

Your Inspection Report

XXX Sample street
Calgary, AB

PREPARED FOR:
CHRIS ANDERSON

INSPECTION DATE:
Tuesday, March 11, 2008

PREPARED BY:
Chris Anderson



Hawkeye Property Services
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ROOFING

XXX Sample street, Calgary, AB March 11, 2008

Report No. 1004, v.3

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Note: For the purpose of this report the building is considered to be facing **South**.

Description

General: • Roof penetrations-

Sloped roofing material: • [Asphalt shingles](#) • [Wood shingles/shakes](#) • [Metal](#)

Probability of leakage: • High

Limitations

Roof inspection limited/prevented by:

• Lack of access (too high/steep)

Wood roof

• Lack of access (too slippery/fragile)

Metal roof

Inspection performed:

• By walking on roof

Asphalt roof

• From roof edge

wood and metal roofs

Recommendations

General

• All roofing and flashings should be unified and replaced, structural integrity of concealed roof space unknown. Install proper skylight if desired or delete and cover with roofing.

Implication(s): Leaks, Structural damage

Location: Throughout

Task: Replace

Time: Less than 1 year

• Unprotected opening into attic space

Implication(s): Easy entry point for animals, birds or insects

Location: Northwest

Task: Repair

Time: Within 1 year

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1.

SLOPED ROOFING \ Asphalt shingles

Condition: • [Damage](#)

one spot of burn though

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: lower edge east side

Task: Replace



2.

Condition: • [Overhangs too big or too small](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Asphalt roof

Task: Improve

Time: within 1 year

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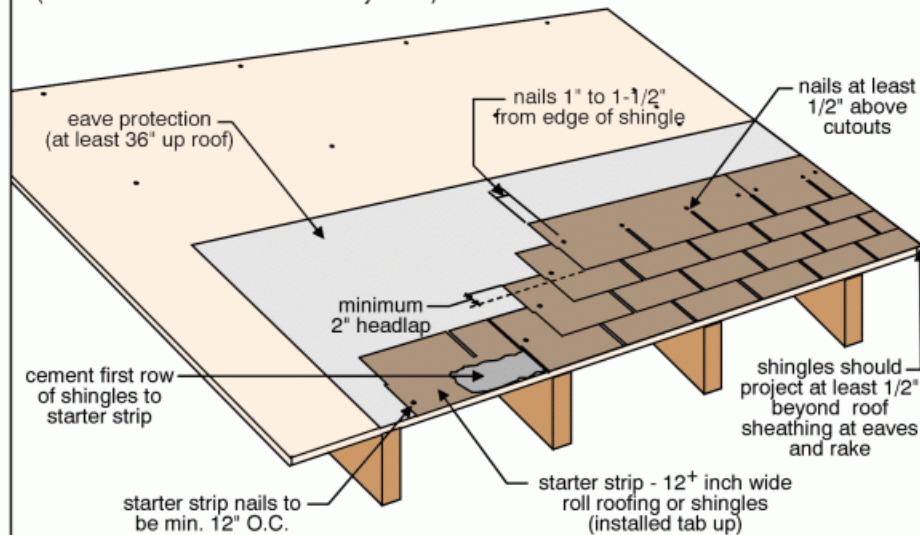
PLUMBING

INTERIOR

REFERENCE

Asphalt shingle application - showing alternate starter course arrangement

(this is less than ideal but commonly seen)



3.

SLOPED ROOFING \ Wood shingles and shakes

Condition: • [Old, worn out](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout

Task: Replace

Time: Within 1 year

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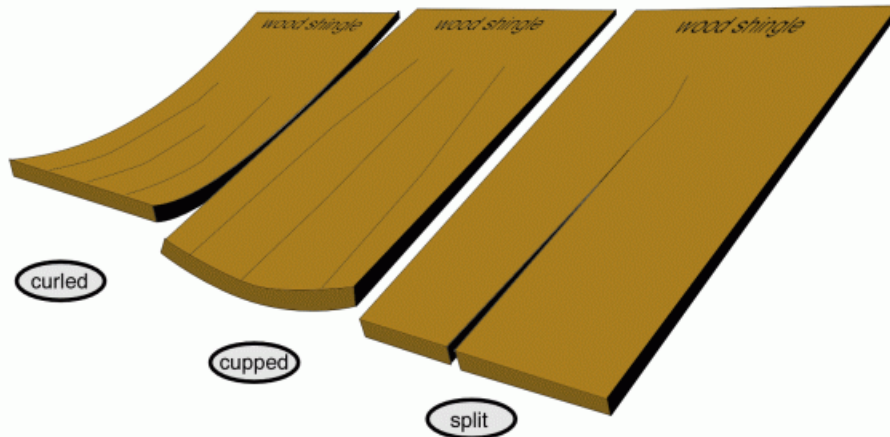
INSULATION

PLUMBING

INTERIOR

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Curling, cupping and splitting wood shingles



4.

Condition: • [Damaged, broken or missing pieces](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: West

Task: Replace

Time: Less than 1 year

SLOPED ROOFING \ Metal

Condition: • [Dent, damage](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: North

Task: Replace

Time: Less than 1 year

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Condition: • [Open seams](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: North

Task: Replace

Time: Less than 1 year

Condition: • [Overhangs too big or small](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Task: Replace

Time: Less than 1 year



5.

Condition: • [Exposed fasteners](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: North

Task: Replace

Time: Less than 1 year

SLOPED ROOF FLASHINGS \ Flashings

Condition: • Replace when reroofing

Task: Replace

Time: Less than 1 year

SLOPED ROOF FLASHINGS \ Chimney flashings

Condition: • [Damage, loose, open seams, patched](#)

Deteriorated chimney should be removed and new flashings applied to existing metal flue when re-roofing.

Implication(s): Chance of water damage to contents, finishes and/or structure

Task: Demolish/ replace

Time: Less than 1 year

SLOPED ROOF FLASHINGS \ Roof/sidewall flashings

Condition: • Incomplete flashing

Implication(s): leakage, structural damage

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Task: Replace

Time: Less than 1 year



6.

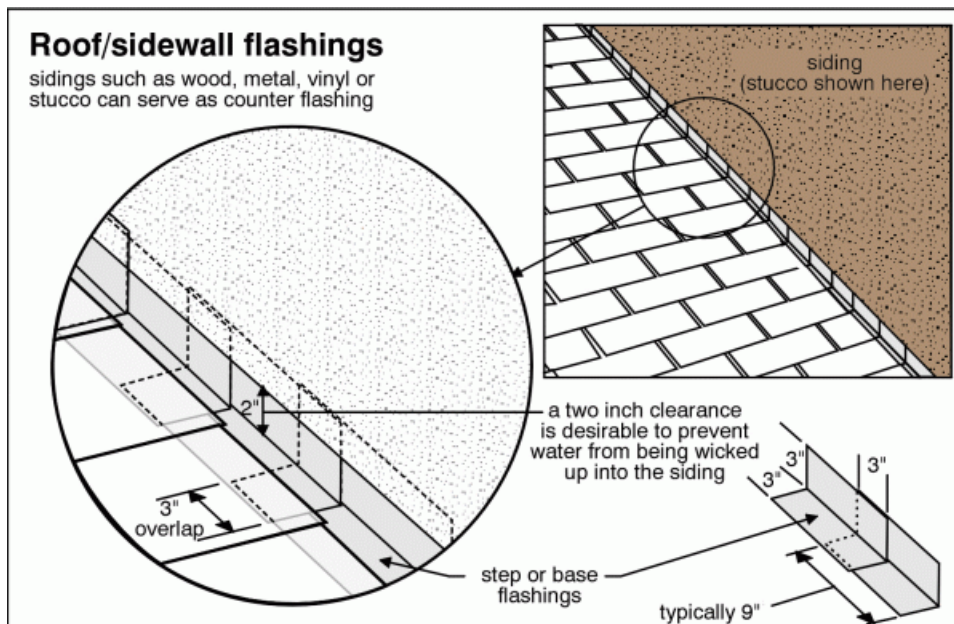
Condition: • [No step or counter flashings](#)

Install proper flashing when re-roofing/ finishing siding.

Implication(s): Chance of water damage to contents, finishes and/or structure

Task: Replace

Time: Less than 1 year



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7.

SLOPED ROOF FLASHINGS \ Pipe/stack flashings

Condition: • Very old plumbing stack flashing, likely failed, replace when re-roofing.

Implication(s): Leakage

Location: East Exterior

Task: Replace

Time: Less than 1 year



8.

SLOPED ROOF FLASHINGS \ Skylights

Condition: • [Wrong application](#)

Plastic panels used as skylight have negligible insulating value, extremely high heating bills if not addressed.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: South

Task: Remodel

Time: Less than 1 year

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9.

SLOPED ROOF FLASHINGS \ Drip edge flashings

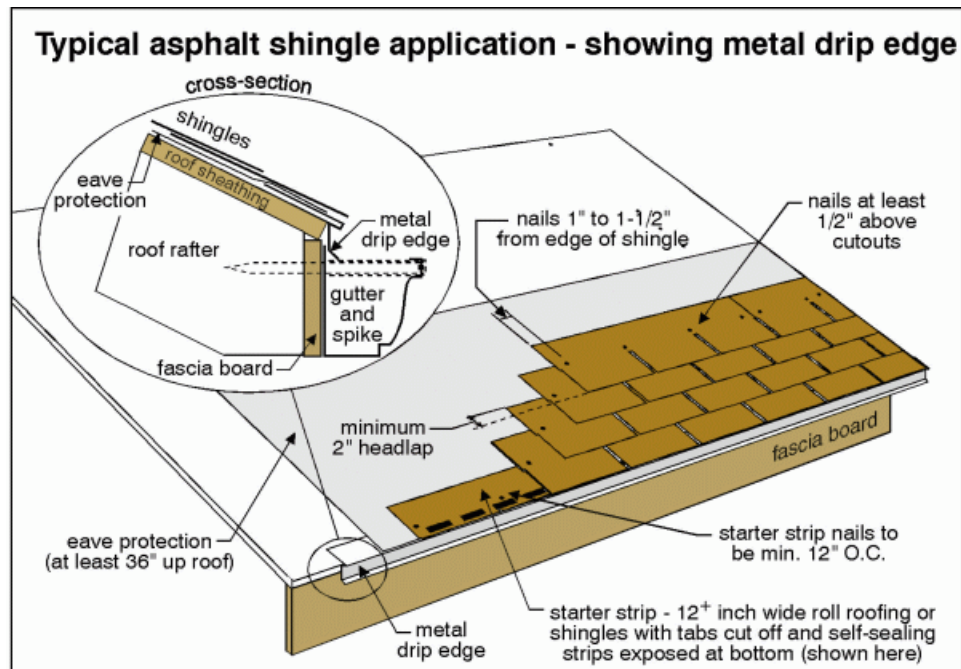
Condition: • [Missing](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout

Task: Improve

Time: Less than 1 year



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Description

General: • Soffit and fascia

Note: Metal

Lot slope:

- [Away from building](#)



10.

- [Flat](#)

South face



11.

Wall surfaces - wood:

- [Boards](#)

Unfinished east side suggests vinyl siding applied over existing wood siding.

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12.

Wall surfaces and trim: • [Vinyl siding](#)

Driveway: • Asphalt • Earth

Walkway: • Pavers

Exterior steps: • Brick • Pavers

Fence:

• Wood

Fence in very poor condition, several trees growing on both fence lines.



13.



14.

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Limitations

Inspection limited/prevented by:

- Storage



15.

- Car/storage in garage



16.

Recommendations

ROOF DRAINAGE \ Gutters

Condition: • [Missing](#)

Roof drainage between houses contributes to foundation problems.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout

Task: Provide

Time: Less than 1 year

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Gutter and downspout installation

secure gutters
every 2 to 3 feet

proper
gutter slope
200

6 feet
minimum



17.

ROOF DRAINAGE \ Downspouts

Condition: • [Missing](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout

Task: Provide

Time: Less than 1 year

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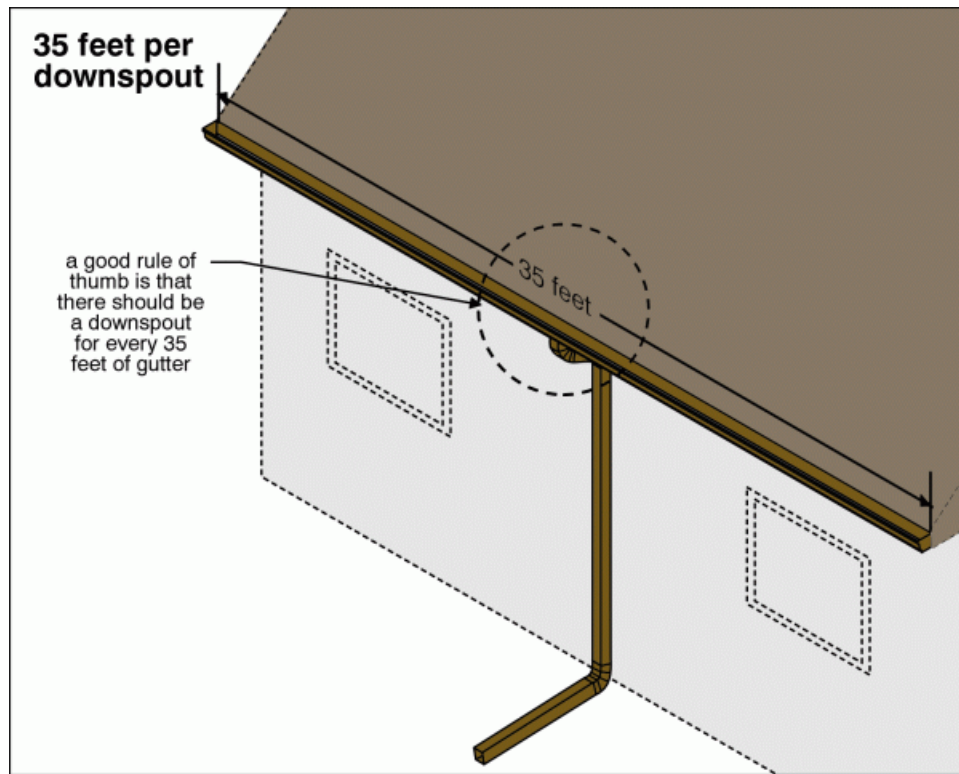
COOLING

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WALLS \ Soffits and fascia

Condition: • [Loose or missing pieces](#)

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure | Chance of pests entering building

Location: Exterior

Task: Repair or replace

Time: Less than 1 year

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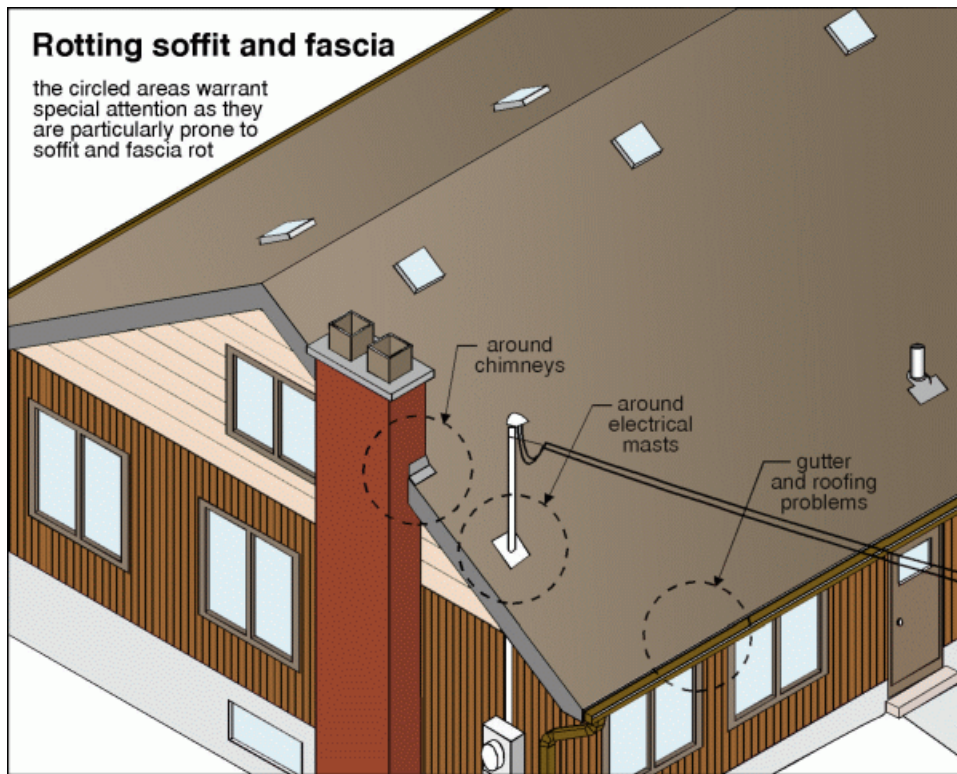
COOLING

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18.

WALLS \ Flashings and caulking

Condition: • [Flashings missing](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout

Task: Provide

Time: Less than 1 year

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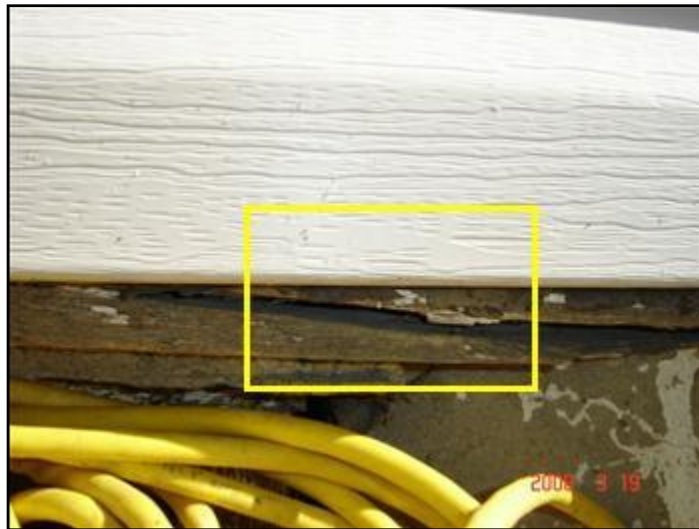
COOLING

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19.

Condition: • [Caulking missing or ineffective](#)

Review caulking and flashing details of siding when finishing uncompleted areas.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout Exterior

Task: Upgrade

Time: Less than 1 year

WALLS \ Vinyl siding

Condition: • [Loose or missing pieces](#)

East side, wall area above roof on south side and rear door area unfinished.

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure

Location: East and south

Task: Provide

Time: Less than 1 year



20.



21.

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EXTERIOR GLASS \ General

Condition: • [Air leaks](#)

Gaps around glass block windows allow air leakage and insect entry.

Implication(s): Increased heating and cooling costs | Reduced comfort

Location: South Exterior Living room

Task: Repair or replace

Time: Discretionary

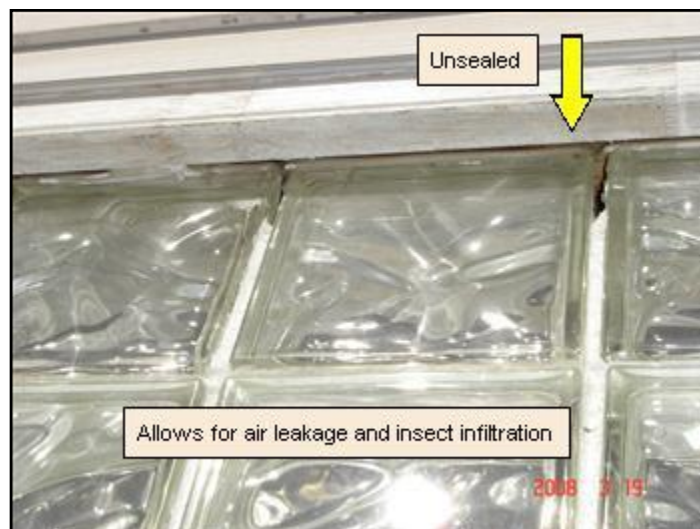
Condition: • [Caulking missing, loose or deteriorated](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: South Exterior

Task: Repair or replace

Time: Discretionary



22.

EXTERIOR GLASS \ Glass (glazing)

Condition: • [Putty missing, cracked or deteriorated](#)

Glass block windows

Implication(s): Chance of water entering building | Increased heating and cooling costs

Location: South Exterior Living room

Task: Repair or replace

Time: Discretionary

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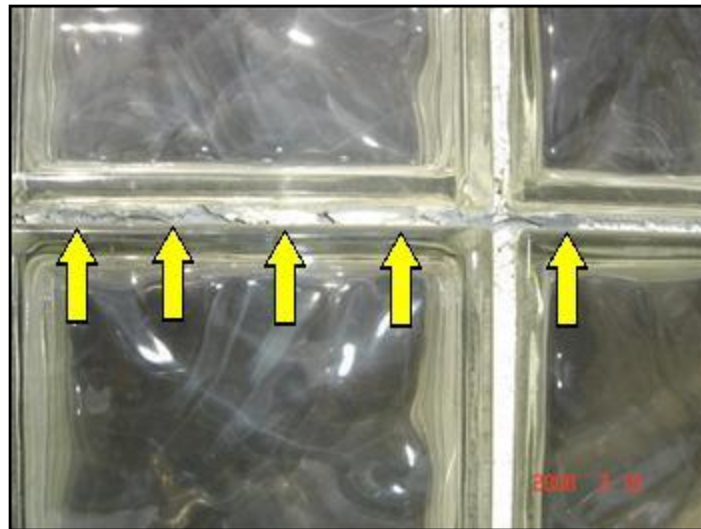
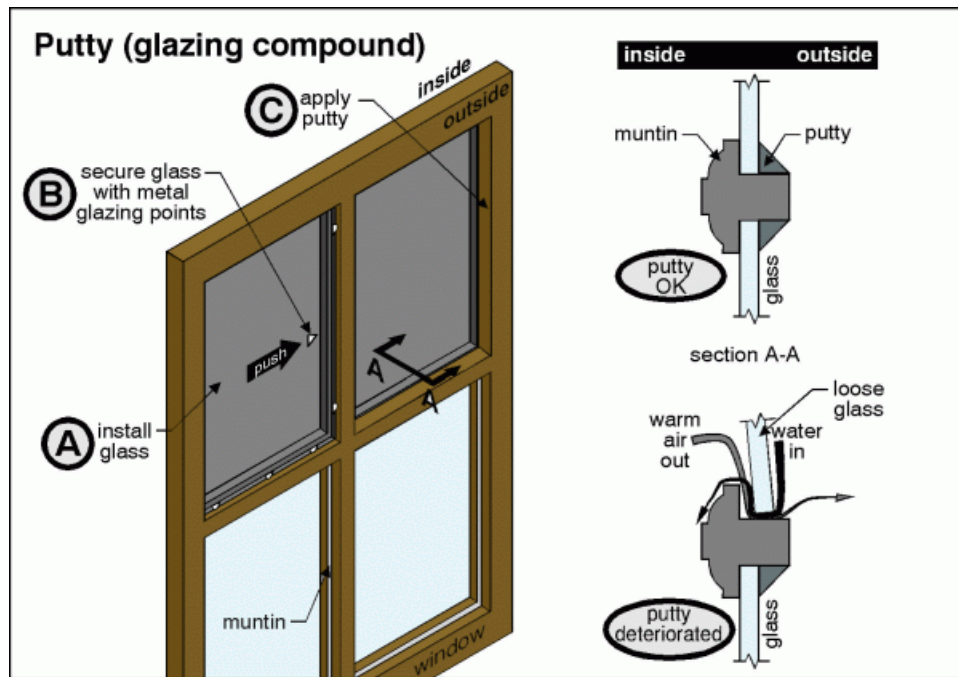
COOLING

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23.

EXTERIOR GLASS \ Frames

Condition: • [Paint or stain needed](#)

Implication(s): Material deterioration

Location: East

Task: Paint exposed wood

Time: Less than 1 year

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24.

EXTERIOR GLASS \ Exterior trim

Condition: • [Missing or loose pieces](#)

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure

Location: East Exterior Wall

Task: Provide appropriate finish

Time: Less than 1 year



25.

Condition: • [Paint or stain needed](#)

Glass Block Window

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: South

Task: Repaint

Time: Discretionary

Condition: • [No capillary break \(drip edge\) on sill](#)

Glass block window sills

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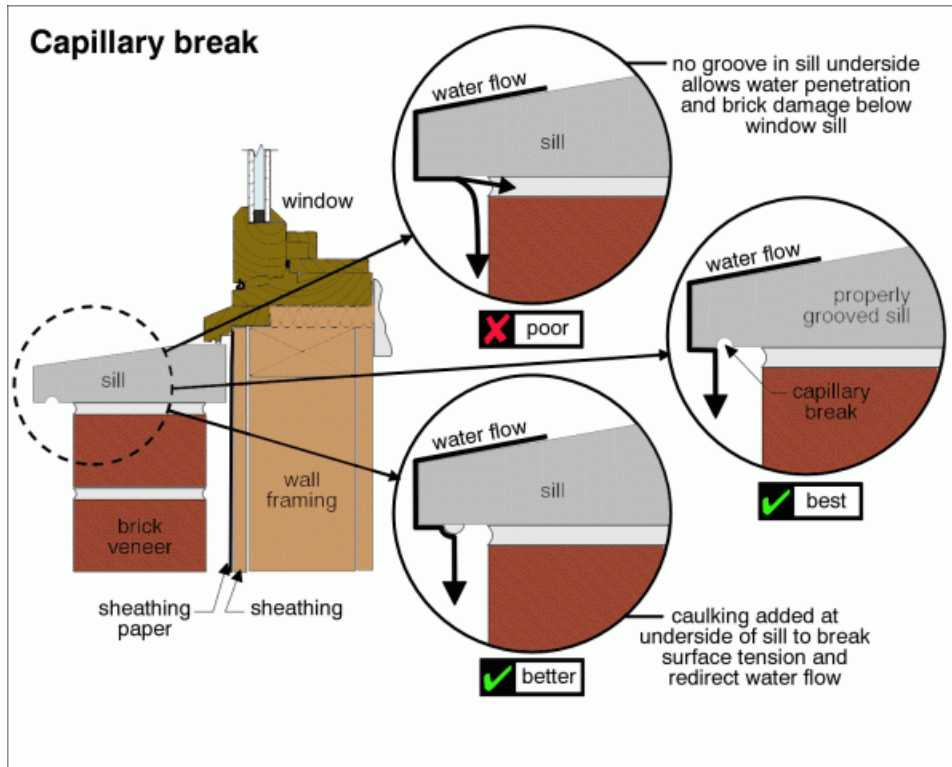
REFERENCE

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: South Exterior

Task: Repair or replace

Time: Discretionary



26.

EXTERIOR GLASS \ Window wells

Condition: • [Wood/soil contact](#)

Proper roof drainage will go a long way to slowing deterioration of this window well, loose screen used to prevent pest entry needs repair.

Implication(s): Rot

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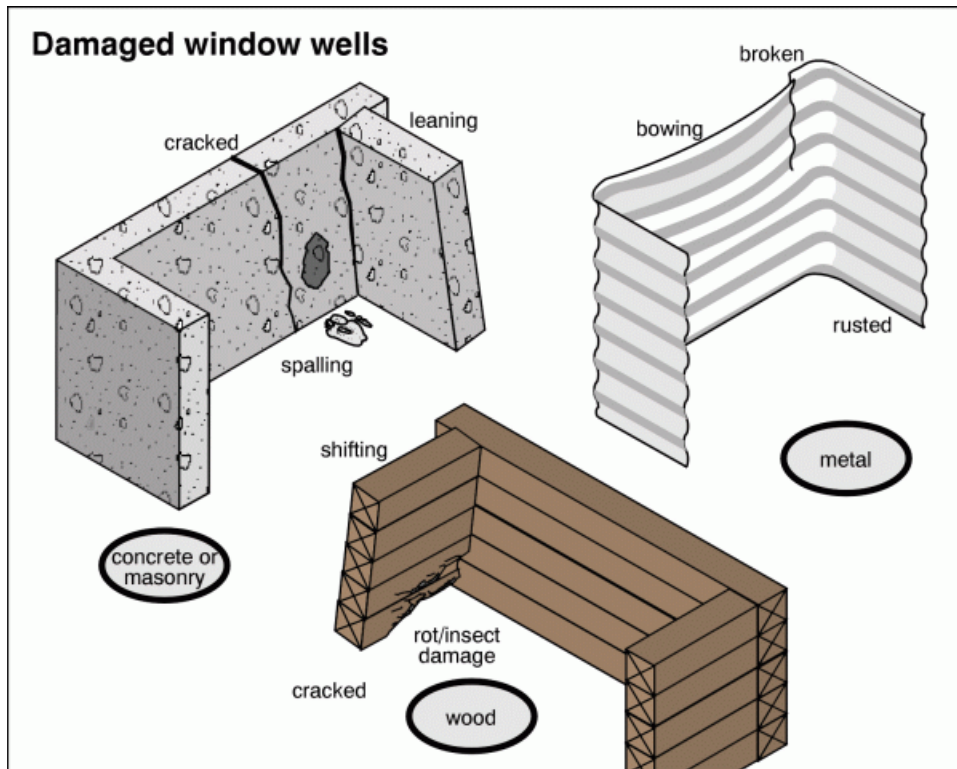
INTERIOR

REFERENCE

Location: West Exterior

Task: Improve

Time: Discretionary



27.

DOORS \ General

Condition: • [Air leaks](#)

Significant gaps on main and back door

Implication(s): Chance of damage to finishes and structure | Increased heating and cooling costs

Location: Exterior Doors

Task: Improve Seal

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Time: Discretionary

DOORS \ Doors and frames

Condition: • [Stiff](#)

Implication(s): Chance of damage to finishes

Location: Rear door

Task: Repair

Time: Discretionary

Condition: • [Swings open or closed by itself](#)

Nuisceince item, door tends to close.

Implication(s): Physical injury

Location: Front Door

Task: Repair

Time: Discretionary

DOORS \ Exterior trim

Condition: • [Missing](#)

Back door area unfinished, exposed to elements.

Implication(s): Chance of damage to finishes and structure

Location: Rear Exterior

Task: Improve

Time: Less than 1 year



28.

DOORS \ Exterior drip caps

Condition: • [Missing](#)

Provide drip cap on top of door if door remains exposed when finishing back porch area.

Implication(s): Chance of damage to finishes and structure

Location: Rear Door

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Task: Provide

Time: Less than 1 year



29.

DOORS \ Glass

Condition: • Back door window difficult to operate

Implication(s): Inconvenient

Location: Rear Door

Task: Improve

Time: Discretionary

PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Steps and landings

Condition: • Trip hazard

Low step rise by main entrance presents trip hazard especially if covered with snow. Reconfigure walkway and steps or make hazard more visible. Lack of proper roof drainage can also cause this area to become extremely icy and dangerous.

Location: Southwest Exterior

Task: Improve

Time: Immediate

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30.

PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ General

Condition: • Unsafe

Unfinished back porch area exposed to elements and unsafe for use.

Implication(s): Physical injury

Location: Rear door

Task: Improve

Time: Less than 1 year



31.

LANDSCAPING \ Lot grading

Condition: • [Improper slope](#)

Front yard flat to house, ensure any drainage well away from house. Without proper roof drainage, areas between houses prone to damage.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: South, East, West

Task: Provide roof drainage

Time: Less than 1 year

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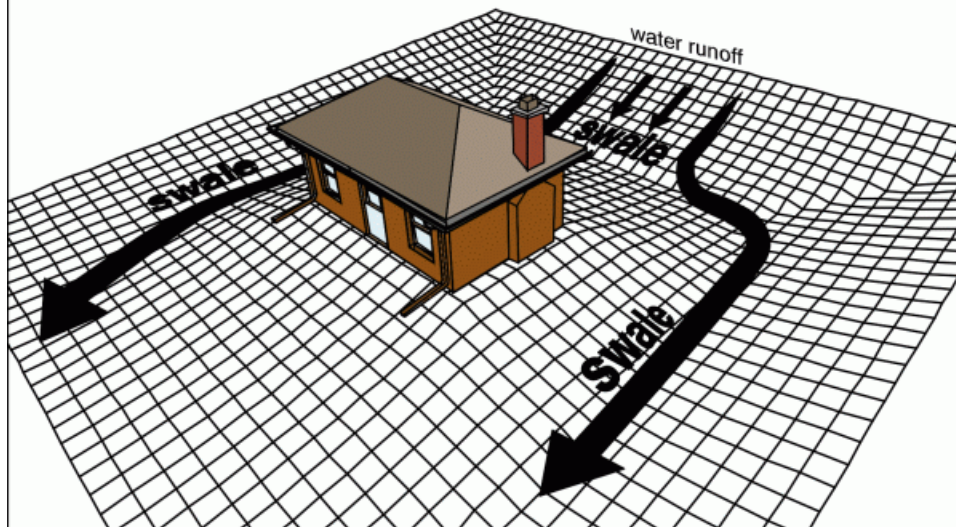
REFERENCE

Recommended grading slopes



Swales

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation



LANDSCAPING \ Driveway

Condition: • [Cracked or damaged surfaces](#)

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Implication(s): Trip or fall hazard

Location: Exterior

Task: Improve

Time: Discretionary

LANDSCAPING \ General

Condition: • [Exposed foundations - cracked or spalled](#)

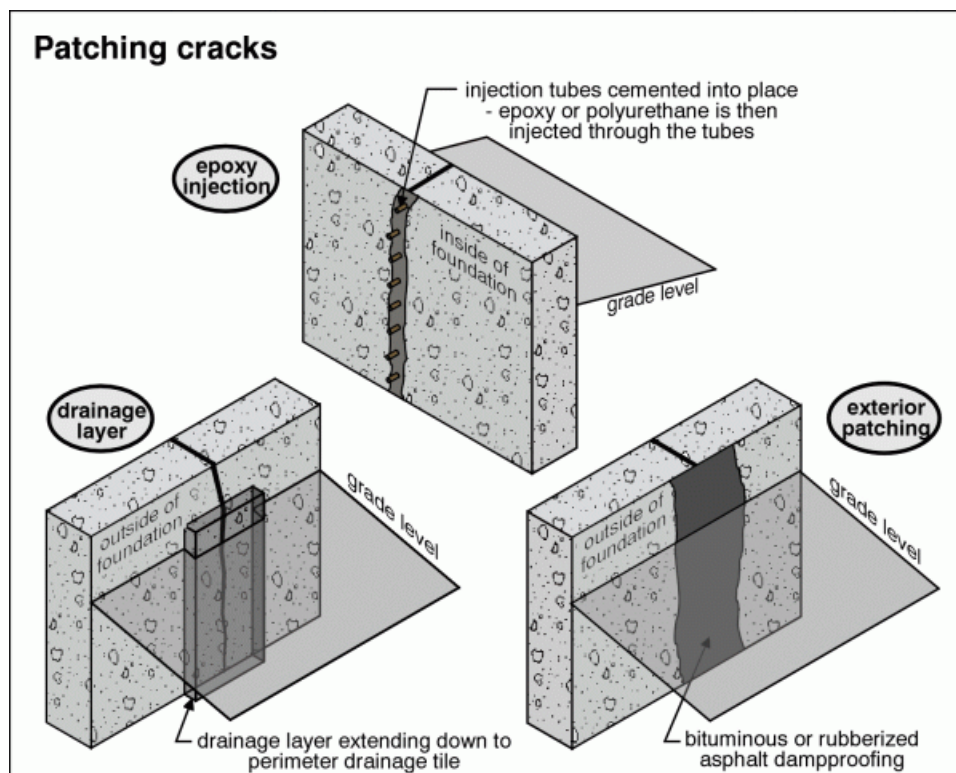
Correct roof drainage and monitor cracks for movement, if movement continues professional involvement recommended.
See structural section.

Implication(s): Chance of water entering building | Chance of damage to structure | Chance of structural movement

Location: Various Exterior

Task: Monitor

Time: Ongoing



Crack repair - epoxy and polyurethane injection

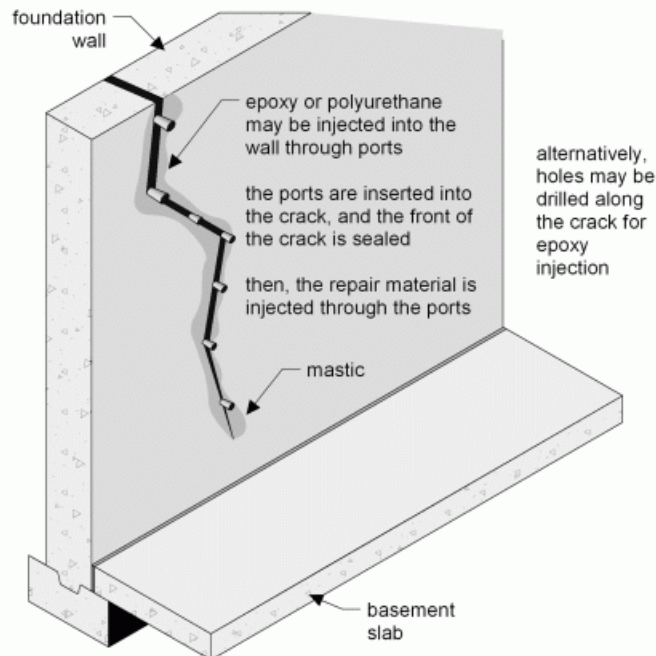
polyurethane is flexible and is not a structural repair, however, it can prevent leakage

it starts out with low viscosity, then expands within the crack

do-it-yourself crack repair kits usually feature polyurethane foam

epoxy is as strong as concrete and forms a structural seal

however, it hardens slowly, and if there is space at the back of the crack, it may leak out



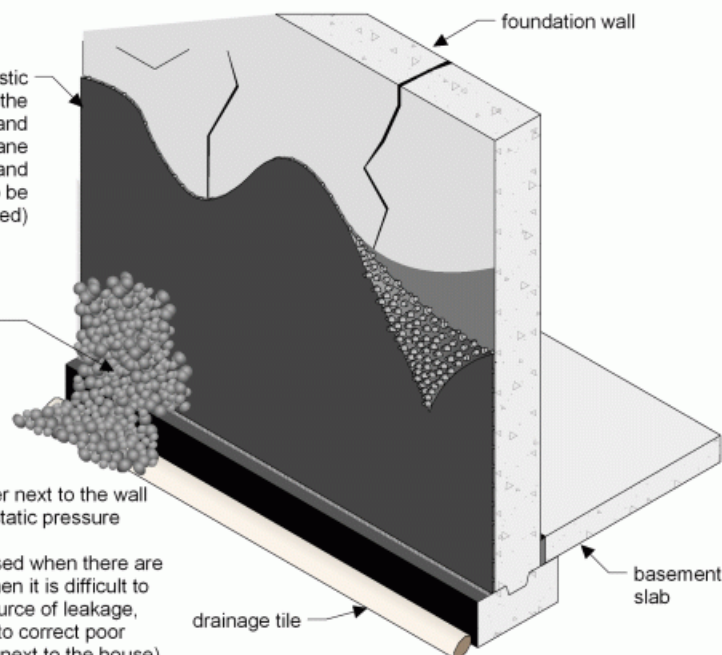
Crack repair - drainage layer

dimpled plastic membrane protects the wall from moisture and provides drainage plane (other membranes and methods may also be used)

gravel fill next to wall to facilitate drainage

adding a drainage layer next to the wall helps to relieve hydrostatic pressure

this method may be used when there are many small cracks, when it is difficult to identify the specific source of leakage, and when it is difficult to correct poor grading (such as a hill next to the house).



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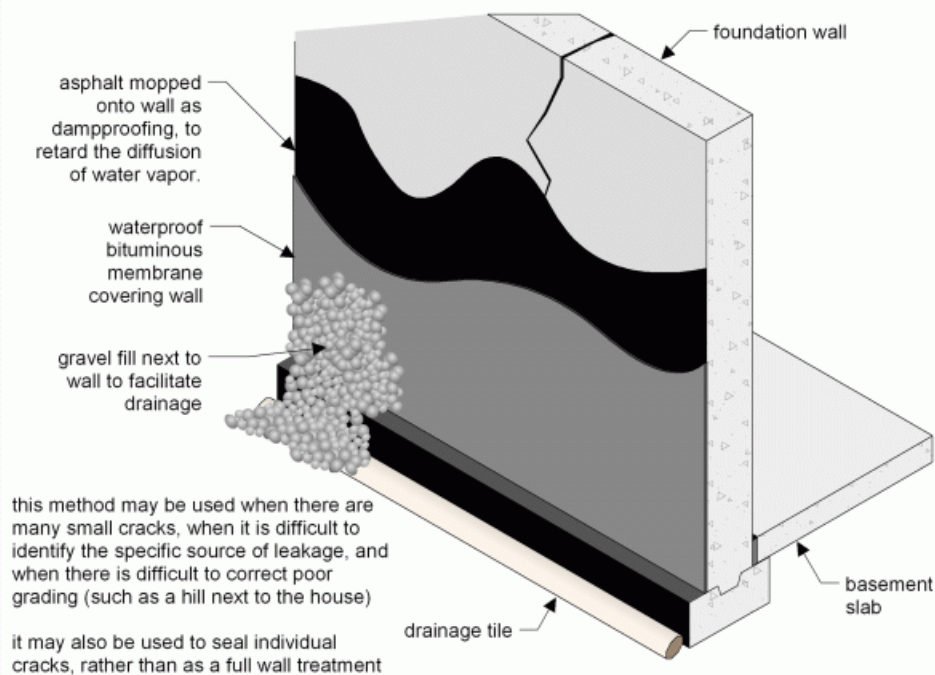
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Crack repair - exterior patching



32.



33.

Condition: • [Disturbed ground](#)

Disturbed soil around unfinished back porch area

Implication(s): Cosmetic defects

Location: Rear Door

Task: Improve

Time: If necessary

GARAGE \ General

Condition: • Disrepair

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Garage extremely old and in poor condition, probably not worth saving

Location: North

Task: Demolish

Time: Discretionary



34.



35.



36.



37.

GARAGE \ Vehicle doors

Condition: • Latch not effective

Location: North

Task: Improve

Time: Discretionary

STRUCTURE

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Description

Configuration: • [Crawl space](#)

Foundation material: • [Poured concrete](#)

Floor construction:

• [Joists](#)

• Steel columns

• Wood columns

• Wood beams

Main house, runs south/north

• Built-up wood beams

North bedroom addition, runs east/west

Exterior wall construction: • [Wood frame](#)

Roof and ceiling framing: • Not visible

Limitations

Inspection limited/prevented by:

• Carpet/furnishings

• Storage



38.

• New finishes/paint

Attic/roof space: • No access

Crawl space: • Crawl space entered through access hatch in bedroom floor.

Percent of foundation not visible: • 60 %

Recommendations

FOUNDATIONS \ Foundation

Condition: • [Settled](#)

Implication(s): Chance of structural movement

Location: Throughout Crawl space

Task: Monitor

Time: Ongoing

Condition: • [Cracked](#)

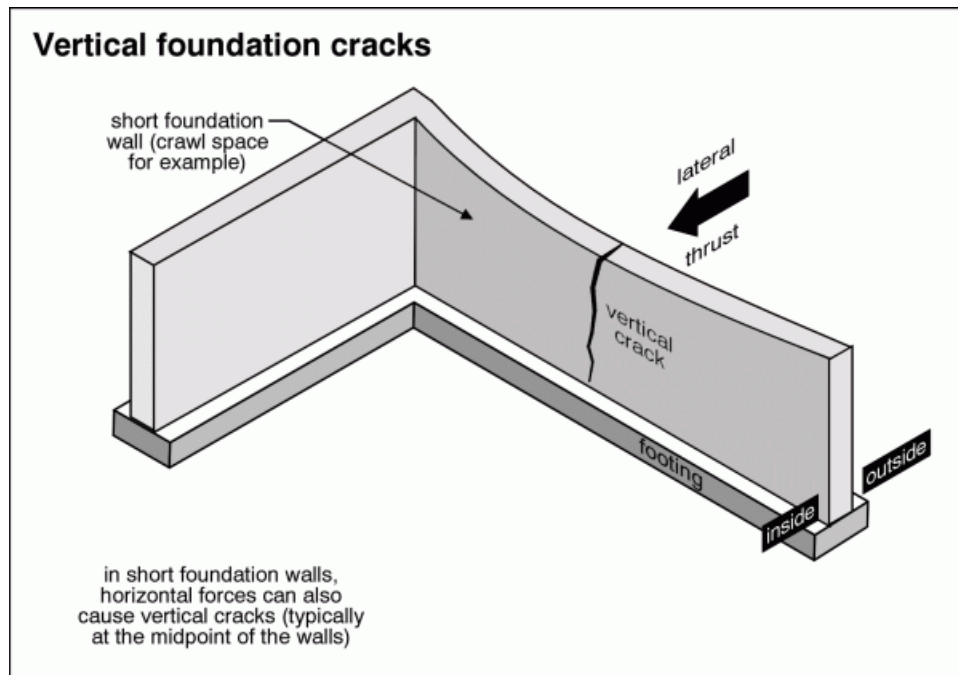
Prior repair to vertical crack by hose bib reopened, corresponds with cracked parging on exterior.

Implication(s): Chance of water damage to contents, finishes and/or structure | Weakened structure

Location: West

Task: Monitor

Time: Ongoing



Condition: • [Cracked horizontally](#)

Horizontal crack projects from abandon pipe on west wall

Implication(s): Chance of structural movement

Location: West

Task: Monitor

Time: Ongoing

Condition: • [Bowed, bulging or leaning](#)

West wall has cracks at window well, several honeycombed areas, horizontal crack at abandon pipe penetration, vertical crack by hose bib which was previously repaired and has reopened. On the exterior cracked parging is evident at the location of the vertical crack as well as a significant gap behind the siding. All of this suggests continuing movement, the likely culprit being the lack gutters and downspouts. Correct roof drainage situation and monitor foundation for further movement.

Implication(s): Weakened structure | Chance of structural movement

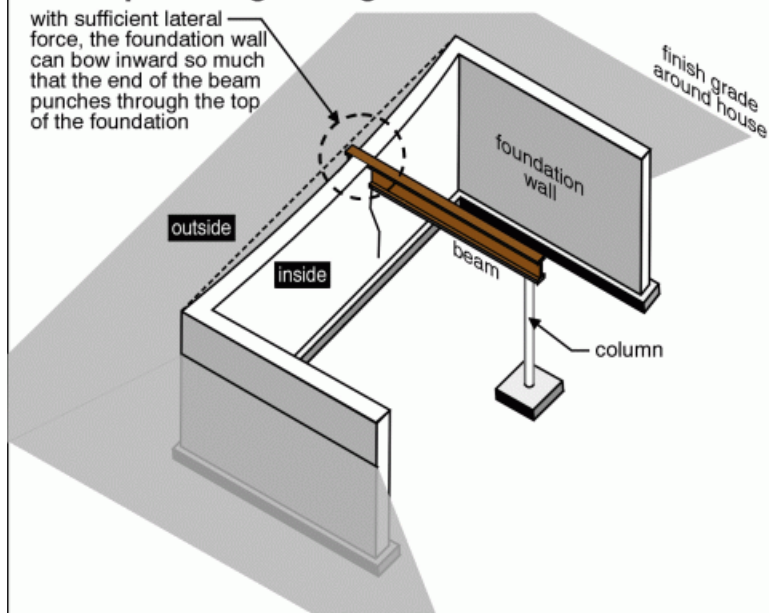
Location: West

Task: Monitor

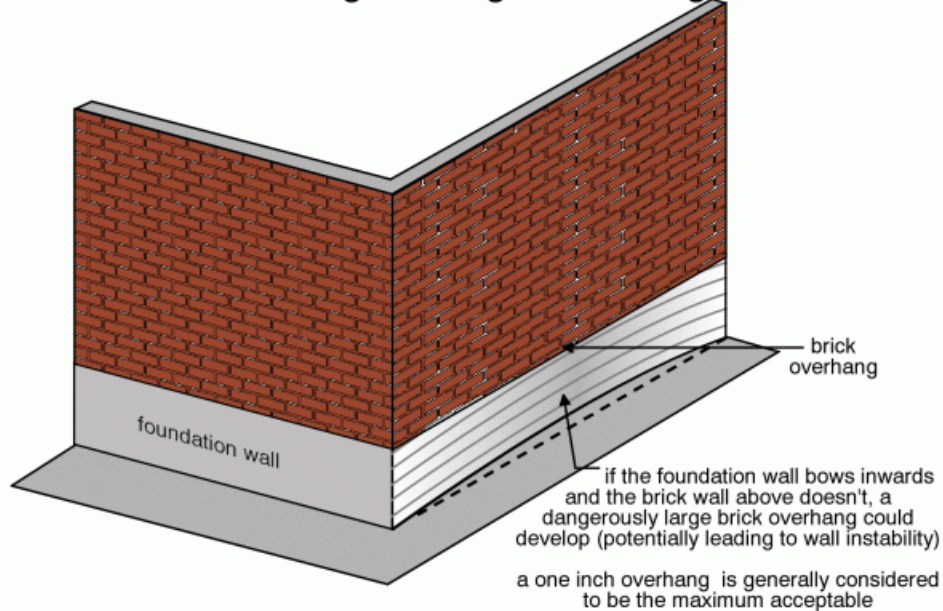
Time: Ongoing

Beam punching through foundation wall

with sufficient lateral force, the foundation wall can bow inward so much that the end of the beam punches through the top of the foundation



Excess brick overhang resulting from bowing foundation



STRUCTURE

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

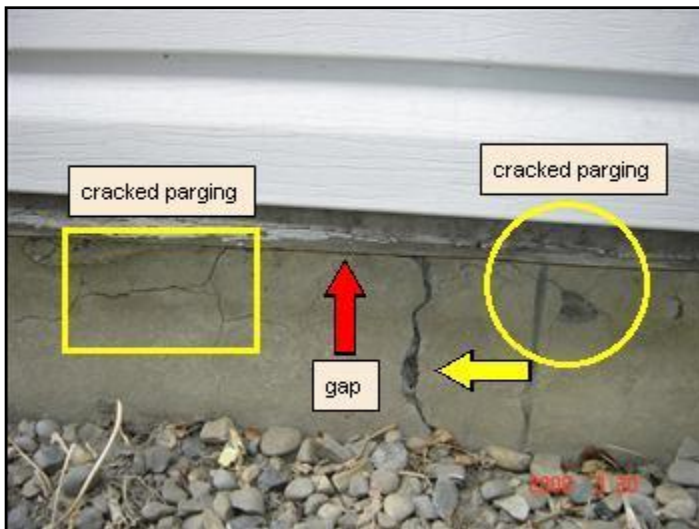
COOLING

INSULATION

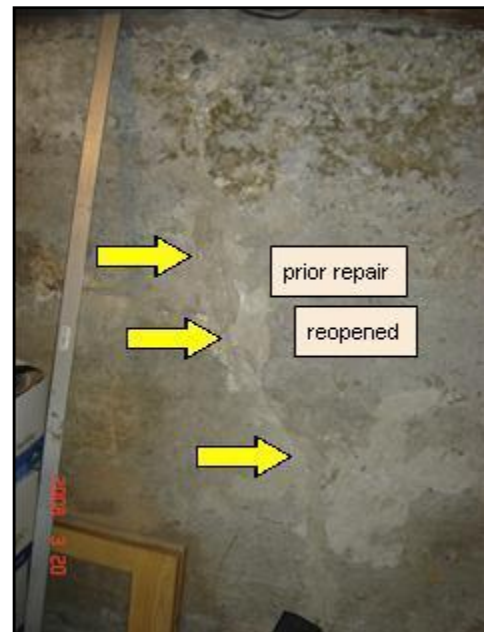
PLUMBING

INTERIOR

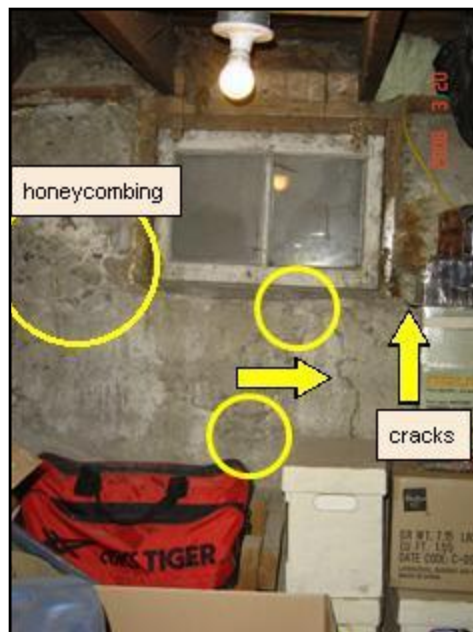
REFERENCE



39.



40.



41.

Condition: • [Lateral movement](#)

West wall visibly out of plumb.

Implication(s): Weakened structure

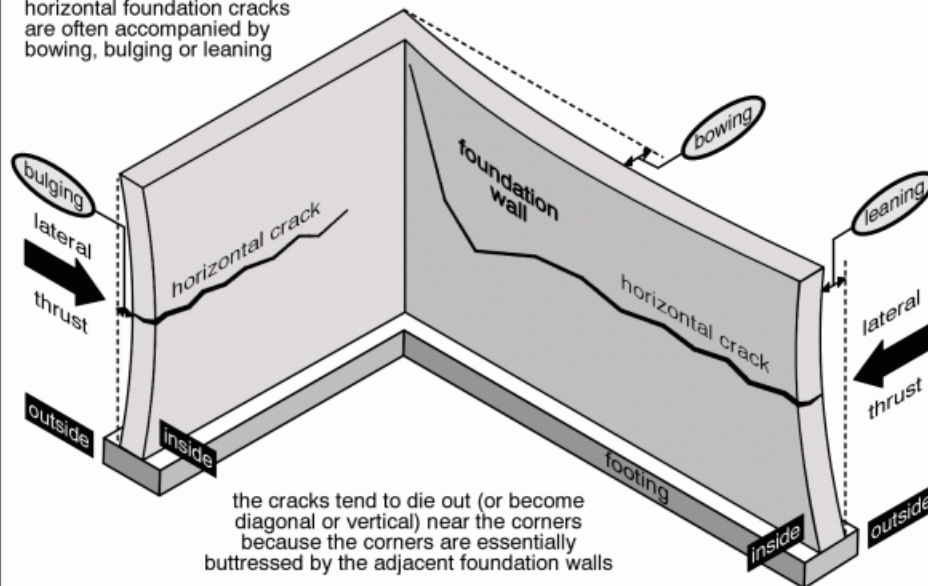
Location: West

Task: Monitor

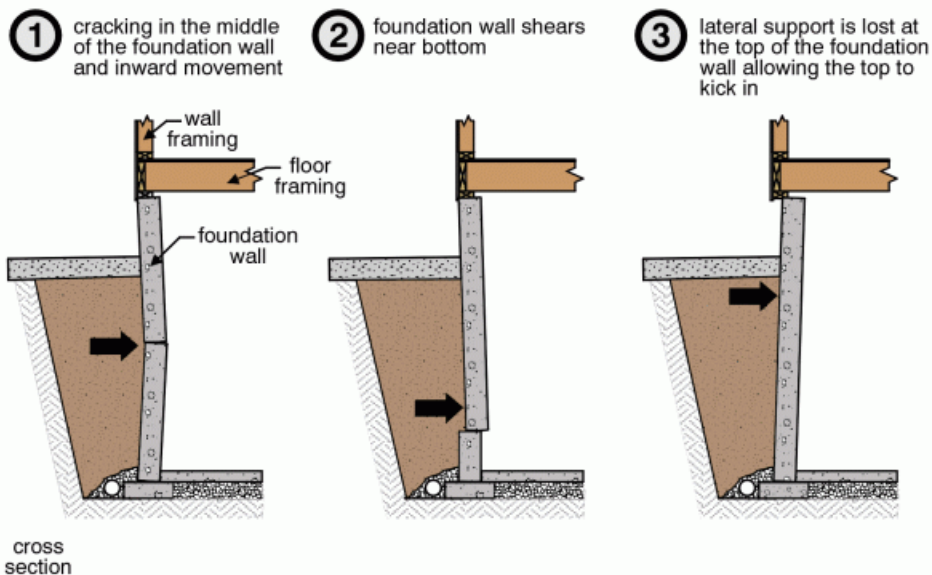
Time: Ongoing

Foundation movement associated with horizontal cracks

horizontal foundation cracks are often accompanied by bowing, bulging or leaning



Horizontal cracks and movement - 3 different possibilities



Condition: • [Honeycombing](#)

various areas in crawlspace, particularly notable on east wall

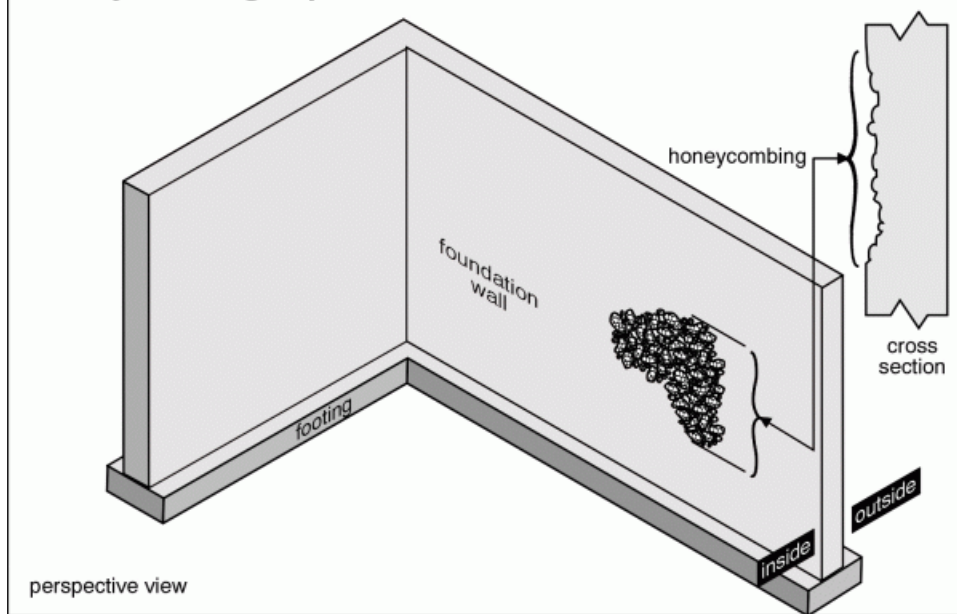
Implication(s): Weakened structure | Leakage

Location: Various Crawl space

Task: Monitor

Time: Ongoing

Honeycombing in poured concrete foundations



Condition: • [Prior repairs](#)

Foundation wall shored up by wood structure, columns buried at bottom and attached to joist at top to prevent lateral movement, no clues of further movement noted. Repair starts on the north side next to furnace and extends around the perimeter terminating on west wall. Approximately 65% of foundation supported in this manner, cracks and evidence of movement visible on unsupported sections. Correct roof drainage situation and monitor for further movement, consult specialist if movement continues.

Implication(s): Weakened structure

Location: Crawl space

Task: Monitor

Time: Ongoing



42.

Condition: • [Parging damaged or missing](#)

Cracked parging corresponds to vertical crack on west foundation wall (near hose bib).

Implication(s): Chance of damage to structure | Shortened life expectancy of material

Location: West

Task: Monitor

Time: Ongoing

FOUNDATIONS \ Performance opinion**Condition:** • Suspect

As previously stated, surface water control (roof drainage) greatly contributes to foundation performance, once condition is corrected monitor foundation for further movement and consult specialist if noted. No effects to structure above noted at this time, however that could change if conditions are not addressed.

Implication(s): Chance of structural movement

Location: Crawlspace

Task: Monitor

Time: Ongoing

Condition: • Further evaluation required

Monitor structural movement in crawlspace area, if further movement is noted, professional involvement is recommended. Control of surface water should be first priority.

Implication(s): Chance of structural movement

Location: Crawlspace

Task: Monitor/Further evaluation

Time: Ongoing

FLOORS \ Columns or piers**Condition:** • [Rot, insect or fire damage](#)

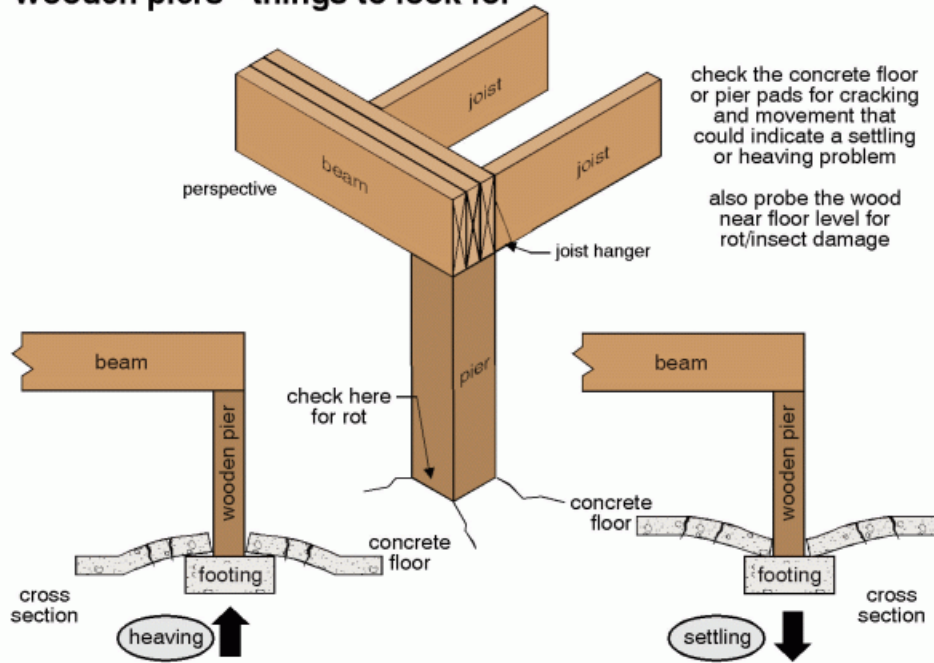
Red circles denote wood soil contact, early stages of rot evident. Yellow circles show poor connection at top of column, yellow arrow indicates foundation crack beneath beam, steel column added for additional support. Blue circles indicate exposed footings which show signs of deterioration. Monitor conditions, if movement is noted or deterioration continue consult specialist.

Location: Crawl space

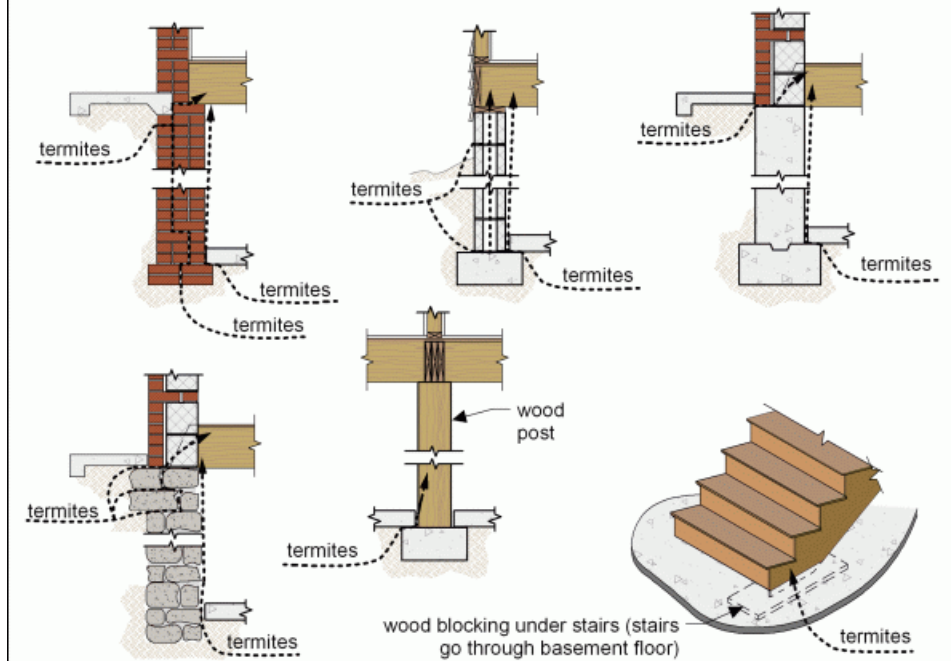
Task: Monitor/Improve

Time: If necessary

Wooden piers - things to look for



Inspecting for subterranean termites - interior





43.

Condition: • [Poorly secured at top or bottom](#)

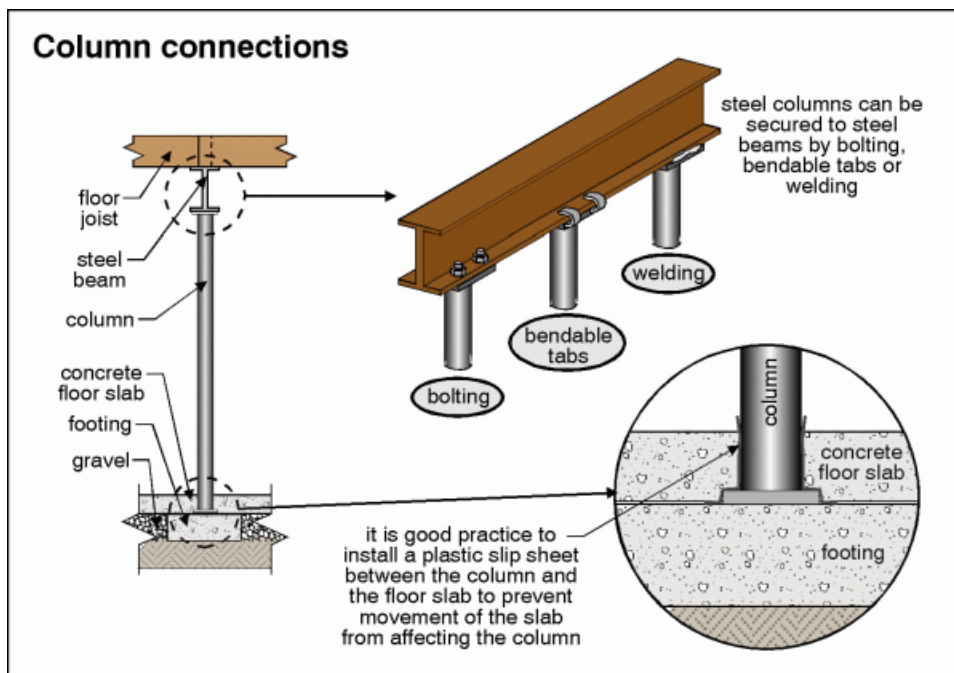
Significant checking of column indicated by arrows.

Implication(s): Weakened structure | Chance of structural movement

Location: Center Crawlspace

Task: Monitor/ Improve

Time: If necessary



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44.

Condition: • [Prior repairs](#)

Steel columns used to replace/augment older wood columns.

Implication(s): Weakened structure

Location: Crawl space

Task: Monitor

Time: Ongoing

FLOORS \ Beams

Condition: • [Weak connection to column](#)

As noted in column section.

Implication(s): Weakened structure

Location: Crawl space

Task: Monitor

Time: Ongoing

FLOORS \ Sills

Condition: • [Gaps under sills](#)

Left side of window on West wall

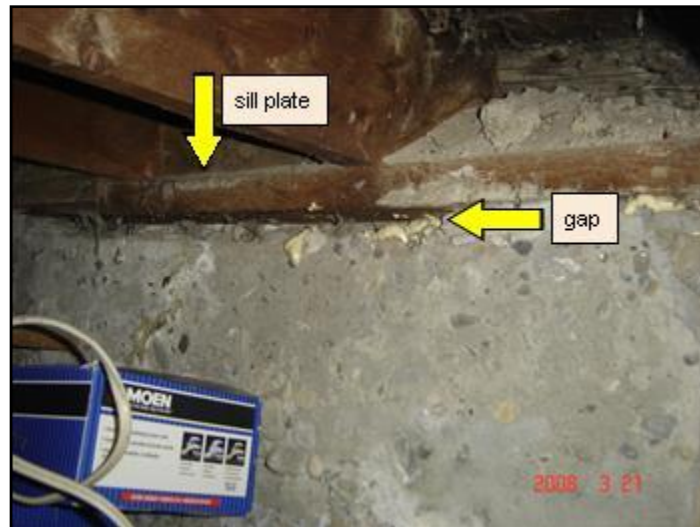
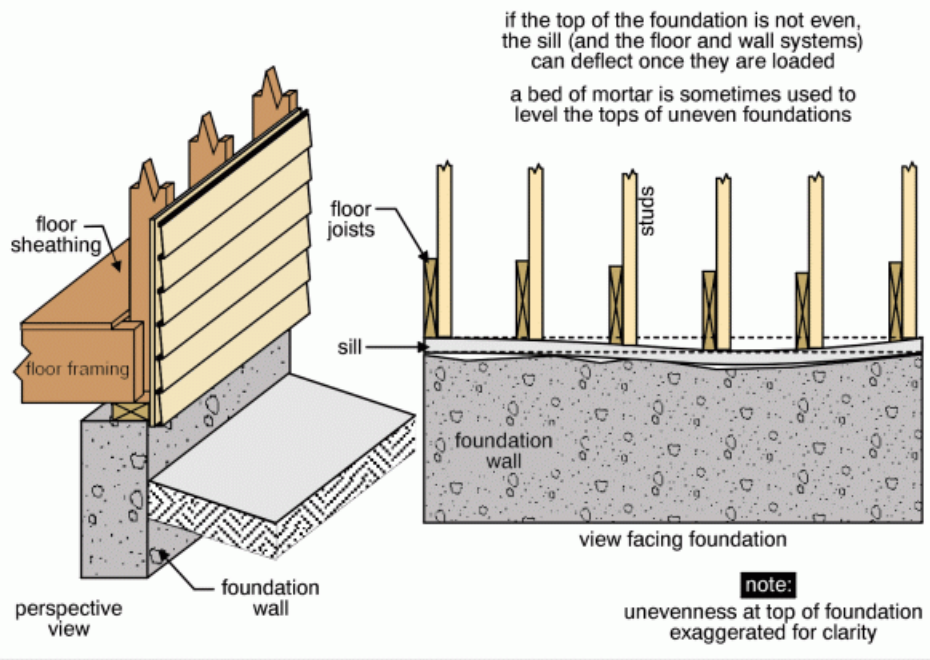
Implication(s): Weakened structure | Chance of structural movement

Location: West Crawl space

Task: Monitor/ Improve if necessary

Time: Ongoing

Gaps under sills



45.

FLOORS \ Joists

Condition: • [Rot, insect or fire damage](#)

Exposed joist ends prone to weathering.

Implication(s): Weakened structure

Location: North Exterior wall

Task: Improve

Time: Less than 5 years

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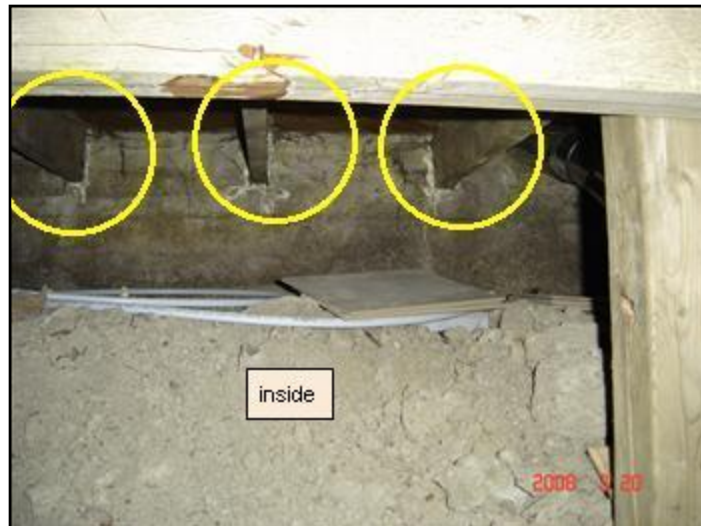
REFERENCE



46.



47.



48.

Condition: • [Notches or holes](#)

Implication(s): Weakened structure

Location: Various Crawl space

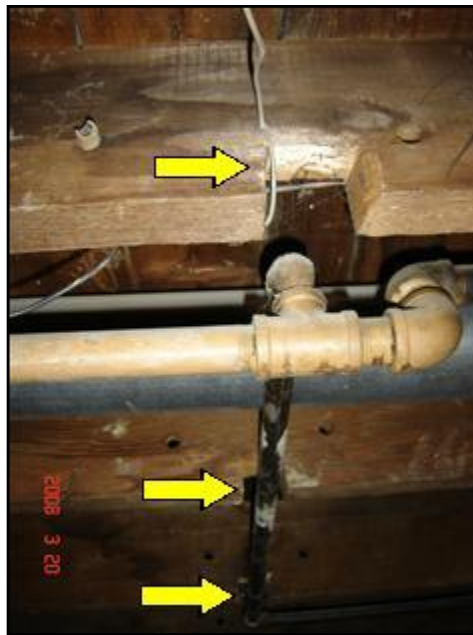
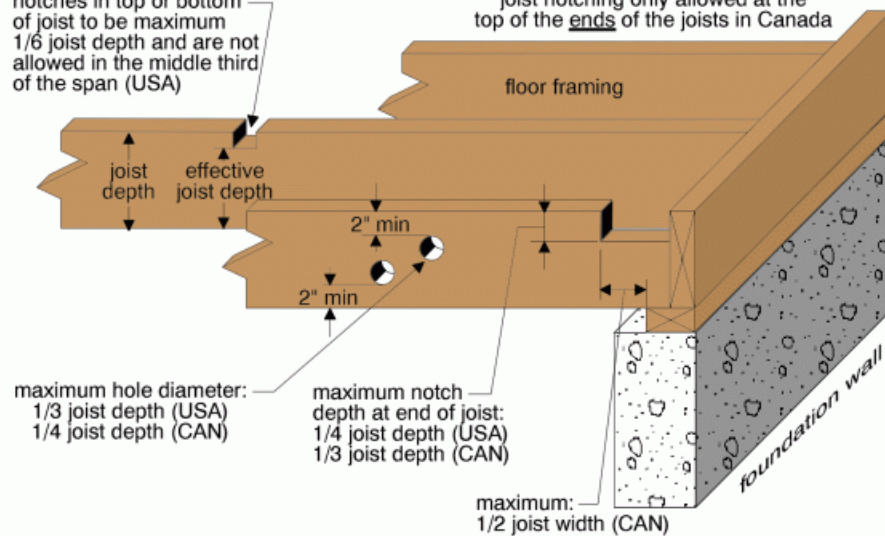
Task: Repair

Time: Discretionary

Joist notching and drilling

notches in top or bottom of joist to be maximum 1/6 joist depth and are not allowed in the middle third of the span (USA)

note:
joist notching only allowed at the top of the ends of the joists in Canada



49.

Condition: • [Poor end bearing, joist hanger connections](#)

Existing joist at repaired area unsupported, provide joist hanger (easy fix) as soon as possible. Notched end bearing of joist may be prone to splitting under excessive loads, no condition currently noted.

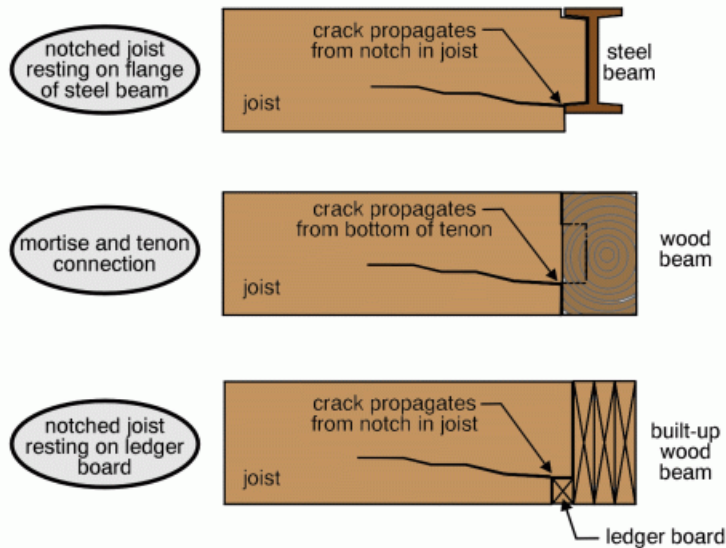
Implication(s): Weakened structure | Chance of structural movement

Location: Northeast Crawl space

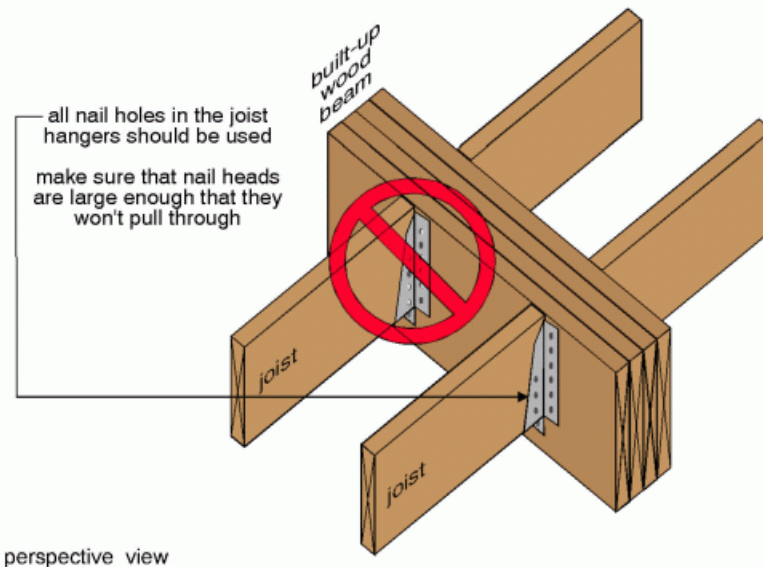
Task: Repair/ Monitor

Time: Immediate

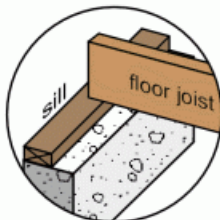
Examples of weak joist/beam connections



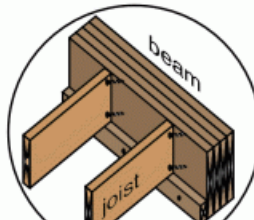
Watch for insufficient nails in joist hangers



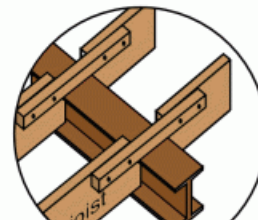
Different types of joist end support



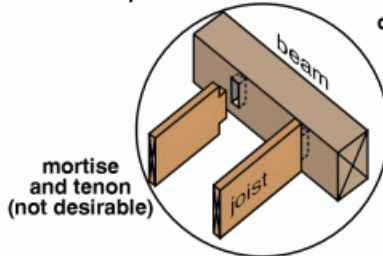
on sill plate



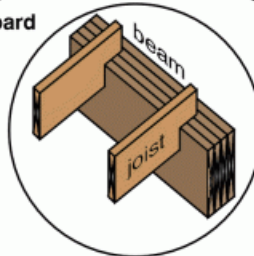
on ledger board



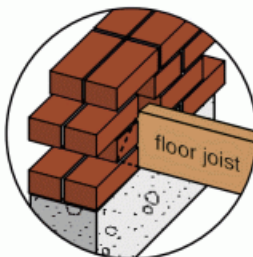
on bottom beam flange



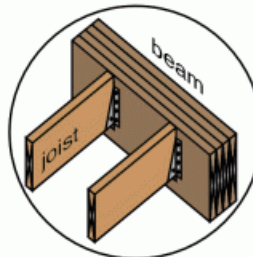
mortise and tenon (not desirable)



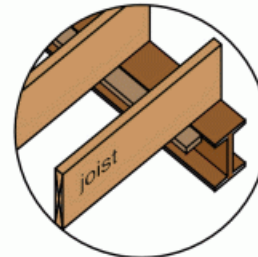
notched and resting on beam (not desirable)



embedded in masonry wall



on side of beam with joist hangers



on top of beam



50.



51.

Condition: • [Prior repairs](#)

Below rear entrance interior floor, existing joist unsupported as previously noted.

Location: Northeast Crawl space

Task: Information only

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52.

ROOFING

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Description

General: • Lights and switches*Note:* typical**Service entrance cable and location:** • [Overhead copper](#)**Service size:** • [100 Amps \(240 Volts\)](#)**Main disconnect/service box rating:** • [100 Amps](#)**Main disconnect/service box type and location:** • [Breakers - basement](#)**System grounding material and type:** • [Copper - water pipe](#)**Distribution panel rating:** • [125 Amps](#)**Distribution panel type and location:** • [Breakers - basement](#)**Distribution wire material and type:** • [Copper - non-metallic sheathed](#) • [Copper - metallic sheathed](#)**Type and number of outlets (receptacles):** • [Grounded - typical](#)**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):**• [AFCI - panel](#)

serves bathroom plug

Limitations

Inspection limited/prevented by: • Power was off in some areas**Panel covers:** • Disconnect covers are not removed by the building inspector

Recommendations

SERVICE DROP AND SERVICE ENTRANCE \ Service drop

Condition: • Failed seal on conduit penetration.**Location:** Northeast Exterior wall**Task:** Improve**Time:** Less than 1 year

53.

ELECTRICAL

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Condition: • [Branches, vines interfering with wires](#)

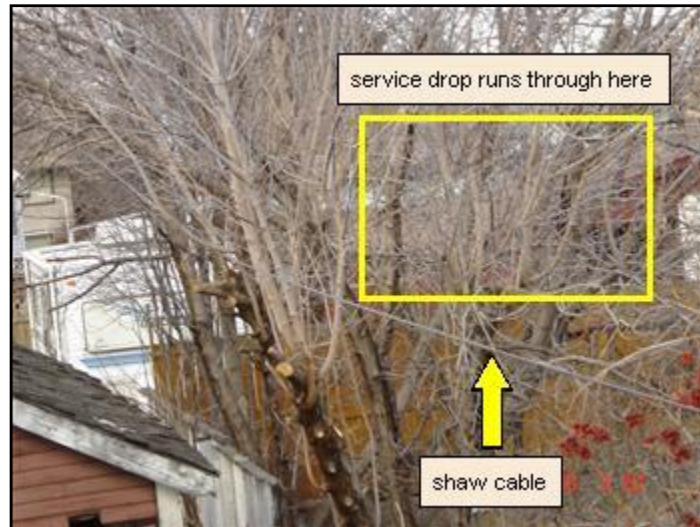
Tree located in west neighbour's yard, inform electrical supplier.

Implication(s): Damage to wire | Electric shock | Interruption of electrical service

Location: North Exterior

Task: Further evaluation

Time: Discretionary



54.

SERVICE DROP AND SERVICE ENTRANCE \ Service conductors

Condition: • [Drip loop too low \(touching roof\)](#)

Notify electrical supplier.

Implication(s): Electric shock

Location: Northwest Exterior

Task: Further evaluation

Time: Immediate



55.

Condition: • [Insulation missing or damaged](#)

Notify electrical supplier.

Location: Northeast Exterior

Task: Further evaluation

Time: Discretionary

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

Condition: • [Openings in panel](#)

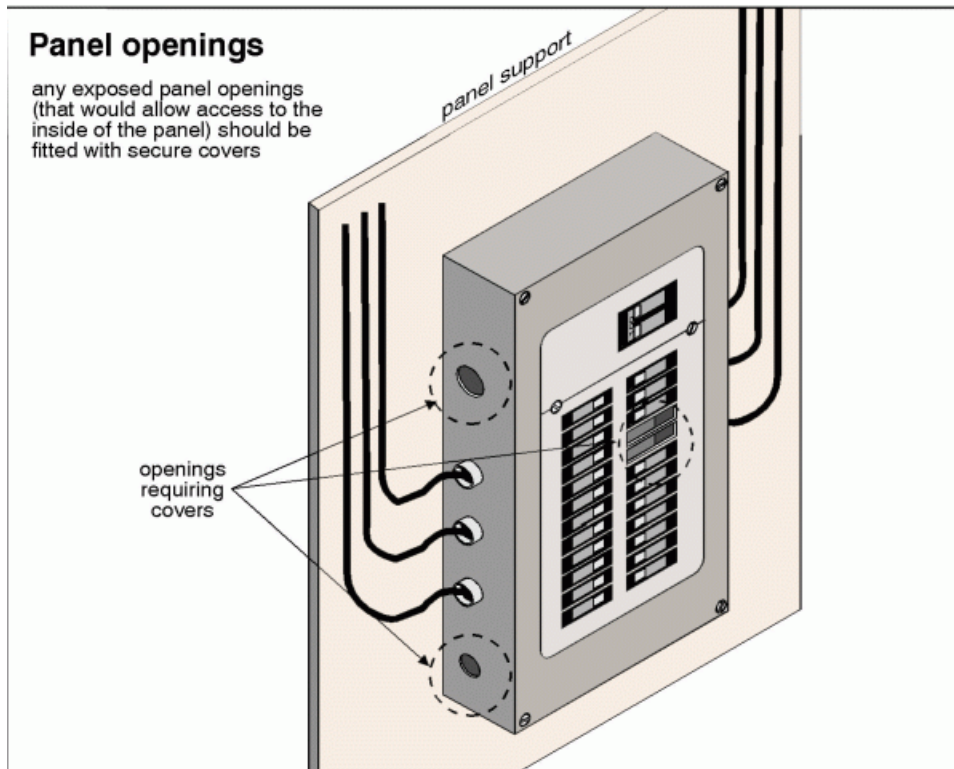
Provide blanks or breakers to open areas on front, plug knockout on right side.

Implication(s): Electric shock | Fire hazard

Location: North Crawl space

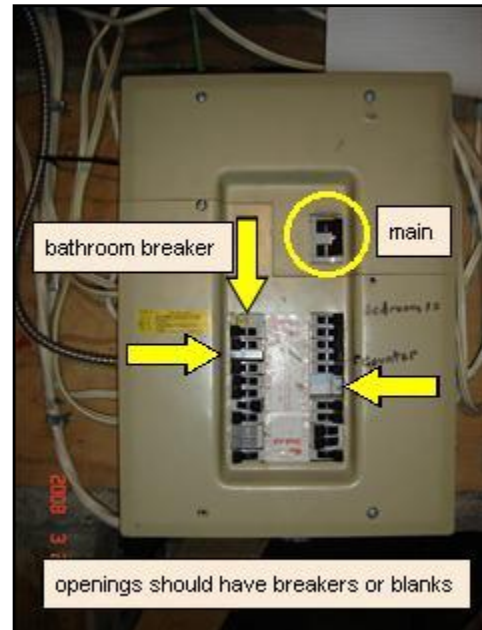
Task: Provide

Time: Immediate





56.



57.

DISTRIBUTION SYSTEM \ Wiring - installation

Condition: • [Not well secured](#)

Quality of wire secureness varies, picture represents one of the poorer areas.

Implication(s): Electric shock | Fire hazard

Location: Various Crawl space

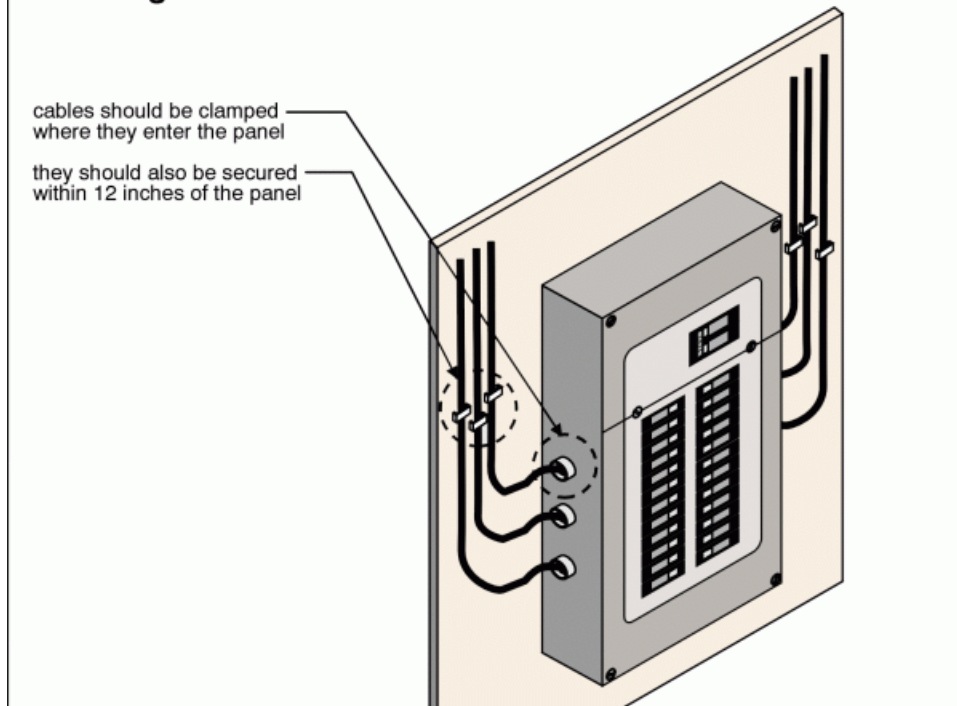
Task: Improve

Time: Discretionary

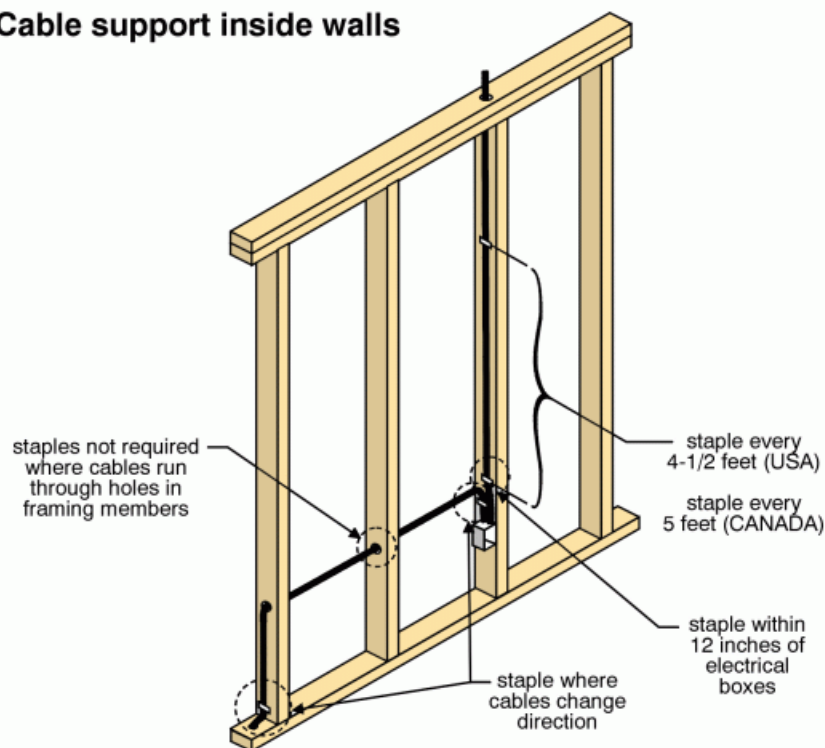
Securing wires

cables should be clamped where they enter the panel

they should also be secured within 12 inches of the panel



Cable support inside walls



58.

Condition: • [Abandoned wire](#)

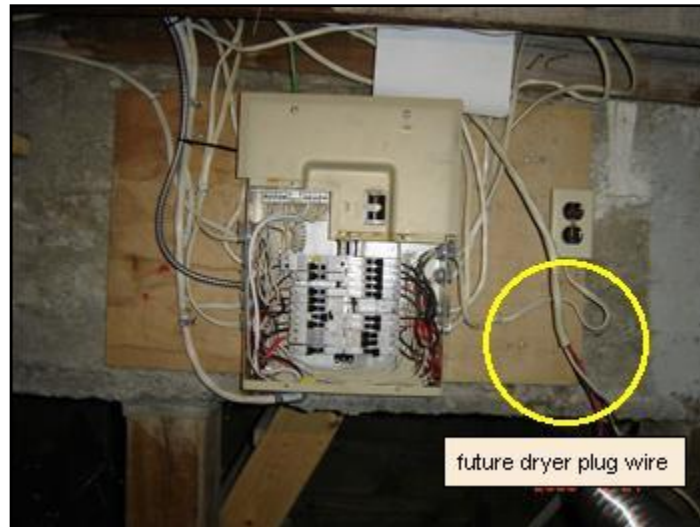
Some new wire runs not connected to panel or incomplete.

Implication(s): Electric shock

Location: Crawlspace

Task: Improve

Time: If necessary



59.

DISTRIBUTION SYSTEM \ Lights

Condition: • [Missing](#)

Provide covers or fixtures, unknown if circuits are live.

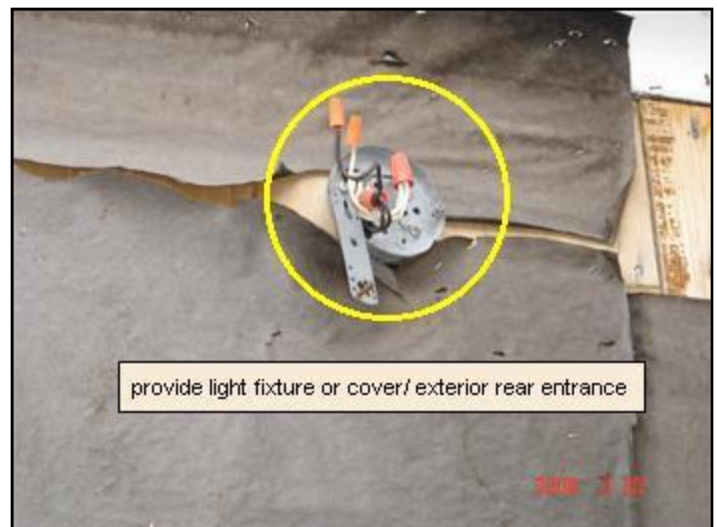
Location: Various

Task: Provide

Time: Discretionary



60.



61.

ROOFING

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62.

DISTRIBUTION SYSTEM \ Switches

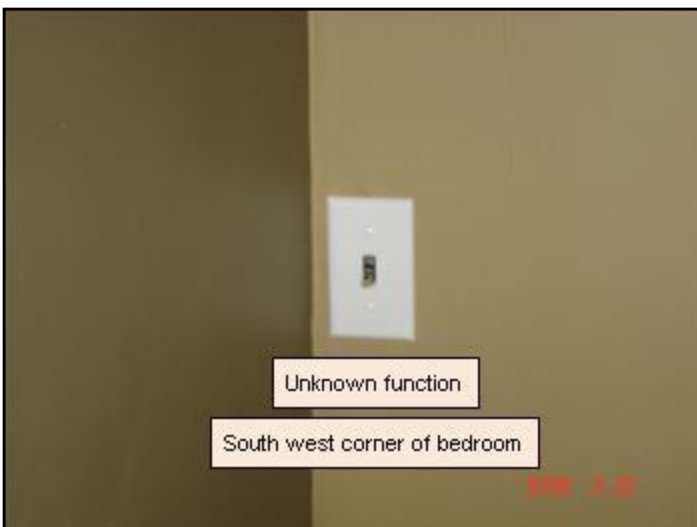
Condition: • [Inoperative](#)

Implication(s): Inadequate lighting

Location: Various

Task: Further investigation

Time: Discretionary



63.

DISTRIBUTION SYSTEM \ Junction boxes

Condition: • [Cover loose or missing](#)

Provide fixture or cover.

Implication(s): Electric shock | Fire hazard

Location: South Living room

Task: Provide

Time: Discretionary



64.



65.

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • [Inoperative](#)

Receptacle on north side of main door interior inoperative as well as plug at back of pantry.

Implication(s): Equipment inoperative

Location: Various

Task: Improve

Time: Discretionary



66.



67.

DISTRIBUTION SYSTEM \ Cover plates

Condition: • [Missing](#)

Several plugs in crawlspace as well as fan switch on furnace have no covers.

Implication(s): Electric shock

Location: Various

Task: Provide

Time: Immediate

ELECTRICAL

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68.



69.



70.

DISTRIBUTION SYSTEM \ Smoke detectors

Condition: • [None](#)

Life safety issue

Implication(s): Fire hazard

Task: Provide

Time: Immediate

HEATING

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Description

Fuel/energy source: • [Gas](#)

System type:

• [Furnace](#)



71.

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • [55,000 BTU/hr](#)

Efficiency: • [Mid-efficiency](#)

Approximate age:

• [4 years](#)

Name plate states date of manufacture July 2004

Main fuel shut off at:

• Exterior wall

Main gas shut off located at meter on west side of house



72.

HEATING

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Failure probability: • [Low](#)

Supply temperature: • 150°

Return temperature: • 80°

Temperature difference: • 70°

Chimney/vent: • [Masonry](#) • [Metal](#) • [Abandoned](#)

Limitations

Inspection prevented/limited by:

- Chimney clean-out not opened



73.

- Restricted access

Unable to get close to chimney

Safety devices: • Not tested as part of a building inspection

Heat loss calculations: • Not done as part of a building inspection

Heat exchanger: • Not visible

Recommendations

GAS FURNACE \ Gas piping

Condition: • Abandoned pipe runs in crawlspace. One line terminates below floor, the other is isolated by a shut off valve in the closed position and extends through west wall to exterior then goes into ground. Likely abandoned line to garage.

Location: Crawl space

Task: remove

Time: discretionary

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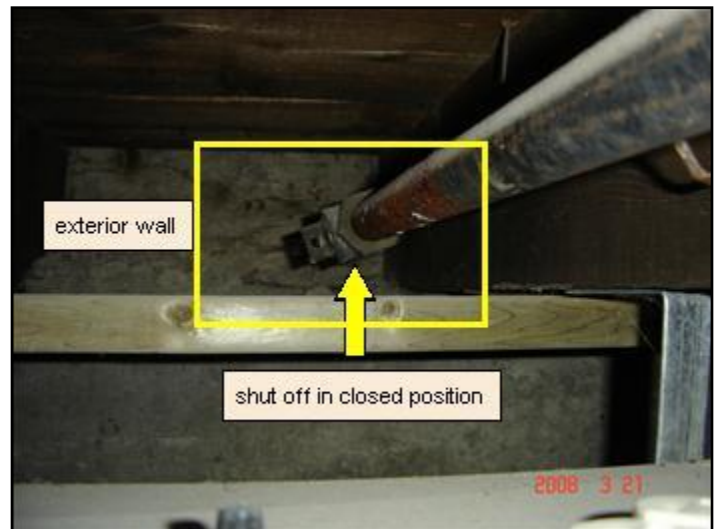
PLUMBING

INTERIOR

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74.



75.



76.

Condition: • [Inadequate support](#)

Implication(s): Equipment not operating properly | Fire or explosion

Location: Crawl space

Task: improve

Time: immediate

HEATING

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ROOFING

EXTERIOR

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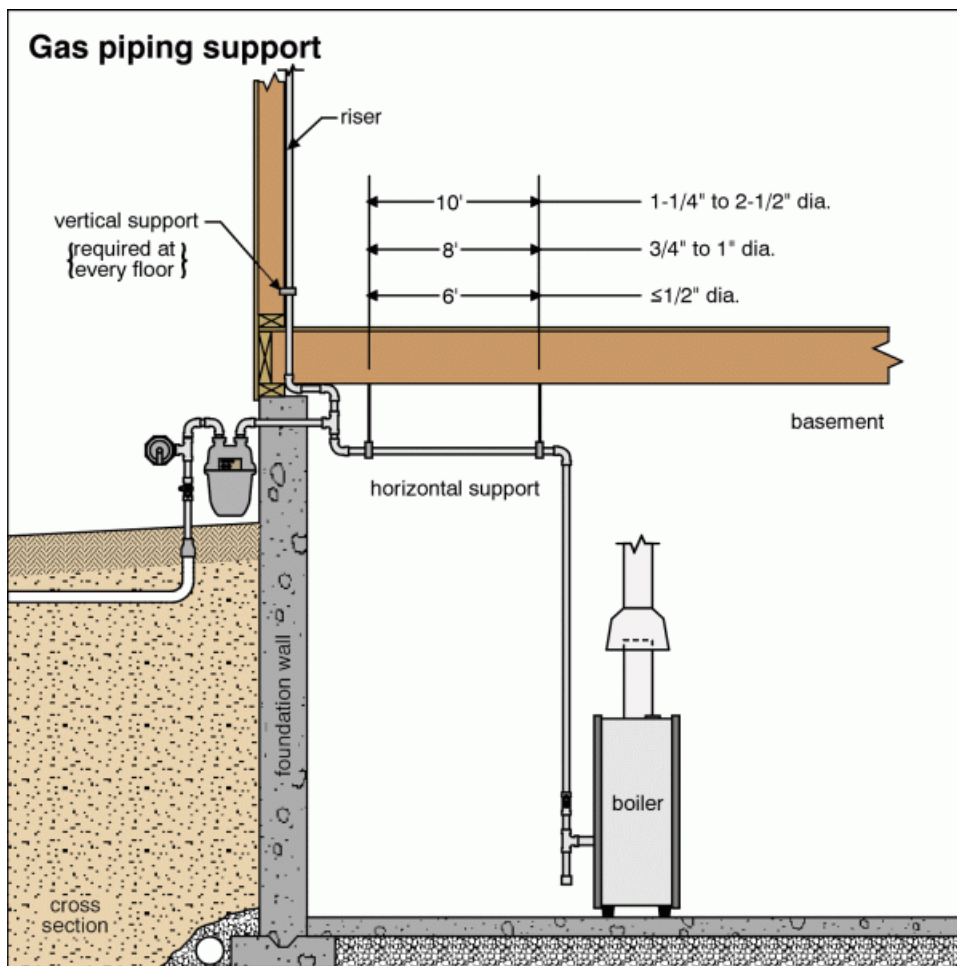
COOLING

INSULATION

PLUMBING

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77.

GAS FURNACE \ Thermostat

Condition: • [Loose](#)

Thermostat loose at bottom

Implication(s): Increased heating costs | Reduced comfort | No heat for building

HEATING

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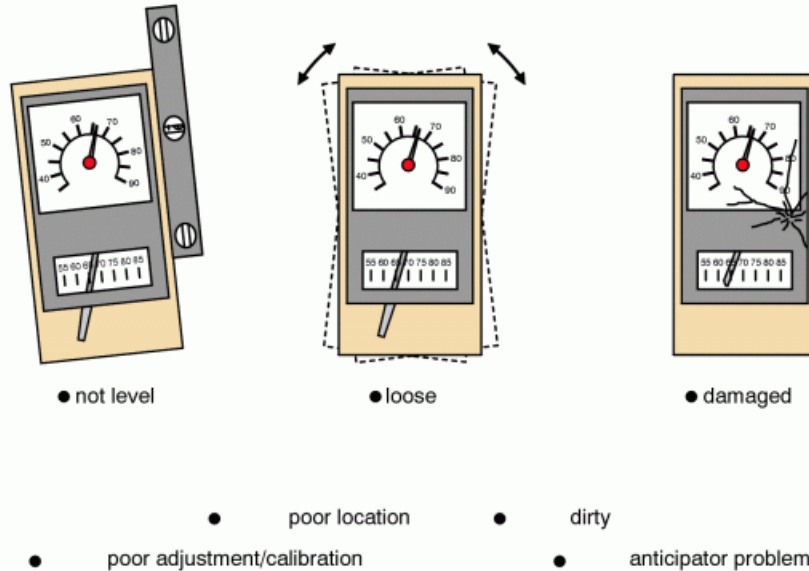
REFERENCE

Location: West Kitchen

Task: repair

Time: discretionary

Thermostat conditions to watch for



GAS FURNACE \ Ducts, registers and grilles

Condition: • [Excessively long runs, excessive elbows](#)

Long run of corrugated duct through crawlspace results in weaker airflow to bedroom

Implication(s): Increased heating costs | Reduced comfort

Location: North Bedroom

Task: improve

Time: discretionary

HEATING

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EXTERIOR

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HEATING

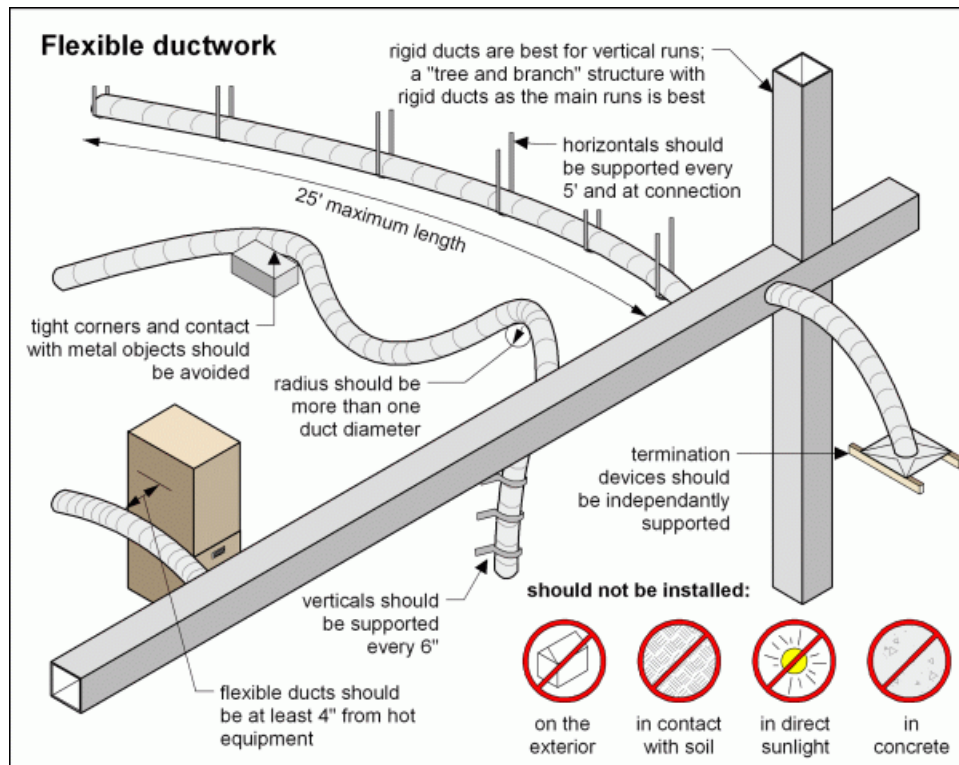
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



78.

Condition: • Return chase or plenum contain pipes, wires or vents

Location: Center Crawl space

Task: information only

GAS FURNACE \ Mechanical air filter

Condition: • [Dirty](#)

Implication(s): Increased heating costs | Reduced comfort

Location: Center Crawl space Utility room

Task: Clean

HEATING

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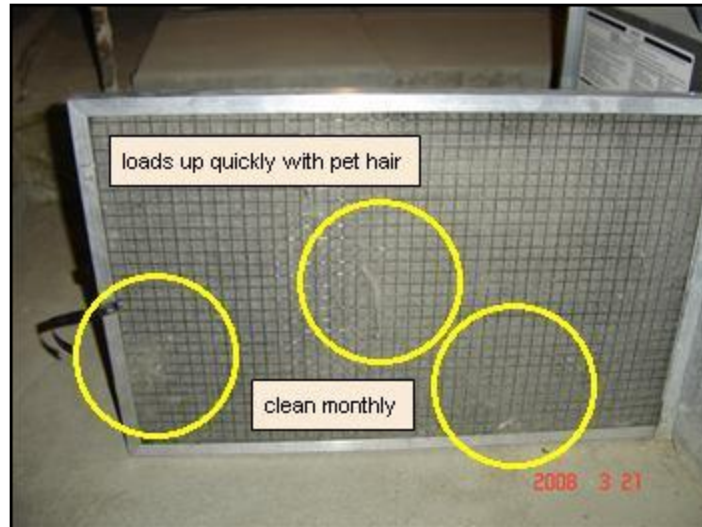
INSULATION

PLUMBING

INTERIOR

REFERENCE

Time: Regular maintenance



79.

CHIMNEY AND VENT \ Masonry chimney

Condition: • [Cracked](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Shortened life expectancy of material

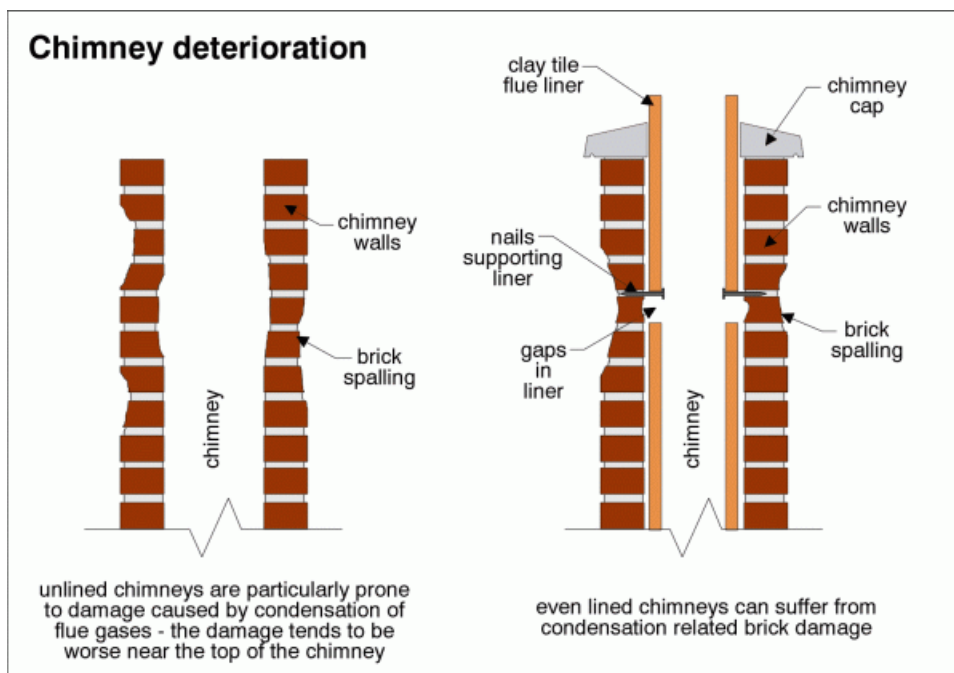
Condition: • [Loose, missing or deteriorated masonry](#)

Portion of masonry chimney above roof line in very poor condition, pieces may fall off and cause damage or injury, remove when re-roofing. Provide adequate flashing for active metal flue serving furnace and hot water heater

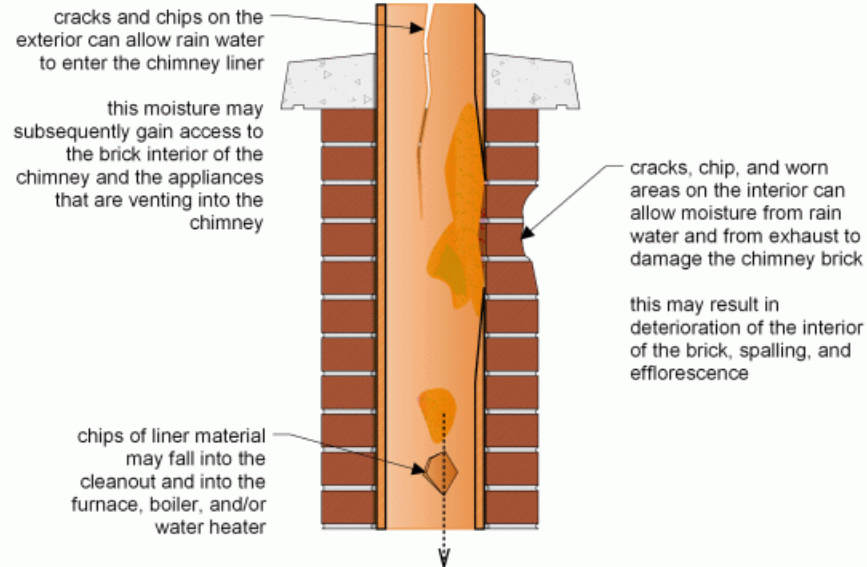
Implication(s): Material deterioration

Task: Remove

Time: Less than 1 year



Deteriorated clay chimney liner



80.

Condition: • [Loose, missing or deteriorated mortar](#)

Implication(s): Material deterioration

CHIMNEY AND VENT \ Masonry chimney cap

Condition: • [Missing](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Shortened life expectancy of material

Task: Remove

Time: Less than 1 year

HEATING

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ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

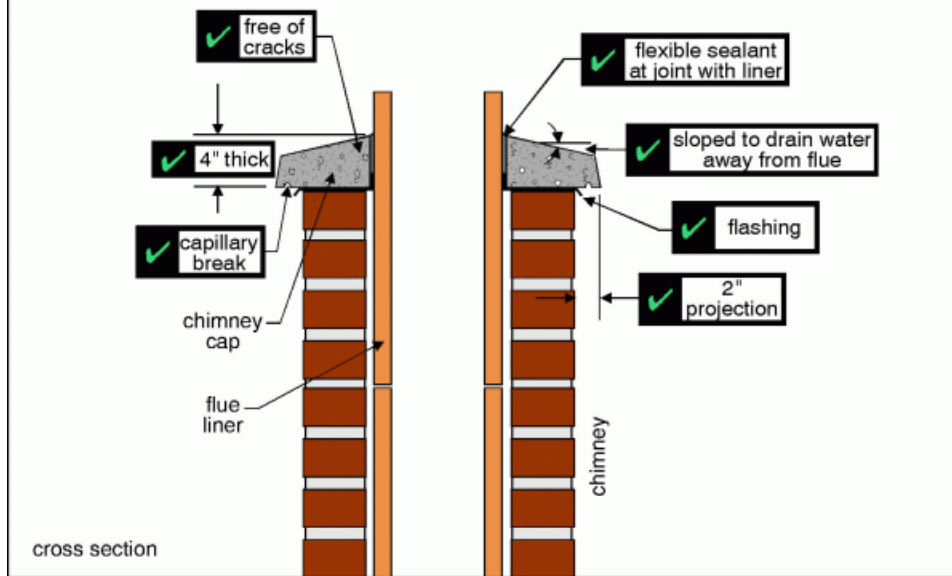
INSULATION

PLUMBING

INTERIOR

REFERENCE

What makes a good chimney cap?



COOLING & HEAT PUMP

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ROOFING

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Description

Air conditioning type: • None present

INSULATION AND VENTILATION

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Description

Attic/roof insulation material:

- [Glass fiber](#)

Temporary installation of R-20 batts beneath skylight sections



81.

Attic/roof insulation amount/value:

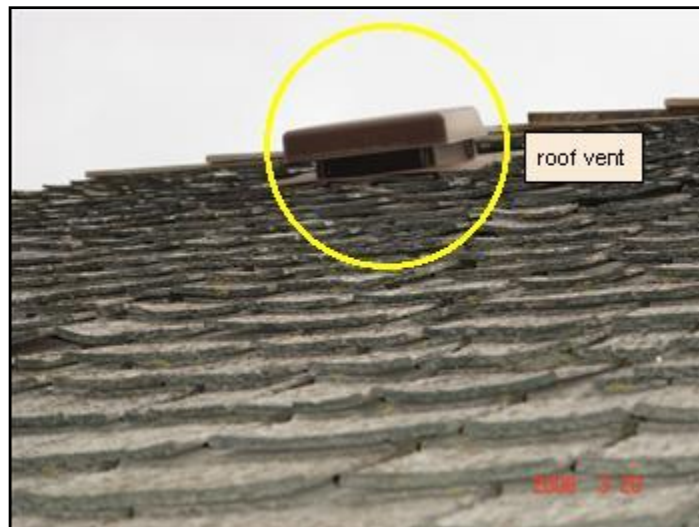
- [R-20](#)

Beneath skylight, only visible roof insulation

Attic/roof ventilation:

- [Roof and soffit vents](#)

Perforated soffits



82.

Attic/roof air/vapor barrier:

- [Not visible](#)

INSULATION AND VENTILATION

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Some evidence of air barrier at unfinished sills, however completeness can not be determined

Wall insulation material: • Not visible

Wall insulation amount/value: • Not determined

Foundation wall insulation material: • [Plastic/foam board](#)

Foundation wall insulation amount/value: • [None found](#)

Floor above basement/crawlspace insulation amount/value: • [None found](#)

Limitations

Inspection prevented by no access to: • Attic • Roof space

Roof ventilation system performance: • Not evaluated

Air/vapor barrier system: • Continuity not verified

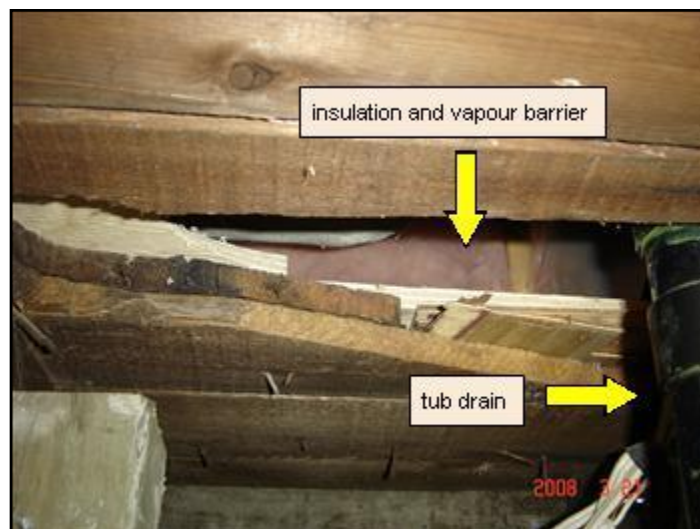
Recommendations

WALLS \ Insulation

Condition: • [Evidence insulation has been added](#)

south side

Location: West Crawl space



83.

FOUNDATION \ Exterior insulation

Condition: • [Not protected at top](#)

foam insulation board exposed above grade on south side exterior, vulnerable to damage from normal yard work.

Location: South Exterior

Task: Improve

Time: If necessary

INSULATION AND VENTILATION

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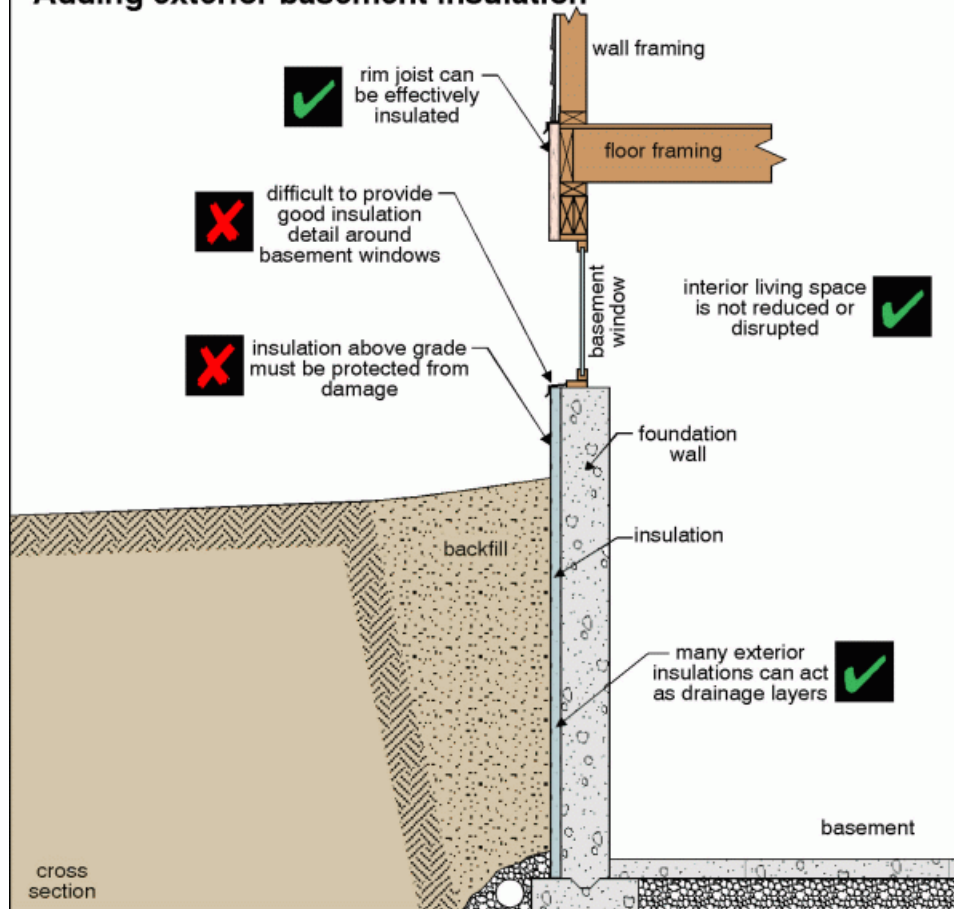
INSULATION

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INTERIOR

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Adding exterior basement insulation



INSULATION AND VENTILATION

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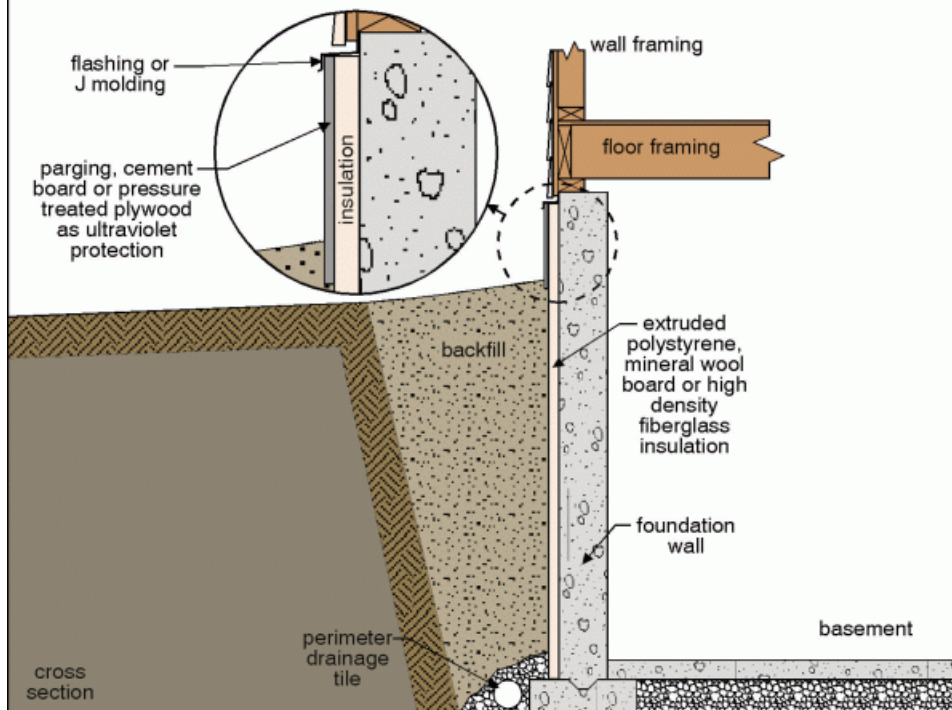
INSULATION

PLUMBING

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Evidence of exterior insulation installation



Description

General: • Supply systems- Single arm faucet in kitchen, dual tap mixing valve on bathroom sink, tub/shower valve in bathroom.

General: • Drains- Kitchen and bathroom sinks, tub drain.

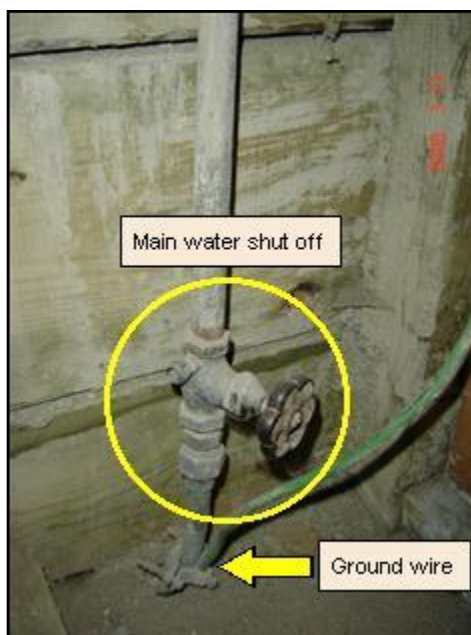
Water supply source: • Public

Service piping into building: • [Copper](#)

Supply piping in building: • [Copper](#)

Main water shut off valve at the:

- Meter
- Southeast of crawlspace.



84.

Water flow and pressure: • [Typical for neighborhood](#)

Water heater fuel/energy source: • [Gas](#)

Water heater type: • [Conventional](#) • Owned

Tank capacity: • [40 gallons](#)

Water heater approximate age: • 4 years

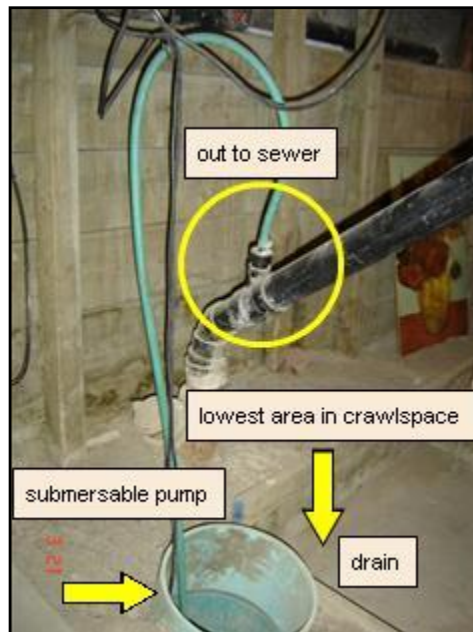
Water heater failure probability: • [Low](#)

Waste and vent piping in building: • [Plastic](#)

Pumps:

- [Sump pump](#)

Sump pump in crawlspace used for emergency water evacuation, sump dry at time of inspection, pump not tested.



85.

Limitations

Fixtures not tested/not in service: • Exterior hose bibs/bibbs shut off for winter

Items excluded from a building inspection: • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows

Recommendations

SUPPLY PLUMBING \ Supply piping in building

Condition: • [Leak](#)

Elbow joint above hot water tank on hot line

Implication(s): Chance of water damage to contents, finishes and/or structure | System inoperative

Location: Center Crawl space

Task: Repair

Time: Immediate

PLUMBING

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86.

Condition: • [Poor support](#)

some areas of poor support noted in crawlspace

Implication(s): Chance of water damage to contents, finishes and/or structure | Leakage

Location: Crawl space

Task: improve

Time: discretionary



87.

WATER HEATER \ Life expectancy

Condition: • [Low failure probability](#)

WATER HEATER \ Tank

Condition: • [Damage](#)

Dent on lower side of tank, cosmetic only

Location: Crawl space

Task: information only



88.

WATER HEATER \ Temperature/pressure relief valve

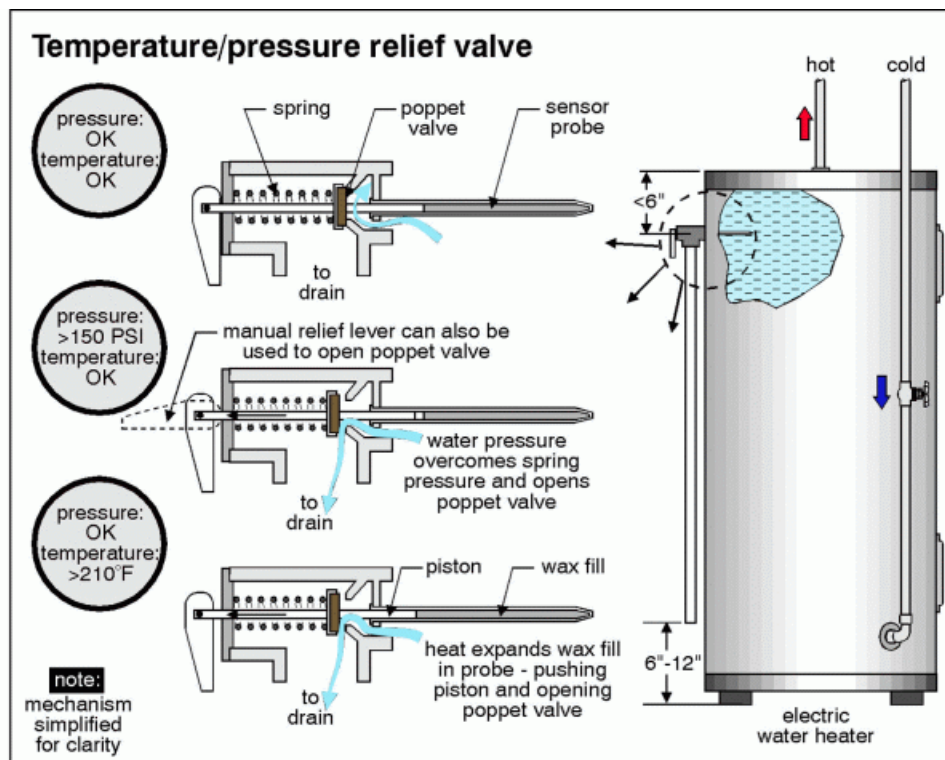
Condition: • [Discharge tube missing](#)

Implication(s): Scalding

Location: Center Crawl space

Task: provide

Time: immediate



PLUMBING

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89.

WASTE PLUMBING \ Drain piping - installation

Condition: • [Poor support](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Sewage entering the building

Location: Crawl space

Task: improve

Time: discretionary



90.

FIXTURES AND FAUCETS \ Bathtub

Condition: • [Caulking loose, missing or deteriorated](#)

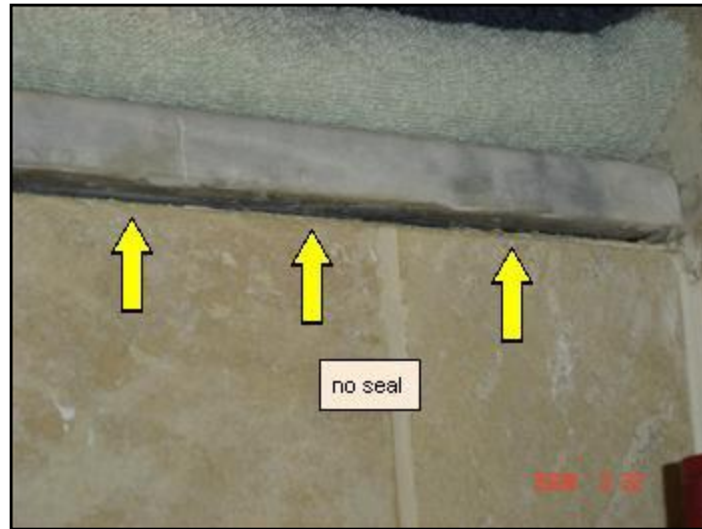
Several areas around tub have no or failed caulking. Do not use as shower until corrected.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Bathroom

Task: Repair or replace

Time: Discretionary



91.

FIXTURES AND FAUCETS \ Bathtub enclosure

Condition: • [Caulking loose, missing or deteriorated](#)

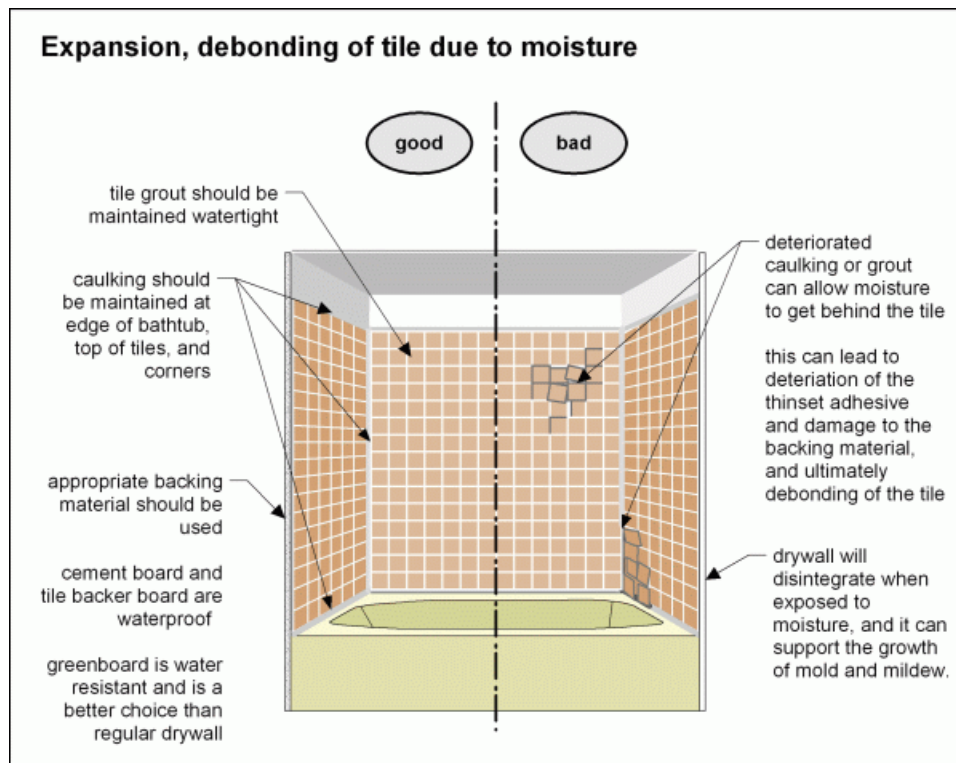
No seal from wall to floor, water could infiltrate structure if floor becomes wet.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Bathroom

Task: Improve

Time: If necessary





92.

Condition: • [Grout loose, missing or deteriorated](#)

Some minor imperfections in tile grout, should be repaired before using as shower to avoid damage to wall structure.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Bathroom

Task: Improve

Time: Discretionary

Condition: • [Not smooth, impervious or water resistant](#)

No sealer on tile walls, tile enclosure should be sealed if shower is to be used.

Implication(s): Cosmetic defects | Hygiene issue

Location: Bathroom

Task: Provide

Time: Discretionary

Condition: • [Unprotected window](#)

Missing trim on wooden window frame, protection will need to be provided if shower is used.

Implication(s): Chance of damage to finishes and structure

Location: Bathroom

Task: Improve

Time: Discretionary



93.

FIXTURES AND FAUCETS \ Hose bib or bibb

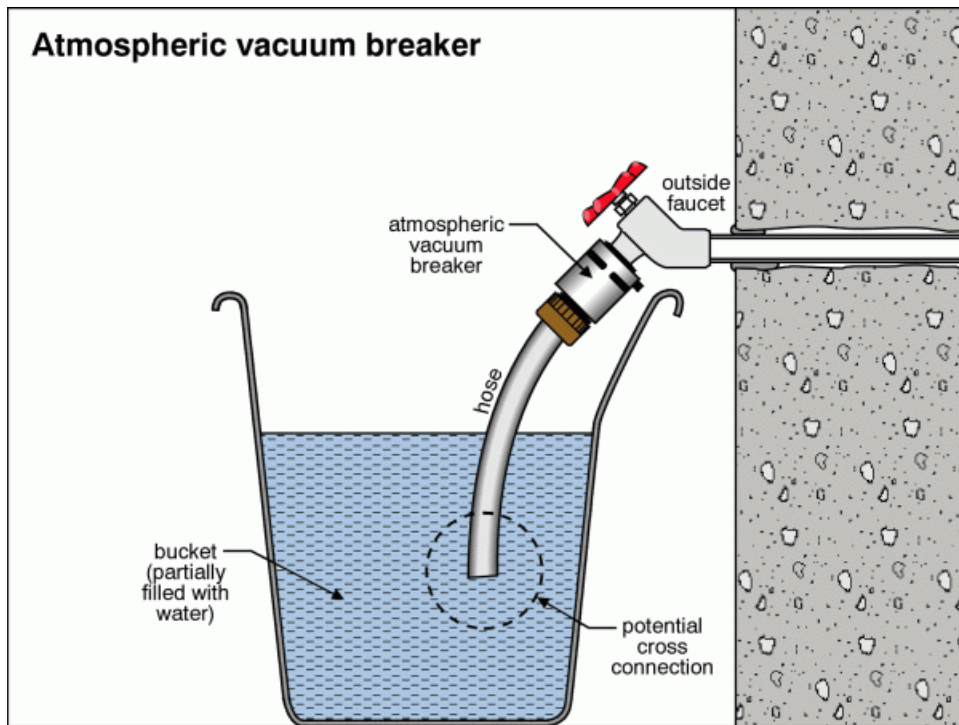
Condition: • [Backflow prevention missing](#)

Implication(s): Contaminated drinking water

Location: West Exterior wall

Task: Provide

Time: Discretionary



Description

General: • Cupboards

Note: Wood

General: • Countertop

Note: Laminate

General: • Interior doors

Note: Wood

Major floor finishes: • [Resilient](#)

Major wall and ceiling finishes: • [Plaster/drywall](#)

Windows: • Glass block/ South wall

Windows:

• [Single/double hung](#)

Kitchen

• [Sliders](#)

bedroom

• [Casement](#)

Bathroom window

• [Awning](#)

Living room

• Wood

Living room and bathroom

• Vinyl

Kitchen and Bedroom

Glazing: • [Double](#)

Exterior doors - type/material: • [Metal](#)

Evidence of crawlspace leakage: • Prior repairs • Spare pump on hand

Oven type: • Conventional

Oven fuel: • Electricity

Range fuel: • Electricity

Appliances: • Refrigerator

Laundry facilities: • Unfinished laundry room connected to bedroom, plumbing and electrical roughed in.

Laundry facilities:

• Hot/cold water supply

INTERIOR

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94.

- Vented to outside
- Waste standpipe

Limitations

Inspection limited/prevented by: • Storage/furnishings • New finishes/paint • Storage in closets/cupboards

Not tested/not in service: • Range • Oven

Not included as part of a building inspection: • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any

Cosmetics: • No comment offered on cosmetic finishes

Appliances: • Appliances are not inspected as part of a building inspection

Percent of foundation not visible: • 60 %

Crawlspace leakage: • Cannot predict how often or how badly crawlspace will leak • Storage in crawlspace limited inspection

Recommendations

CEILINGS \ General

Condition: • [Missing sections](#)

Temporary installation of vapour barrier and insulation beneath "skylight"

Implication(s): Cosmetic defects | Damage or physical injury due to falling materials

Location: South Living room

Task: Improve

Time: Within 1 year

WINDOWS \ Interior trim

Condition: • [Missing](#)

Bathroom window is unfinished and extremely prone to water damage due to proximity of shower, do not use shower until this is addressed.

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Implication(s): Cosmetic defects

Location: Bathroom

Task: Improve

Time: Discretionary

Condition: • [Missing](#)

Sills unfinished in bedroom and living room, unfinished gap below Kitchen window sill.

Implication(s): Cosmetic defects

Location: Various First floor

Task: Improve

Time: Discretionary



95.



96.

DOORS \ Doors and frames

Condition: • [Stiff](#)

Implication(s): Reduced operability

Location: Rear Exterior

Task: Repair/replace

Time: Discretionary

Condition: • [Swings open or closed by itself](#)

Door closes by itself, can be nuisance.

Implication(s): Physical injury

Location: Front Exterior

Task: Repair

Time: Discretionary



97.

Condition: • [Weatherstripping missing or ineffective](#)

Implication(s): Chance of water entering building | Increased heating and cooling costs | Reduced comfort

Location: Front and Rear Exterior Doors

Task: Provide

Time: If necessary

DOORS \ Glass (glazing)

Condition: • Windows on rear exterior door difficult to operate

Location: Rear Exterior

DOORS \ Hardware

Condition: • [Inoperable](#)

Interior side of keyed deadbolt inoperable, serious impediment for use as primary fire exit, thumb latch recommended.

Implication(s): System inoperative or difficult to operate

Location: Front Door

Task: Replace

Time: Immediate

Condition: • Latch not effective on exterior door

Latch at handle does not extend far enough into catch plate on frame.

Implication(s): Poor security

Location: Front door

Task: Repair/replace

Time: Discretionary

DOORS \ Interior trim

Condition: • [Missing](#)

Implication(s): Cosmetic defects

INTERIOR

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Location: Rear Exterior

Task: Provide

Time: Discretionary



98.

STAIRS \ Treads

Condition: • [Rise or run not uniform](#)

Not many options due to space limitations, exercise extreme caution when using

Implication(s): Trip or fall hazard

Location: Crawl space

Task: Monitor

Time: On going



99.

Condition: • [Rise excessive](#)

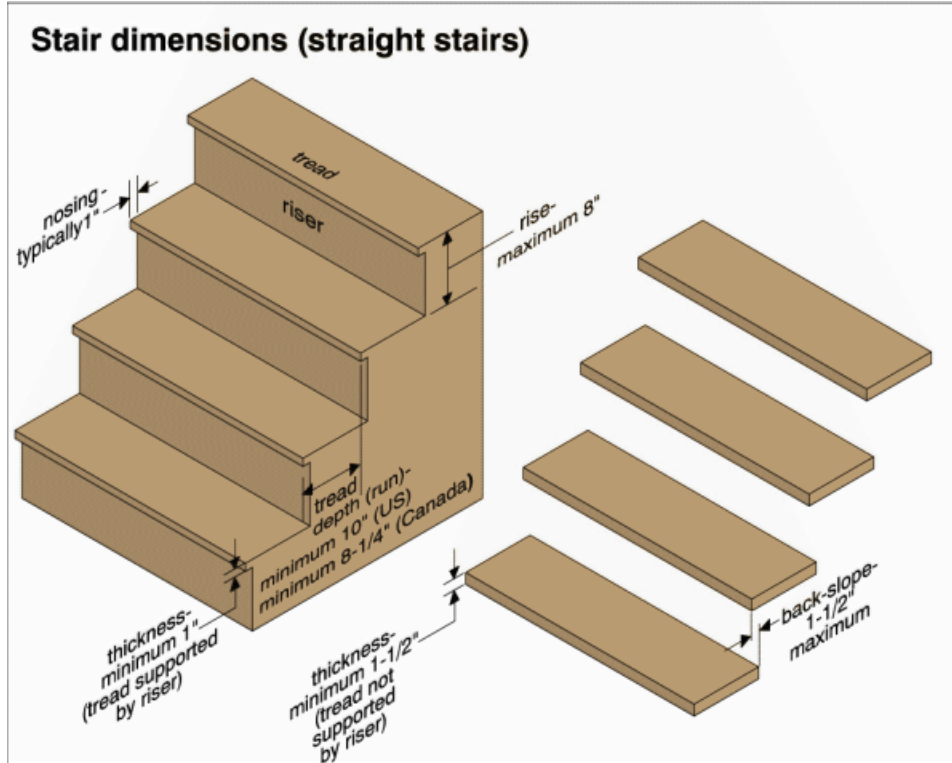
Not many options due to space limitations, exercise extreme caution when using.

Implication(s): Trip or fall hazard

Location: Crawl space

Task: Monitor

Time: On going



CRAWLSPACE \ Leakage

Condition: • [See EXTERIOR page for relevant recommendations](#)

Location: Crawl space

Task: Monitor

Condition: • [Interior drainage system](#)

Emergency drainage sump in crawlspace, sump dry at time of inspection.

Location: Crawl space

Task: Monitor

Time: On going

GARAGE \ General

Condition: • Disrepair

Implication(s): Weakened structure

Task: Demolish

EXHAUST FANS \ Exhaust fan

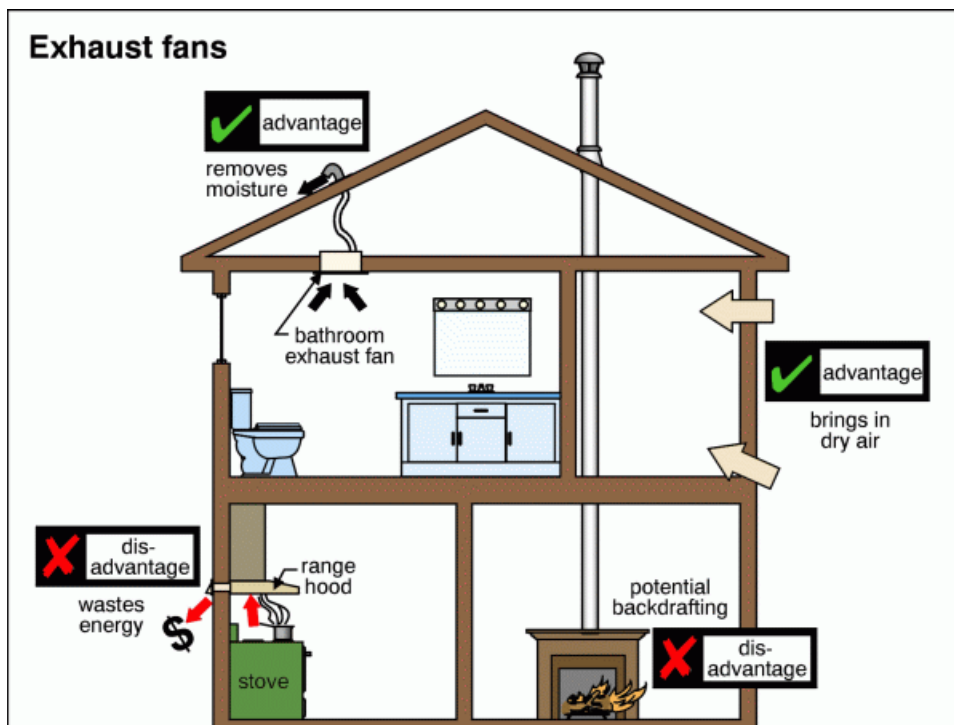
Condition: • [Missing](#)

Bathroom and Kitchen use windows for ventilation, not practical for use in cold weather.

Implication(s): Chance of condensation damage to finishes and/or structure

Task: Provide

Time: If necessary



END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS