: • [1 year](#)

Typical life expectancy: • Heat Pump 15-20 yrs

Main fuel shut off at:

- Attic

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85. Attic

## Fireplace/stove:

- [Wood-burning fireplace](#)



86. Wood-burning fireplace



87. Wood-burning fireplace

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Chimney/vent: • [Wood over metal](#)

Chimney liner: • [Metal](#)

## Recommendations

### GAS FURNACE \ Mechanical air filter

25. Condition: • [Missing](#)

Implication(s): Increased maintenance costs | Reduced comfort | Increased heating costs

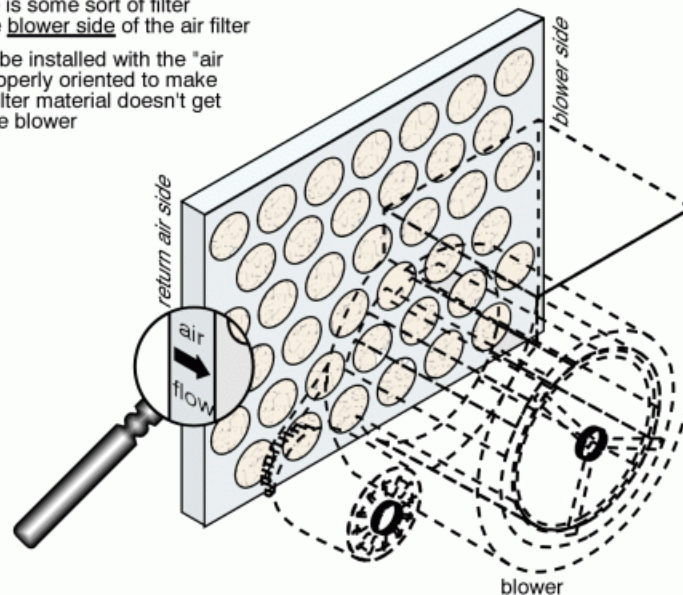
Location: Middle First Floor Living Room

Task: Repair or replace

#### **Air filter orientation**

typically, there is some sort of filter support on the blower side of the air filter

the filter must be installed with the "air flow" arrow properly oriented to make sure that the filter material doesn't get sucked into the blower



# HEATING

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88. Missing

## FIREPLACE \ General

26. Condition: • Inspect chimney, and sweep, if needed before using

Implication(s): Fire hazard

# COOLING & HEAT PUMP

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## Description

Air conditioning type: • [Air cooled](#)

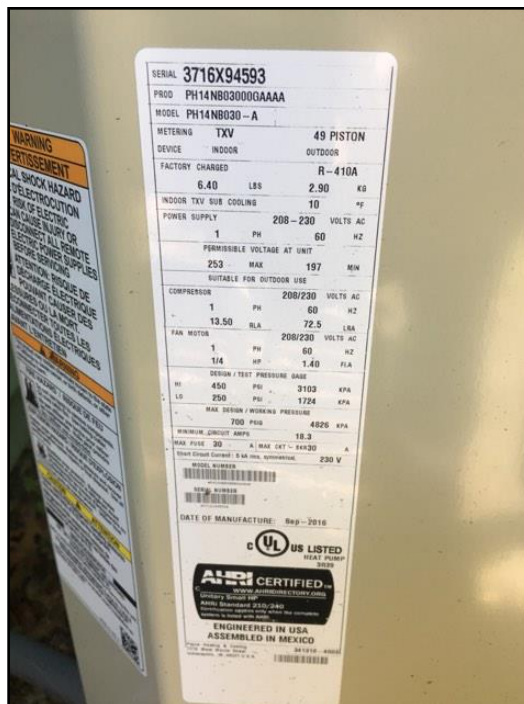
Manufacturer:

• Payne

Model number: PH14NB030-A Serial number: 3716X94593



89. Payne



90. Payne

Cooling capacity: • [2.5 Tons](#)

Compressor type: • Electric

Compressor approximate age: • 1 year

Typical life expectancy: • 12 to 15 years

## Limitations

Inspection limited/prevented by: • Heat pumps are not operated in the heating mode when the outdoor temperature is above 70°F

# INSULATION AND VENTILATION

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## Description

Attic/roof insulation material: • [Glass fiber](#)

Attic/roof insulation amount/value:

• [R-28](#)

Approximately 9" of blown insulation



91. R-28

Attic/roof ventilation: • [Roof and soffit vents](#)

## Limitations

Inspection prevented by no access to: • Left side front bedroom attic hatches appear to be painted shut

# INSULATION AND VENTILATION

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92.



93.

## Recommendations

### ATTIC/ROOF \ Hatch

**27. Condition:** • [Not insulated](#)

**Implication(s):** Reduced comfort | Increased heating and cooling costs

**Task:** Improve

# INSULATION AND VENTILATION

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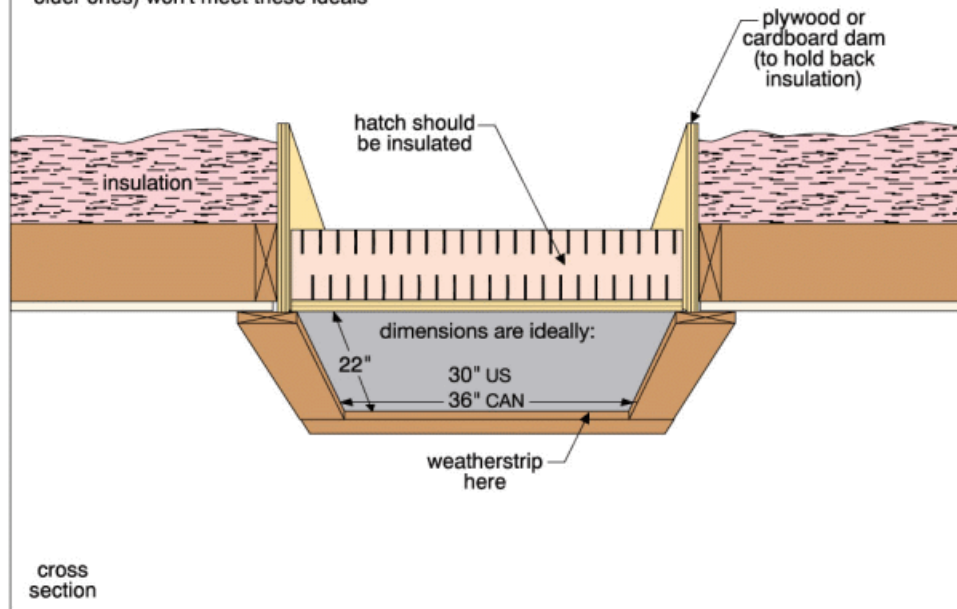
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## Attic access hatch

the illustration shows a good attic access hatch design

hatches in many houses (especially older ones) won't meet these ideals



94. Not insulated

# PLUMBING

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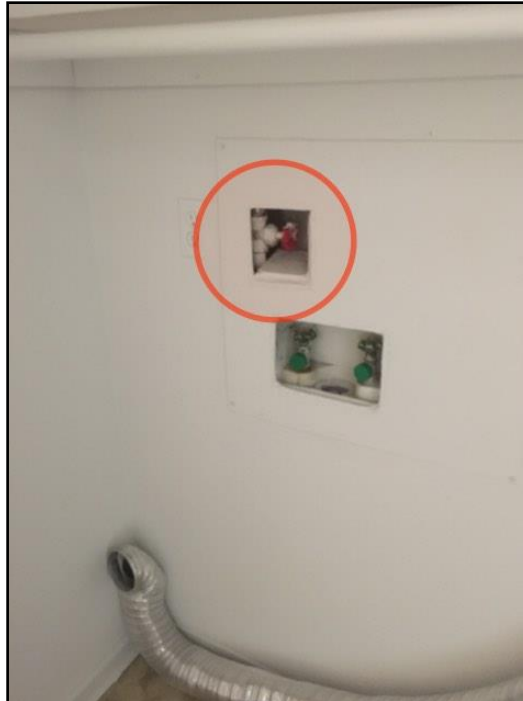
## Description

**Water supply source:** • Public

**Service piping into building:** • [Not visible](#)

**Supply piping in building:** • [Copper](#)

**Main water shut off valve at the:** • Located in Middle laundry area



95.

**Water heater fuel/energy source:** • [Electric](#)

**Water heater manufacturer:** • Whirlpool

*Note:* Located in garage under staircase

*Model number:* E1F40RD045V *Serial number:* 0323119147

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96. Whirlpool

Tank capacity: • [40 gallons](#)

Water heater approximate age: • 14 years

Typical life expectancy: • 8 to 12 years

Hot water circulating system: • None

Waste and vent piping in building: • [Plastic](#)

## Recommendations

### WATER HEATER \ Life expectancy

28. Condition: • [Near end of life expectancy](#)

Implication(s): No hot water

### WATER HEATER \ Hot/cold piping

29. Condition: • [Rust](#)

Implication(s): Leakage

Task: Monitor

Time: ongoing

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97. Rust

## FIXTURES AND FAUCETS \ Basin, sink and laundry tub

**30. Condition:** • Corrugated piping is not ridged nor recommended for household plumbing.

**Location:** Middle First Floor Hallway Bathroom

**Task:** Repair or replace



98. Corrugated piping is not ridged nor...

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**31. Condition:** • Drain stop missing

**Implication(s):** Reduced operability

**Location:** Second Floor Bathroom

**Task:** Repair or replace



**99.** *Drain stop missing*

## FIXTURES AND FAUCETS \ Bathtub enclosure

**32. Condition:** • No access panel available to inspect or perform repairs.

## FIXTURES AND FAUCETS \ Shower stall enclosure

**33. Condition:** • Handle is cracked

**Location:** Front Right Second Floor Master Bathroom

**Task:** Repair or replace

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## Description

**Major floor finishes:** • [Carpet](#) • Tile

**Major wall finishes:** • Walls appear to be painted within the last 3 years

**Major wall and ceiling finishes:** • [Plaster/drywall](#)

**Windows:** • [Fixed](#) • [Single/double hung](#)

**Glazing:** • [Double](#)

**Exterior doors - type/material:** • Metal-clad • Garage door - wood

**Doors:** • Inspected

**Oven fuel:**

• Electricity



102. Electricity

**Laundry facilities:** • Hot/cold water supply • 120-Volt outlet • 240-Volt outlet

**Kitchen ventilation:**

• Recirculating type

Whirlpool microwave

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103. Recirculating type

**Counters and cabinets:** • Inspected

**Inventory Dishwasher:**

• Whirlpool



104. Whirlpool

**Inventory Thermostat:** • Photo of thermostat before increasing/decreasing • Photo of thermostat before temperature changed • Photo of thermostat after temperature changed

## Recommendations

### CEILINGS \ Fan

**34. Condition:** • Inoperative

**Implication(s):** Reduced comfort

**Location:** Right Side Second Floor Bedroom

**Task:** Repair or replace



105. Inoperative

### WINDOWS \ Glass (glazing)

**35. Condition:** • [Lost seal on double or triple glazing](#)

Marked with a red sticker

**Implication(s):** Shortened life expectancy of material

**Location:** Left Side Second Floor Bedroom

**Task:** Repair or replace

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**106.** *Lost seal on double or triple glazing*

## DOORS \ Doors and frames

**36. Condition:** • [Stiff](#)

Door catches at bottom of threshold plate

**Implication(s):** Reduced operability

**Location:** Second Floor Bathroom

**Task:** Repair or replace

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107. Stiff

## **CARPENTRY \ Countertops**

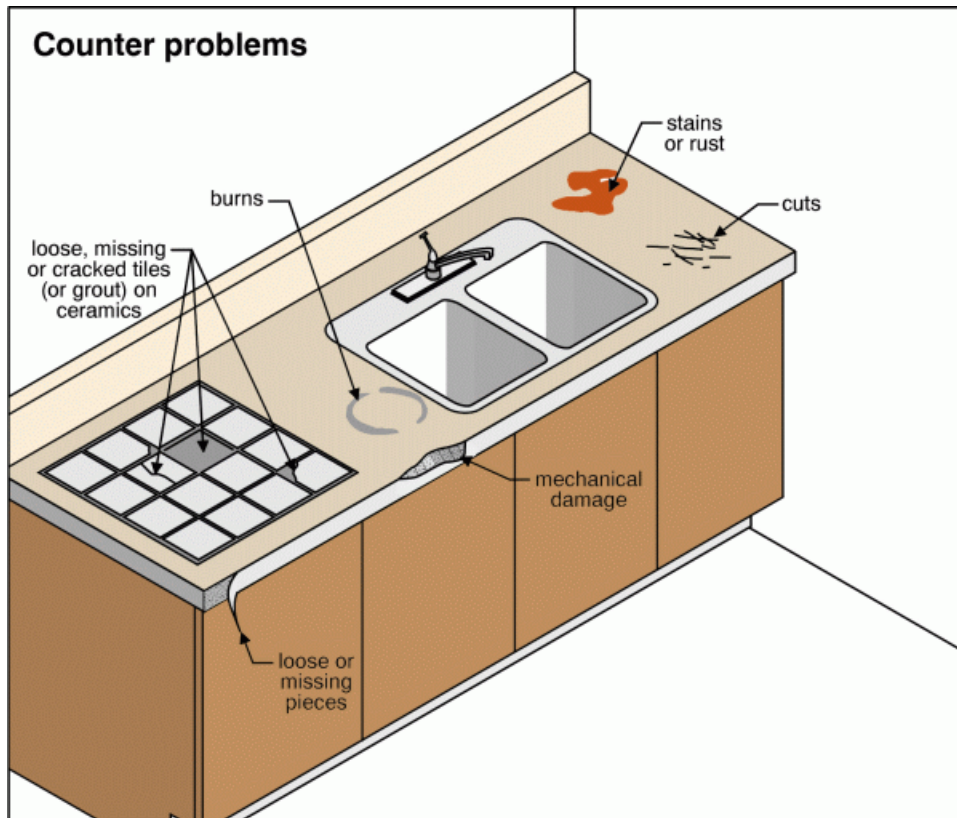
**37. Condition:** • [Loose or missing pieces](#)

Loose

**Implication(s):** Hygiene issue

**Location:** Front Right Second Floor Master Bathroom

**Task:** Repair or replace



**108.** *Loose or missing pieces*

## APPLIANCES \ Oven

**38. Condition:** • Anti-tipping device missing

**Implication(s):** Physical injury

**39. Condition:** • Handle defective

**Implication(s):** System inoperative or difficult to operate

**Location:** Kitchen

**Task:** Repair or replace



**109.** Handle defective

## APPLIANCES \ Microwave oven

**40. Condition:** • Recirculating fan is noisy

**Location:** Rear Right First Floor Kitchen

**Task:** Repair or replace

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## **APPLIANCES \ Dryer**

**41. Condition:** • Dryer vent disconnected

**Implication(s):** Chance of damage to finishes and structure | Equipment not operating properly | Fire hazard | Odors, molds, etc.

**Location:** Middle First Floor Laundry Area

**Task:** Repair or replace

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111. *Dryer vent disconnected*

**END OF REPORT**

## Standards of Practice

### 3.1. Roof

I. The inspector shall inspect from ground level or the eaves:

- A. the roof-covering materials;
- B. the gutters;
- C. the downspouts;
- D. the vents, flashing, skylights, chimney, and other roof penetrations; and
- E. the general structure of the roof from the readily accessible panels, doors or stairs.

II. The inspector shall describe:

- A. the type of roof-covering materials.

III. The inspector shall report as in need of correction:

- A. observed indications of active roof leaks.

IV. The inspector is not required to:

- A. walk on any roof surface.
- B. predict the service life expectancy.
- C. inspect underground downspout diverter drainage pipes.
- D. remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces.
- E. move insulation.
- F. inspect antennae, satellite dishes, lightning arresters, de-icing equipment, or similar attachments.
- G. walk on any roof areas that appear, in the opinion of the inspector, to be unsafe.
- H. walk on any roof areas if it might, in the opinion of the inspector, cause damage.
- I. perform a water test.
- J. warrant or certify the roof.

- K. confirm proper fastening or installation of any roof-covering material.

## 3.2. Exterior

### I. The inspector shall inspect:

- A. the exterior wall-covering materials, flashing and trim;
- B. all exterior doors;
- C. adjacent walkways and driveways;
- D. stairs, steps, stoops, stairways and ramps;
- E. porches, patios, decks, balconies and carports;
- F. railings, guards and handrails;
- G. the eaves, soffits and fascia;
- H. a representative number of windows; and
- I. vegetation, surface drainage, retaining walls and grading of the property, where they may adversely affect the structure due to moisture intrusion.

### II. The inspector shall describe:

- A. the type of exterior wall-covering materials.

### III. The inspector shall report as in need of correction:

- A. any improper spacing between intermediate balusters, spindles and rails.

### IV. The inspector is not required to:

- A. inspect or operate screens, storm windows, shutters, awnings, fences, outbuildings, or exterior accent lighting.
- B. inspect items that are not visible or readily accessible from the ground, including window and door flashing.
- C. inspect or identify geological, geotechnical, hydrological or soil conditions.
- D. inspect recreational facilities or playground equipment.
- E. inspect seawalls, breakwalls or docks.
- F. inspect erosion-control or earth-stabilization measures.
- G. inspect for safety-type glass.

- H. inspect underground utilities.
- I. inspect underground items.
- J. inspect wells or springs.
- K. inspect solar, wind or geothermal systems.
- L. inspect swimming pools or spas.
- M. inspect wastewater treatment systems, septic systems or cesspools.
- N. inspect irrigation or sprinkler systems.
- O. inspect drainfields or dry wells.
- P. determine the integrity of multiple-pane window glazing or thermal window seals.

### **3.3. Basement, Foundation, Crawlspcace & Structure**

I. The inspector shall inspect:

- A. the foundation;
- B. the basement;
- C. the crawlspace; and
- D. structural components.

II. The inspector shall describe:

- A. the type of foundation; and
- B. the location of the access to the under-floor space.

III. The inspector shall report as in need of correction:

- A. observed indications of wood in contact with or near soil;
- B. observed indications of active water penetration;
- C. observed indications of possible foundation movement, such as sheetrock cracks, brick cracks, out-of-square door frames, and unlevel floors; and
- D. any observed cutting, notching and boring of framing members that may, in the inspector's opinion, present a structural or safety concern.

IV. The inspector is not required to:

- A. enter any crawlspace that is not readily accessible, or where entry could cause damage or pose a hazard to the inspector.

- B. move stored items or debris.
- C. operate sump pumps with inaccessible floats.
- D. identify the size, spacing, span or location or determine the adequacy of foundation bolting, bracing, joists, joist spans or support systems.
- E. provide any engineering or architectural service.
- F. report on the adequacy of any structural system or component.

### **3.4. Heating**

I. The inspector shall inspect:

- A. the heating system, using normal operating controls.

II. The inspector shall describe:

- A. the location of the thermostat for the heating system;
- B. the energy source; and
- C. the heating method.

III. The inspector shall report as in need of correction:

- A. any heating system that did not operate; and
- B. if the heating system was deemed inaccessible.

IV. The inspector is not required to:

- A. inspect or evaluate the interior of flues or chimneys, fire chambers, heat exchangers, combustion air systems, fresh-air intakes, humidifiers, dehumidifiers, electronic air filters, geothermal systems, or solar heating systems.
- B. inspect fuel tanks or underground or concealed fuel supply systems.
- C. determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the heating system.
- D. light or ignite pilot flames.
- E. activate heating, heat pump systems, or other heating systems when ambient temperatures or other circumstances are not conducive to safe operation or may damage the equipment.

- F. override electronic thermostats.
- G. evaluate fuel quality.
- H. verify thermostat calibration, heat anticipation, or automatic setbacks, timers, programs or clocks.

### 3.5. Cooling

I. The inspector shall inspect:

- A. the cooling system using normal operating controls.

II. The inspector shall describe:

- A. the location of the thermostat for the cooling system; and
- B. the cooling method.

III. The inspector shall report as in need of correction:

- A. any cooling system that did not operate; and
- B. if the cooling system was deemed inaccessible.

IV. The inspector is not required to:

- A. determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the cooling system.
- B. inspect portable window units, through-wall units, or electronic air filters.
- C. operate equipment or systems if the exterior temperature is below 65° Fahrenheit, or when other circumstances are not conducive to safe operation or may damage the equipment.
- D. inspect or determine thermostat calibration, cooling anticipation, or automatic setbacks or clocks.
- E. examine electrical current, coolant fluids or gases, or coolant leakage.

### 3.6. Plumbing

I. The inspector shall inspect:

- A. the main water supply shut-off valve;
- B. the main fuel supply shut-off valve;
- C. the water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing;
- D. interior water supply, including all fixtures and faucets, by running the water;
- E. all toilets for proper operation by flushing;
- F. all sinks, tubs and showers for functional drainage;
- G. the drain, waste and vent system; and
- H. drainage sump pumps with accessible floats.

II. The inspector shall describe:

- A. whether the water supply is public or private based upon observed evidence;
- B. the location of the main water supply shut-off valve;
- C. the location of the main fuel supply shut-off valve;
- D. the location of any observed fuel-storage system; and
- E. the capacity of the water heating equipment, if labeled.

III. The inspector shall report as in need of correction:

- A. deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously;
- B. deficiencies in the installation of hot and cold water faucets;
- C. mechanical drain stops that were missing or did not operate if installed in sinks, lavatories and tubs; and
- D. toilets that were damaged, had loose connections to the floor, were leaking, or had tank components that did not operate.

IV. The inspector is not required to:

- A. light or ignite pilot flames.
- B. measure the capacity, temperature, age, life expectancy or adequacy of the water heater.
- C. inspect the interior of flues or chimneys, combustion air systems, water softener or filtering systems, well pumps or tanks, safety or shut-off valves, floor drains, lawn sprinkler systems, or fire sprinkler systems.
- D. determine the exact flow rate, volume, pressure, temperature or adequacy of the water supply.

- E. determine the water quality, potability or reliability of the water supply or source.
- F. open sealed plumbing access panels.
- G. inspect clothes washing machines or their connections.
- H. operate any valve.
- I. test shower pans, tub and shower surrounds or enclosures for leakage or functional overflow protection.
- J. evaluate the compliance with conservation, energy or building standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping.
- K. determine the effectiveness of anti-siphon, back-flow prevention or drain-stop devices.
- L. determine whether there are sufficient cleanouts for effective cleaning of drains.
- M. evaluate fuel storage tanks or supply systems.
- N. inspect wastewater treatment systems.
- O. inspect water treatment systems or water filters.
- P. inspect water storage tanks, pressure pumps, or bladder tanks.
- Q. evaluate wait-time to obtain hot water at fixtures, or perform testing of any kind to water heater elements.
- R. evaluate or determine the adequacy of combustion air.
- S. test, operate, open or close: safety controls, manual stop valves, temperature/pressure-relief valves, control valves, or check valves.
- T. examine ancillary or auxiliary systems or components, such as, but not limited to, those related to solar water heating and hot water circulation.
- U. determine the existence or condition of polybutylene plumbing.

### 3.7. Electrical

I. The inspector shall inspect:

- A. the service drop;
- B. the overhead service conductors and attachment point;
- C. the service head, gooseneck and drip loops;
- D. the service mast, service conduit and raceway;
- E. the electric meter and base;
- F. service-entrance conductors;

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- G. the main service disconnect;
- H. panelboards and over-current protection devices (circuit breakers and fuses);
- I. service grounding and bonding;
- J. a representative number of switches, lighting fixtures and receptacles, including receptacles observed and deemed to be arc-fault circuit interrupter (AFCI)-protected using the AFCI test button, where possible;
- K. all ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible; and
- L. smoke and carbon-monoxide detectors.

II. The inspector shall describe:

- A. the main service disconnect's amperage rating, if labeled; and
- B. the type of wiring observed.

III. The inspector shall report as in need of correction:

- A. deficiencies in the integrity of the service-entrance conductors' insulation, drip loop, and vertical clearances from grade and roofs;
- B. any unused circuit-breaker panel opening that was not filled;
- C. the presence of solid conductor aluminum branch-circuit wiring, if readily visible;
- D. any tested receptacle in which power was not present, polarity was incorrect, the cover was not in place, the GFCI devices were not properly installed or did not operate properly, evidence of arcing or excessive heat, and where the receptacle was not grounded or was not secured to the wall; and
- E. the absence of smoke detectors.

IV. The inspector is not required to:

- A. insert any tool, probe or device into the main panelboard, sub-panels, distribution panelboards, or electrical fixtures.
- B. operate electrical systems that are shut down.

- C. remove panelboard cabinet covers or dead fronts.
- D. operate or re-set over-current protection devices or overload devices.
- E. operate smoke or carbon-monoxide detectors.
- F. measure or determine the amperage or voltage of the main service equipment, if not visibly labeled.
- G. inspect the fire and alarm system or components.
- H. inspect the ancillary wiring or remote-control devices.
- I. activate any electrical systems or branch circuits that are not energized.
- J. inspect low-voltage systems, electrical de-icing tapes, swimming pool wiring, or any time-controlled devices.
- K. verify the service ground.
- L. inspect private or emergency electrical supply sources, including, but not limited to: generators, windmills, photovoltaic solar collectors, or battery or electrical storage facility.
- M. inspect spark or lightning arrestors.
- N. inspect or test de-icing equipment.
- O. conduct voltage-drop calculations.
- P. determine the accuracy of labeling.
- Q. inspect exterior lighting.

### 3.8. Fireplace

I. The inspector shall inspect:

- A. readily accessible and visible portions of the fireplaces and chimneys;
- B. lintels above the fireplace openings;
- C. damper doors by opening and closing them, if readily accessible and manually operable; and
- D. cleanout doors and frames.

II. The inspector shall describe:

- A. the type of fireplace.

III. The inspector shall report as in need of correction:

- A. evidence of joint separation, damage or deterioration of the hearth, hearth extension or chambers;
- B. manually operated dampers that did not open and close;
- C. the lack of a smoke detector in the same room as the fireplace;
- D. the lack of a carbon-monoxide detector in the same room as the fireplace; and
- E. cleanouts not made of metal, pre-cast cement, or other non-combustible material.

IV. The inspector is not required to:

- A. inspect the flue or vent system.
- B. inspect the interior of chimneys or flues, fire doors or screens, seals or gaskets, or mantels.
- C. determine the need for a chimney sweep.
- D. operate gas fireplace inserts.
- E. light pilot flames.
- F. determine the appropriateness of any installation.
- G. inspect automatic fuel-fed devices.
- H. inspect combustion and/or make-up air devices.
- I. inspect heat-distribution assists, whether gravity-controlled or fan-assisted.
- J. ignite or extinguish fires.
- K. determine the adequacy of drafts or draft characteristics.
- L. move fireplace inserts, stoves or firebox contents.
- M. perform a smoke test.
- N. dismantle or remove any component.
- O. perform a National Fire Protection Association (NFPA)-style inspection.
- P. perform a Phase I fireplace and chimney inspection.

### 3.9. Attic, Insulation & Ventilation

I. The inspector shall inspect:

- A. insulation in unfinished spaces, including attics, crawlspaces and foundation areas;
- B. ventilation of unfinished spaces, including attics, crawlspaces and foundation areas; and

C. mechanical exhaust systems in the kitchen, bathrooms and laundry area.

II. The inspector shall describe:

- A. the type of insulation observed; and
- B. the approximate average depth of insulation observed at the unfinished attic floor area or roof structure.

III. The inspector shall report as in need of correction:

- A. the general absence of insulation or ventilation in unfinished spaces.

IV. The inspector is not required to:

- A. enter the attic or any unfinished spaces that are not readily accessible, or where entry could cause damage or, in the inspector's opinion, pose a safety hazard.
- B. move, touch or disturb insulation.
- C. move, touch or disturb vapor retarders.
- D. break or otherwise damage the surface finish or weather seal on or around access panels or covers.
- E. identify the composition or R-value of insulation material.
- F. activate thermostatically operated fans.
- G. determine the types of materials used in insulation or wrapping of pipes, ducts, jackets, boilers or wiring.
- H. determine the adequacy of ventilation.

### **3.10. Doors, Windows & Interior**

I. The inspector shall inspect:

- A. a representative number of doors and windows by opening and closing them;
- B. floors, walls and ceilings;
- C. stairs, steps, landings, stairways and ramps;
- D. railings, guards and handrails; and
- E. garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

II. The inspector shall describe:

- A. a garage vehicle door as manually-operated or installed with a garage door opener.

III. The inspector shall report as in need of correction:

- A. improper spacing between intermediate balusters, spindles and rails for steps, stairways, guards and railings;
- B. photo-electric safety sensors that did not operate properly; and
- C. any window that was obviously fogged or displayed other evidence of broken seals.

IV. The inspector is not required to:

- A. inspect paint, wallpaper, window treatments or finish treatments.
- B. inspect floor coverings or carpeting.
- C. inspect central vacuum systems.
- D. inspect for safety glazing.
- E. inspect security systems or components.
- F. evaluate the fastening of islands, countertops, cabinets, sink tops or fixtures.
- G. move furniture, stored items, or any coverings, such as carpets or rugs, in order to inspect the concealed floor structure.
- H. move suspended-ceiling tiles.
- I. inspect or move any household appliances.
- J. inspect or operate equipment housed in the garage, except as otherwise noted.
- K. verify or certify the proper operation of any pressure-activated auto-reverse or related safety feature of a garage door.
- L. operate or evaluate any security bar release and opening mechanisms, whether interior or exterior, including their compliance with local, state or federal standards.
- M. operate any system, appliance or component that requires the use of special keys, codes, combinations or devices.
- N. operate or evaluate self-cleaning oven cycles, tilt guards/latches, or signal lights.

- O. inspect microwave ovens or test leakage from microwave ovens.
- P. operate or examine any sauna, steam-generating equipment, kiln, toaster, ice maker, coffee maker, can opener, bread warmer, blender, instant hot-water dispenser, or other small, ancillary appliances or devices.
- Q. inspect elevators.
- R. inspect remote controls.
- S. inspect appliances.
- T. inspect items not permanently installed.
- U. discover firewall compromises.
- V. inspect pools, spas or fountains.
- W. determine the adequacy of whirlpool or spa jets, water force, or bubble effects.
- X. determine the structural integrity or leakage of pools or spas.

## 4. Glossary of Terms

- **accessible:** In the opinion of the inspector, can be approached or entered safely, without difficulty, fear or danger.
- **activate:** To turn on, supply power, or enable systems, equipment or devices to become active by normal operating controls. Examples include turning on the gas or water supply valves to the fixtures and appliances, and activating electrical breakers or fuses.
- **adversely affect:** To constitute, or potentially constitute, a negative or destructive impact.
- **alarm system:** Warning devices, installed or freestanding, including, but not limited to: carbon-monoxide detectors, flue gas and other spillage detectors, security equipment, ejector pumps, and smoke alarms.
- **appliance:** A household device operated by the use of electricity or gas. Not included in this definition are components covered under central heating, central cooling or plumbing.
- **architectural service:** Any practice involving the art and science of building design for construction of any structure or grouping of structures, and the use of space within and surrounding the structures or the design, design development, preparation of construction contract documents, and administration of the construction contract.

- **component:** A permanently installed or attached fixture, element or part of a system.
- **condition:** The visible and conspicuous state of being of an object.
- **correction:** Something that is substituted or proposed for what is incorrect, deficient, unsafe, or a defect.
- **cosmetic defect:** An irregularity or imperfection in something, which could be corrected, but is not required.
- **crawlspace:** The area within the confines of the foundation and between the ground and the underside of the lowest floor's structural component.
- **decorative:** Ornamental; not required for the operation of essential systems or components of a home.
- **describe:** To report in writing a system or component by its type or other observed characteristics in order to distinguish it from other components used for the same purpose.
- **determine:** To arrive at an opinion or conclusion pursuant to examination.
- **dismantle:** To open, take apart or remove any component, device or piece that would not typically be opened, taken apart or removed by an ordinary occupant.
- **engineering service:** Any professional service or creative work requiring engineering education, training and experience, and the application of special knowledge of the mathematical, physical and engineering sciences to such professional service or creative work as consultation, investigation, evaluation, planning, design and supervision of construction for the purpose of assuring compliance with the specifications and design, in conjunction with structures, buildings, machines, equipment, works and/or processes.
- **enter:** To go into an area to observe visible components.
- **evaluate:** To assess the systems, structures and/or components of a property.
- **evidence:** (noun form) That which tends to prove or disprove something; something that makes plain or clear; ground for belief; proof.
- **examine:** To visually look (see **inspect**).
- **foundation:** The base upon which the structure or wall rests, usually masonry, concrete or stone, and generally partially underground.
- **function:** The action for which an item, component or system is specially fitted or used, or for which an item, component or system exists; to be in action or perform a task.
- **functional:** Performing, or able to perform, a function.

- **functional defect:** A lack of or an abnormality in something that is necessary for normal and proper functioning and operation, and, therefore, requires further evaluation and correction.
- **general home inspection:** The process by which an inspector visually examines the readily accessible systems and components of a home and operates those systems and components utilizing these Standards of Practice as a guideline.
- **home inspection:** See **general home inspection**.
- **household appliances:** Kitchen and laundry appliances, room air conditioners, and similar appliances.
- **identify:** To notice and report.
- **indication** (noun form): That which serves to point out, show, or make known the present existence of something under certain conditions.
- **inspect:** To examine readily accessible systems and components safely, using normal operating controls, and accessing readily accessible areas, in accordance with these Standards of Practice.
- **inspected property:** The readily accessible areas of the buildings, site, items, components and systems included in the inspection.
- **inspection report:** A written communication (possibly including images) of any material defects observed during the inspection.
- **inspector:** One who performs a real estate inspection.
- **installed:** Attached or connected such that the installed item requires a tool for removal.
- **material defect:** A specific issue with a system or component of a residential property that may have a significant, adverse impact on the value of the property, or that poses an unreasonable risk to people. The fact that a system or component is near, at or beyond the end of its normal useful life is not, in itself, a material defect.
- **normal operating controls:** Describes the method by which certain devices (such as thermostats) can be operated by ordinary occupants, as they require no specialized skill or knowledge.
- **observe:** To visually notice.
- **operate:** To cause systems to function or turn on with normal operating controls.
- **readily accessible:** A system or component that, in the judgment of the inspector, is capable of being safely observed without the removal of obstacles, detachment or disengagement of connecting or securing devices, or other unsafe or difficult procedures to gain access.
- **recreational facilities:** Spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment and athletic facilities.

- **report:** (verb form) To express, communicate or provide information in writing; give a written account of. (See also **inspection report**.)
- **representative number:** A number sufficient to serve as a typical or characteristic example of the item(s) inspected.
- **residential property:** Four or fewer residential units.
- **residential unit:** A home; a single unit providing complete and independent living facilities for one or more persons, including permanent provisions for living, sleeping, eating, cooking and sanitation.
- **safety glazing:** Tempered glass, laminated glass, or rigid plastic.
- **shut down:** Turned off, unplugged, inactive, not in service, not operational, etc.
- **structural component:** A component that supports non-variable forces or weights (dead loads) and variable forces or weights (live loads).
- **system:** An assembly of various components which function as a whole.
- **technically exhaustive:** A comprehensive and detailed examination beyond the scope of a real estate home inspection that would involve or include, but would not be limited to: dismantling, specialized knowledge or training, special equipment, measurements, calculations, testing, research, analysis, or other means.
- **unsafe:** In the inspector's opinion, a condition of an area, system, component or procedure that is judged to be a significant risk of injury during normal, day-to-day use. The risk may be due to damage, deterioration, improper installation, or a change in accepted residential construction standards.
- **verify:** To confirm or substantiate.

These terms are found within the Standards of Practice. [Visit InterNACHI's full Glossary.](#)

# APPENDIX

123 Sample Address, Virginia Beach, VA June 9, 2017

Report No. 1319, v.5

[www.crawltocrown.com](http://www.crawltocrown.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

APPENDIX

REFERENCE



[Take our free online Standards of Practice Quiz.](#)

[Government entities' free-use license](#)

[International Standards of Practice for Inspecting Commercial Buildings](#)

[Standards of Practice \(Spanish\)](#)

[Standards of Practice \(French\)](#)

[Code of Ethics](#)

[Continuing Education Policy](#)

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS