

SUMMARY

Report No. 1021, v.5

777 Runningbrook Drive, Mississauga, ON December 4, 2019

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Note: For the purpose of this report the building is considered to be facing **South**.

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Exterior

EXTERIOR GLASS/WINDOWS \ General

Condition: • [Lintel rusting](#)

Paint and protect steel lintel in order to prevent further rusting

Implication(s): Weakened structure | Chance of movement

Location: Throughout Exterior

Task: Protect

Time: Immediate

Cost: Depends on approach

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

Condition: • [Missing](#)

Handrails, guard and posts are required at this deck height, recommend improving immediately in order to prevent a serious fall hazard

Implication(s): Fall hazard

Location: West Exterior Middle Deck

Task: Improve

Time: Immediate

Cost: Depends on work needed

Condition: • [Too low](#)

handrails are too low, this may result in a fall hazard, recommend replacing or improving the railing height

Implication(s): Fall hazard

Location: South Exterior Porch

Task: Improve

Time: Immediate

Cost: Depends on approach

Structure

FOUNDATIONS \ General

Condition: • [Cracked](#)

Foundation cracks noted throughout, this appears not to pose a structural concern. In order to protect the interior finishes from water infiltration recommend patching from the exterior, consult with a foundation expert on the approach and material required. Homes of this age do not have a water tight membrane protecting the foundation walls, ensure the lot grading is kept away from the foundation walls, all downspouts at least 4to6 feet away from the house.

Implication(s): Chance of water damage to contents, finishes and/or structure | Weakened structure

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Location: Throughout Exterior

Task: Repair

Time: Immediate

Cost: Depends on approach

Electrical

SERVICE DROP AND SERVICE ENTRANCE \ Service mast and conductors

Condition: • [Conduit or cable not weather-tight](#)

Conduit not weather tight, recommend to seal the opening to prevent water infiltration

Implication(s): Shock hazard or interruption of electrical service | Electric shock

Location: Rear Exterior Yard

Task: Repair

Time: Immediate

Cost: Depends on work needed

SERVICE BOX, GROUNDING AND PANEL \ Service box

Condition: • [Unprotected openings](#)

open receptacle, repairs required immediatly

Implication(s): Electric shock

Location: Exterior Garage

Task: Repair

Time: Immediate

Cost: Minor

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

Condition: • [Crowded](#)

consult with a licensed electrician to determine the safety of the over crowded panel

Implication(s): Electric shock | Fire hazard

Location: Basement Utility Room

Task: Further evaluation

Time: Immediate

Cost: Depends on work needed

SERVICE BOX, GROUNDING AND PANEL \ Auxiliary panel (subpanel)

Condition: • recommend subpanel inspection from a licenced master electrician, no ESA or licensee stickers found on both subpanel and main panel, recommend searching for permits when work was conducted, further evaluation is required

Location: South Garage

Task: Further evaluation

Time: Immediate

Cost: Depends on work needed

DISTRIBUTION SYSTEM \ Junction boxes

Condition: • [Missing](#)

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Junction box required near the central vacuum motor in basement area

Implication(s): Electric shock | Fire hazard

Location: Basement

Task: Repair

Time: Immediate

Cost: Minor

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • [Ungrounded](#)

please revert to comments made in the missing GFI section of the report, the two exterior receptacles are ungrounded and not protected with a GFI

Implication(s): Electric shock

Location: South Southwest Exterior

Task: Repair

Time: Immediate

Cost: Depends on approach

Condition: • [GFCI/GFI needed \(Ground Fault Circuit Interrupter\)](#)

Recommend replacing the outlets to GFI receptacles, the two exterior receptacles are also ungrounded, main floor hallway bathroom require a GFI outlet

Implication(s): Electric shock

Location: Exterior/mainfloor bathroom

Task: repair

Time: immediate

Cost: depends on approach

DISTRIBUTION SYSTEM \ Carbon monoxide (CO) alarms (detectors)

Condition: • Its highly recommended to replace all smoke & carbon monoxide alarms, no smoke detector found in the basement area

Location: Basement First Floor

Task: Replace

Time: Immediate

Cost: Minor

Heating

OPTIONAL \ Heating

Condition: • Other

no gas tags noted for furnace, water heater and fireplace, consult with a licenced gas fitter to determine a safe seal to all gas appliances

Location: Basement Utility Room

Task: Further evaluation

Time: Immediate

Cost: Depends on work needed

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FURNACE \ Life expectancy

Condition: • [Old](#)

recommend serving the unit in order to maintain its life expectancy

Implication(s): Equipment failure | No heat for building

Location: Basement Utility Room

Task: Monitor

Time: Ongoing

FIREPLACE \ Gas fireplace

Condition: • [Damper in existing fireplace not fixed open](#)

damper is required to be fixed open, possible carbon monoxide reentering the home, consult with a licensed fireplace contractor for a more permeant solution prior to usage

Implication(s): Hazardous combustion products entering home

Location: Basement Family Room

Task: Further evaluation

Time: Immediate

Cost: Depends on approach

Cooling & Heat Pump

AIR CONDITIONING \ Life expectancy

Condition: • [Near end of life expectancy](#)

near end of life expectancy, we are unable to test the A/C during the colder temperature, recommend monitoring unit until replacement is required

Implication(s): Equipment failure | Reduced comfort

Location: Rear Exterior Yard

Task: Replace

Time: When necessary

Cost: Depends on work needed

Plumbing

WATER HEATER - GAS BURNER AND VENTING \ Venting system

Condition: • [Poor connections](#)

repair vent seal immediately, possible back drafting can result in carbon monoxide reentering the home, there are direct or sealed venting options on newer units which maybe an option as well to replace entirely

Implication(s): Equipment not operating properly | Hazardous combustion products entering home

Location: Basement Utility Room

Task: Repair or replace

Time: Immediate

Cost: Depends on approach

FIXTURES AND FAUCETS \ Shower stall

Condition: • Moisture detected

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Moisture was detected at the threshold of the shower, Using a grout sealer is recommended, hidden defects maybe present.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Basement Bathroom

Task: Further evaluation

Time: When remodelling

Cost: Depends on work needed

Interior

STAIRS \ Guardrails

Condition: • [Missing](#)

handrail missing, recommend replacing immediately

Implication(s): Fall hazard

Location: Basement Staircase

Task: Improve

Time: Immediate

Cost: Minor

POTENTIALLY HAZARDOUS MATERIALS \ General

Condition: • Possible asbestos containing materials

possible asbestos wrapped supply pipes

Implication(s): Health hazard

Location: Throughout First Floor Second Floor

Task: Further evaluation

Time: Immediate

Cost: Depends on work needed

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

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Description

The home is considered to face : • South

Sloped roofing material: • [Asphalt shingles](#)

Probability of leakage: • Medium

Approximate age: • 5-10 years

Typical life expectancy: • 20-25 years

Limitations

Roof inspection limited/prevented by: • Snow/ice/frost

Inspection performed: • Eye stick

Age determined by: • Determined with eye stick

Not included as part of a building inspection: • Not readily accessible interiors of vent systems, flues, and chimneys

Description

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout type: • [Eave mounted](#)

Downspout discharge: • Below & Above grade

Soffit (underside of eaves) and fascia (front edge of eaves): • [Aluminum](#)

Wall surfaces and trim: • [Stucco](#) • [Brick](#)

Wall surfaces - masonry: • [Brick](#)

Driveway: • Asphalt

Walkway: • Interlocking brick

Porch: • Concrete

Exterior steps: • Concrete

Patio: • Interlocking brick

Fence: • Wood

Garage: • Attached

Trellis/Pergola: • Attached

Limitations

Inspection limited/prevented by: • Car/storage in garage • Snow / ice / frost

Upper floors inspected from: • Ground level

Exterior inspected from: • Ground level

Not included as part of a building inspection: • Underground components (e.g., oil tanks, septic fields, underground drainage systems)

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Recommendations

ROOF DRAINAGE \ Downspouts

1. Condition: • [Discharge below grade](#)

Homes of this age with downspouts that discharge below grade are more likely to cause basement leakage or foundation damage due to clogged or deteriorated pipes. Having your downspouts to discharge above grade is a preventative measure to reduce the risk of foundation leakage and structural damage. Please note that depending on the age and installation, concealed water damage may have already occurred.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Southwest Exterior

Task: Improve

Time: Less than 1 year

Cost: Minor

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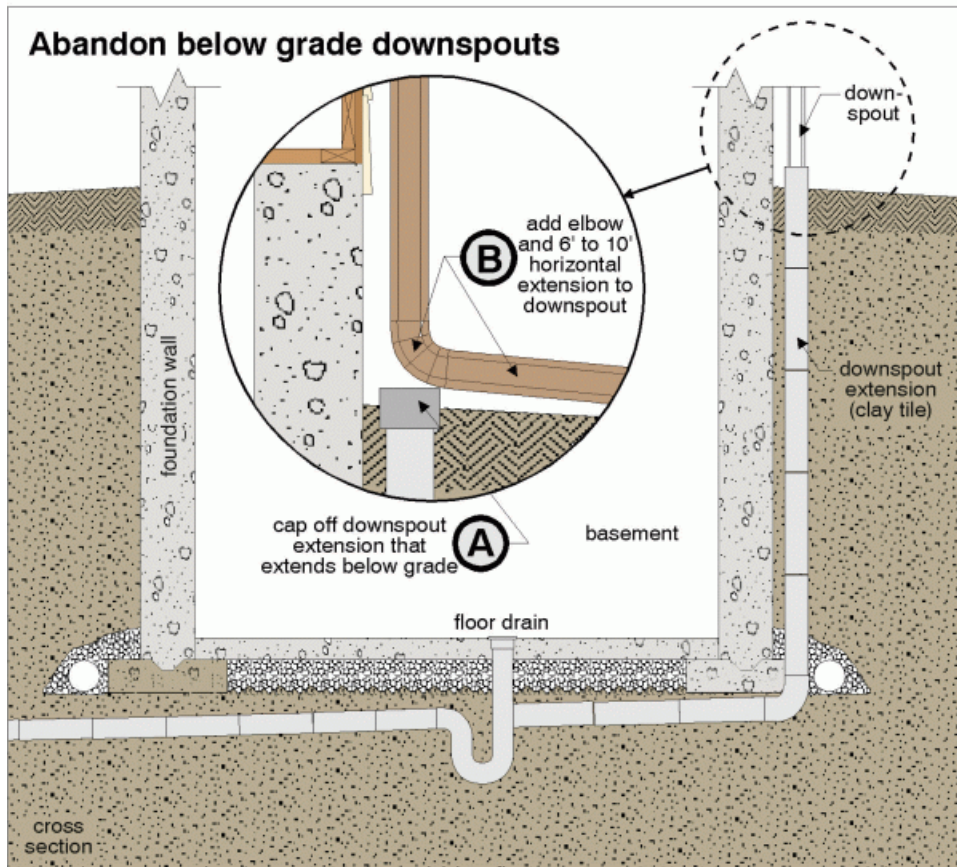
COOLING

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1. Discharge below grade

WALLS \ Stucco

2. Condition: • [Cracked](#)

crack noted, repairs required in order to prevent water damage be hide the interior wall

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

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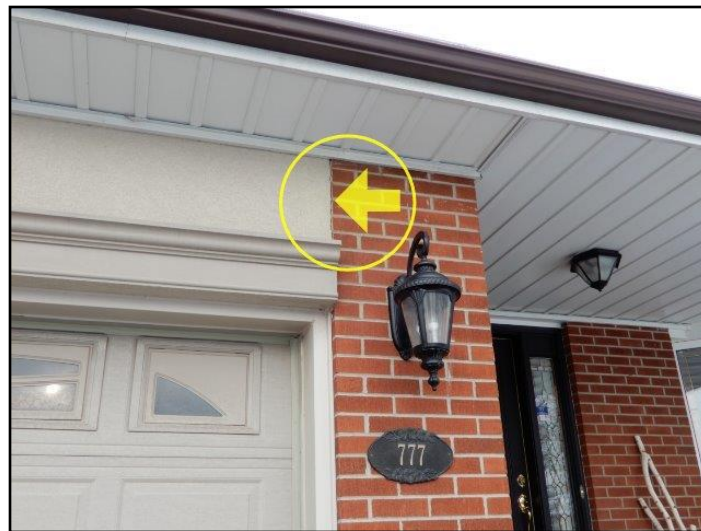
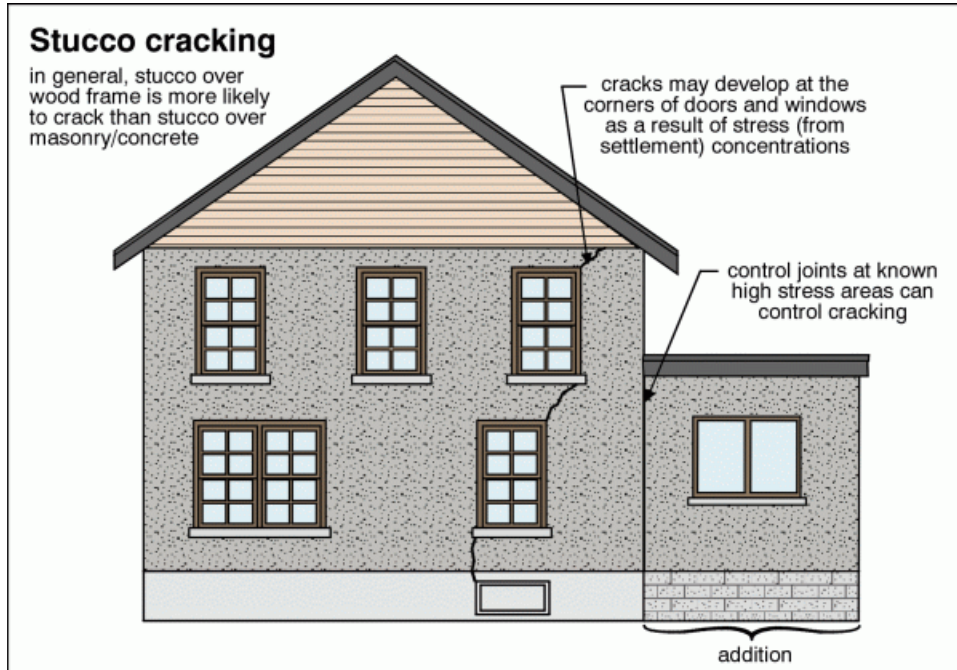
REFERENCE

Location: South Garage

Task: Repair

Time: Less than 1 year

Cost: Depends on approach



2. Cracked

EXTERIOR GLASS/WINDOWS \ General

3. Condition: • [Lintel rusting](#)

Paint and protect steel lintel in order to prevent further rusting

Implication(s): Weakened structure | Chance of movement

Location: Throughout Exterior

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Task: Protect

Time: Immediate

Cost: Depends on approach



3. Lintel rusting



4. Lintel rusting

EXTERIOR GLASS/WINDOWS \ Exterior trim

4. Condition: • [Caulking loose, missing or deteriorated](#)

caulk all window ledges in order to prevent water damages to interior finishes

Implication(s): Chance of water damage to contents, finishes and/or structure | Increased heating and cooling costs

Location: Throughout Exterior

Task: Improve

Time: Immediate

Cost: Minor



5. Caulking loose, missing or deteriorated



6. Caulking loose, missing or deteriorated

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7. Caulking loose, missing or deteriorated

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

5. Condition: • [Missing](#)

Handrails, guard and posts are required at this deck height, recommend improving immediately in order to prevent a serious fall hazard

Implication(s): Fall hazard

Location: West Exterior Middle Deck

Task: Improve

Time: Immediate

Cost: Depends on work needed

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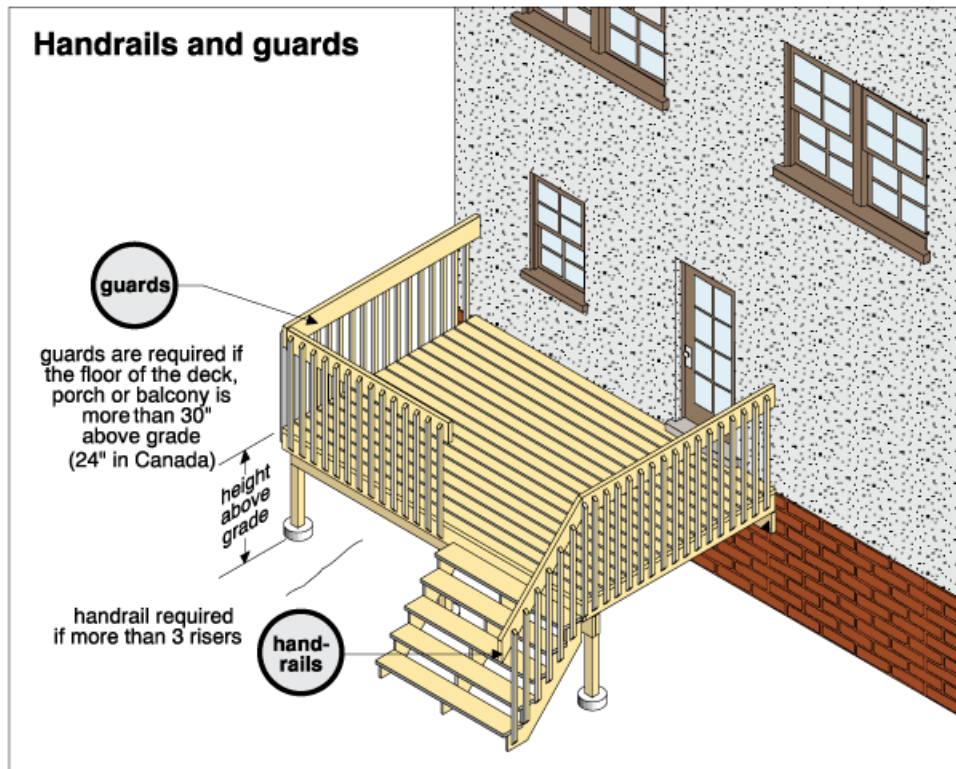
INSULATION

PLUMBING

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Handrails and guards



8. Missing

6. Condition: • [Too low](#)

handrails are too low, this may result in a fall hazard, recommend replacing or improving the railing height

Implication(s): Fall hazard

Location: South Exterior Porch

Task: Improve

Time: Immediate

Cost: Depends on approach

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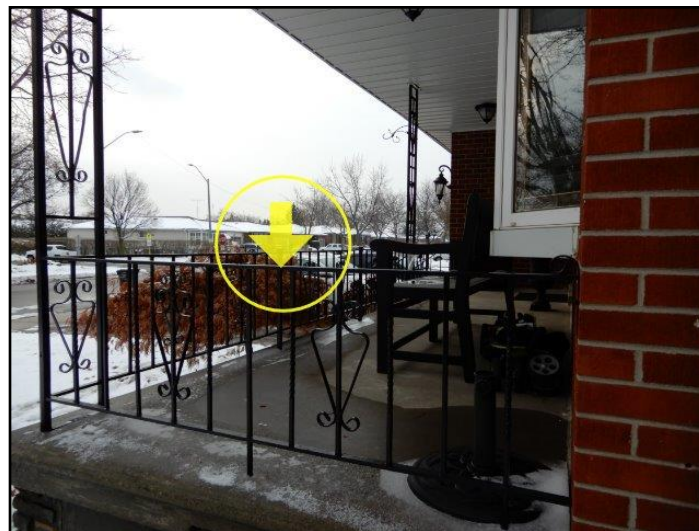
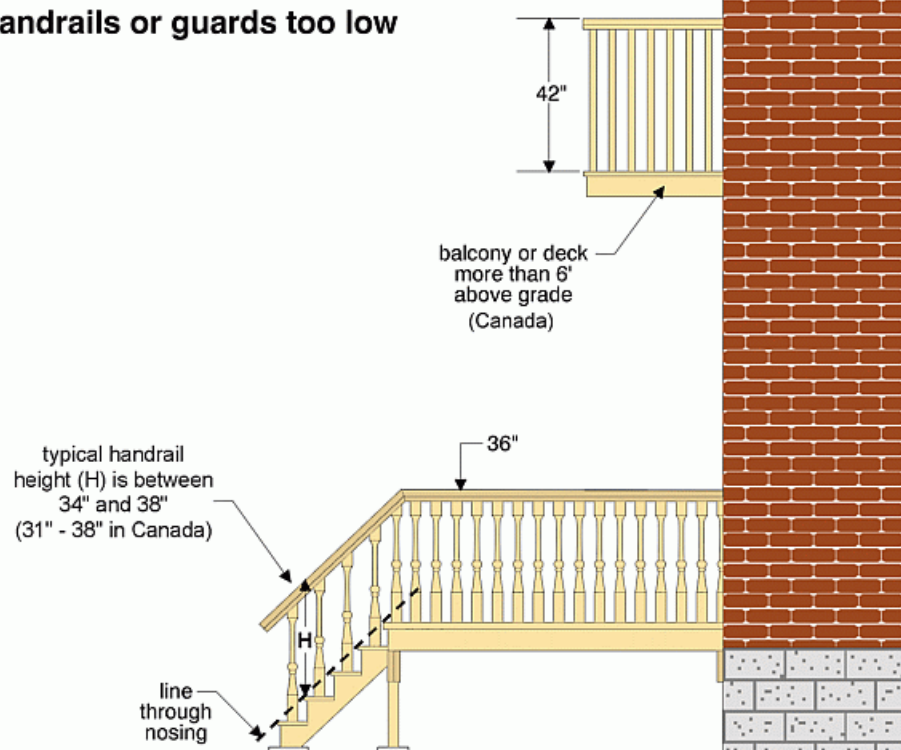
INSULATION

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Handrails or guards too low



9. Too low

Description

Configuration: • [Basement](#)

Foundation material: • [Masonry block](#)

Floor construction: • Not visible

Exterior wall construction: • [Masonry](#) • Concrete block

Roof and ceiling framing: • Rafters • [Plywood sheathing](#)

Limitations

Inspection limited/prevented by: • Ceiling, wall and floor coverings

Attic/roof space: • Inspected from access hatch

Percent of foundation not visible:

• 95 %

Limitation: Due to interior finishes

Not included as part of a building inspection: • An opinion about the adequacy of structural components • Attic load bearing components concealed by insulation cannot be traversed

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Recommendations

FOUNDATIONS \ General

7. Condition: • [Cracked](#)

Foundation cracks noted throughout, this appears not to pose a structural concern. In order to protect the interior finishes from water infiltration recommend patching from the exterior, consult with a foundation expert on the approach and material required. Homes of this age do not have a water tight membrane protecting the foundation walls, ensure the lot grading is kept away from the foundation walls, all downspouts at least 4to6 feet away from the house.

Implication(s): Chance of water damage to contents, finishes and/or structure | Weakened structure

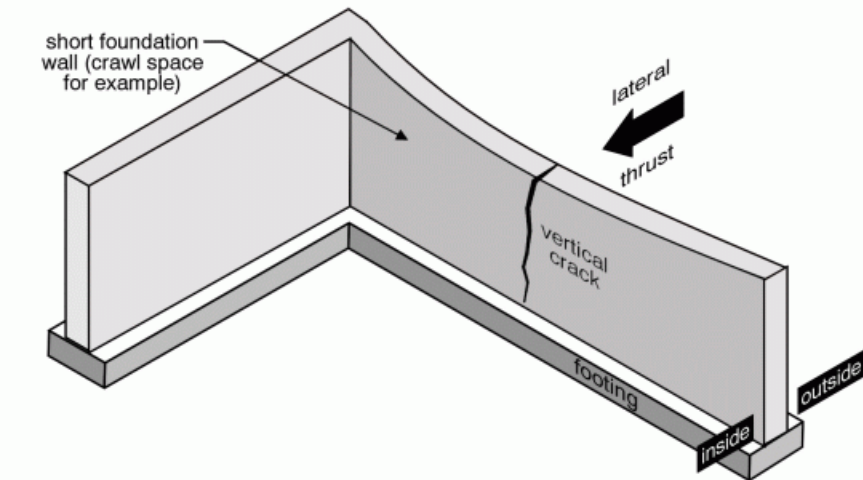
Location: Throughout Exterior

Task: Repair

Time: Immediate

Cost: Depends on approach

Vertical foundation cracks



in short foundation walls, horizontal forces can also cause vertical cracks (typically at the midpoint of the walls)



10. Cracked



11. Cracked

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12. Cracked



13. Cracked



14. Cracked



15. Cracked

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16. Cracked



17. Cracked



18. Cracked



19. Cracked

Description

Service entrance cable and location: • [Underground copper](#)

Service size: • [200 Amps \(240 Volts\)](#)

Main disconnect/service box rating: • [200 Amps](#)

Main disconnect/service box type and location: • [Breakers - utility room](#)

System grounding material and type: • [Not visible](#)

Distribution panel type and location: • [Breakers - utility room](#)

Distribution panel rating: • [200 Amps](#)

Electrical panel manufacturers: • Eaton/Cutler-Hammer

Auxiliary panel (subpanel) type and location: • [Breakers - garage](#)

Auxiliary panel (subpanel) rating: • [100 Amps](#)

Distribution wire (conductor) material and type: • [Copper - non-metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):

• [GFCI - bathroom and exterior](#)

Note: there were exterior receptacle with no GFI protection, this will be documented in the recommendation part of the report

• [GFCI - kitchen](#)

Smoke alarms (detectors):

• [Present](#)

Noted smoke alarm on main floor hallway only

Carbon monoxide (CO) alarms (detectors):

• Present

Noted Carbon Monoxide in basement hallway at time of inspection

Limitations

Inspection limited/prevented by:

• Storage

Limitation: Due to car hoist and storage in front of the subpanel in the garage area

Panel covers:

• Not safe to remove

Limitation: Panel cover in garage area not safe to remove due to car hoist and storage in front of the panel

Circuit labels: • The accuracy of the circuit index (labels) was not verified.

Not included as part of a building inspection: • Testing of smoke and/or carbon monoxide alarms • Amperage, voltage, and impedance measurements • Determination of the age of smoke and carbon monoxide alarms

Recommendations

SERVICE DROP AND SERVICE ENTRANCE \ Service mast and conductors

8. Condition: • [Conduit or cable not weather-tight](#)

Conduit not weather tight, recommend to seal the opening to prevent water infiltration

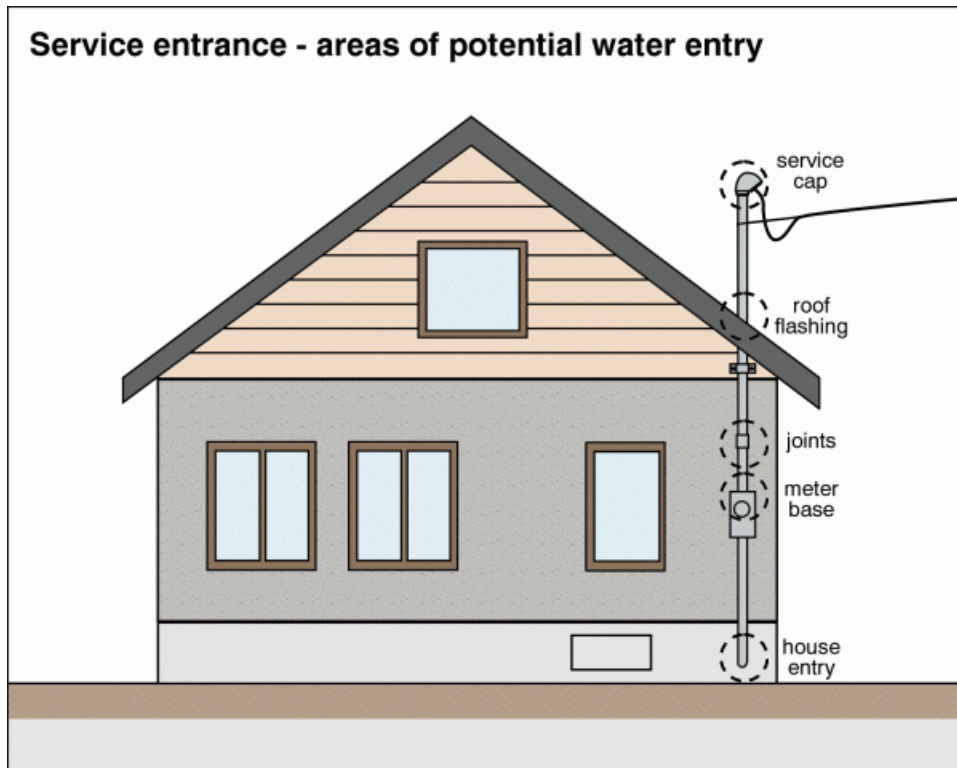
Implication(s): Shock hazard or interruption of electrical service | Electric shock

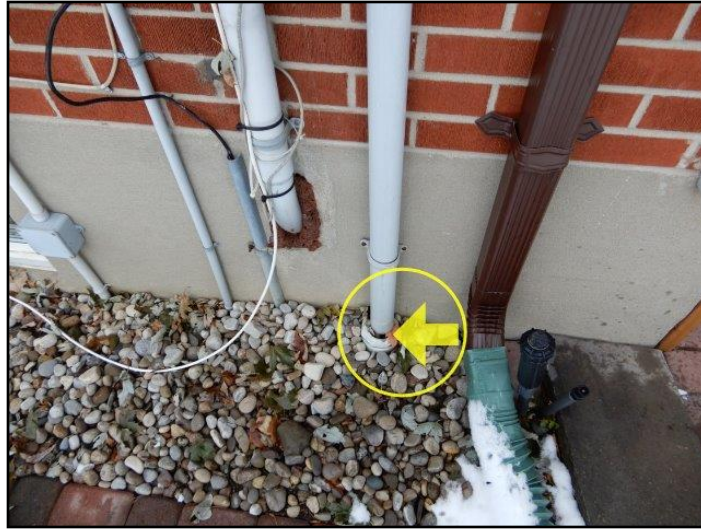
Location: Rear Exterior Yard

Task: Repair

Time: Immediate

Cost: Depends on work needed





20. Conduit or cable not weather-tight

SERVICE BOX, GROUNDING AND PANEL \ Service box

9. Condition: • [Unprotected openings](#)

open receptacle, repairs required immediatly

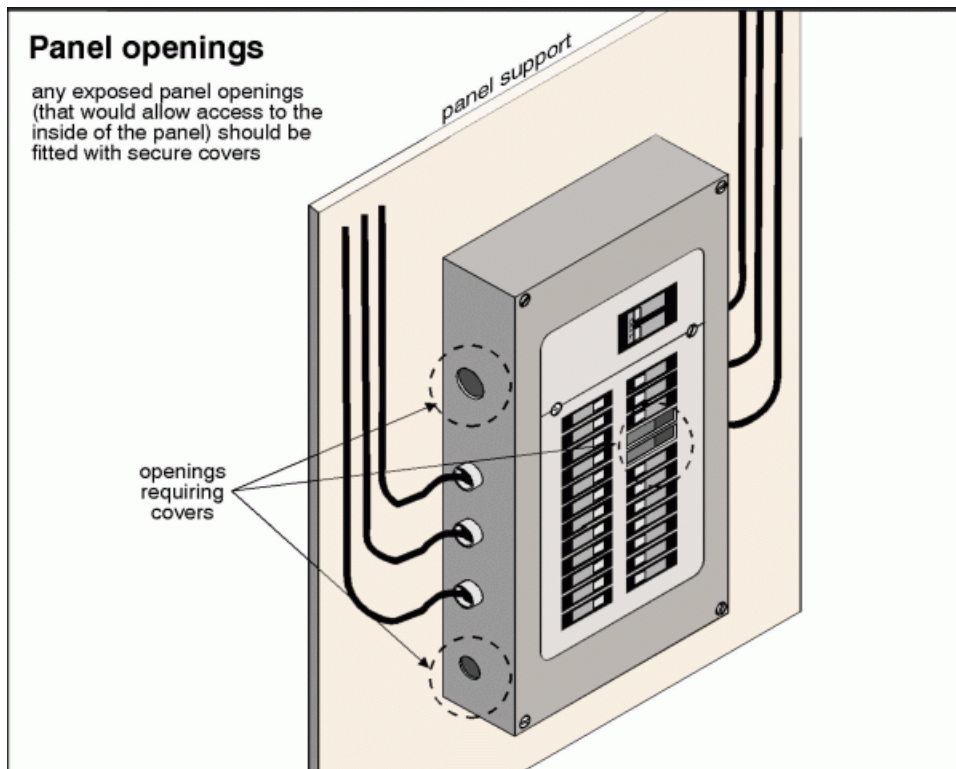
Implication(s): Electric shock

Location: Exterior Garage

Task: Repair

Time: Immediate

Cost: Minor





21. Unprotected openings

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

10. Condition: • [Crowded](#)

consult with a licensed electrician to determine the safety of the over crowded panel

Implication(s): Electric shock | Fire hazard

Location: Basement Utility Room

Task: Further evaluation

Time: Immediate

Cost: Depends on work needed



22. Crowded

SERVICE BOX, GROUNDING AND PANEL \ Auxiliary panel (subpanel)

11. Condition: • recommend subpanel inspection from a licenced master electrician, no ESA or licensee stickers found on both subpanel and main panel, recommend searching for permits when work was conducted, further evaluation is required

Location: South Garage

Task: Further evaluation

Time: Immediate

Cost: Depends on work needed



23. subpanel inspection



24.

DISTRIBUTION SYSTEM \ Junction boxes

12. Condition: • [Missing](#)

Junction box required near the central vacuum motor in basement area

Implication(s): Electric shock | Fire hazard

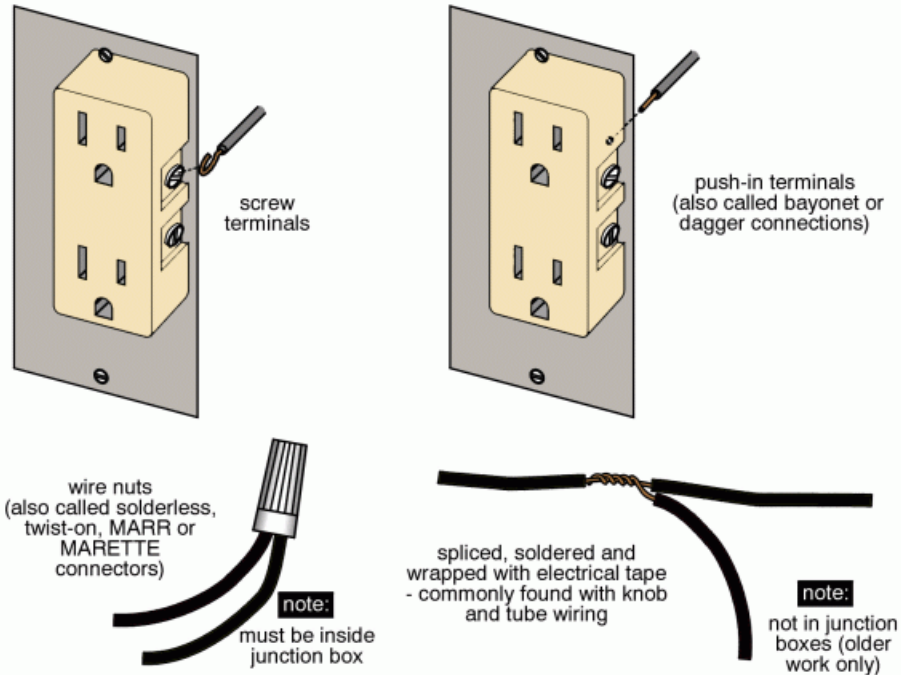
Location: Basement

Task: Repair

Time: Immediate

Cost: Minor

Types of connections



25. Missing

DISTRIBUTION SYSTEM \ Outlets (receptacles)**13. Condition:** • [Ungrounded](#)

please revert to comments made in the missing GFI section of the report, the two exterior receptacles are ungrounded and not protected with a GFI

Implication(s): Electric shock

Location: South Southwest Exterior

Task: Repair

Time: Immediate

Cost: Depends on approach

14. Condition: • [GFCI/GFI needed \(Ground Fault Circuit Interrupter\)](#)

Recommend replacing the outlets to GFI receptacles, the two exterior receptacles are also ungrounded, main floor hallway bathroom require a GFI outlet

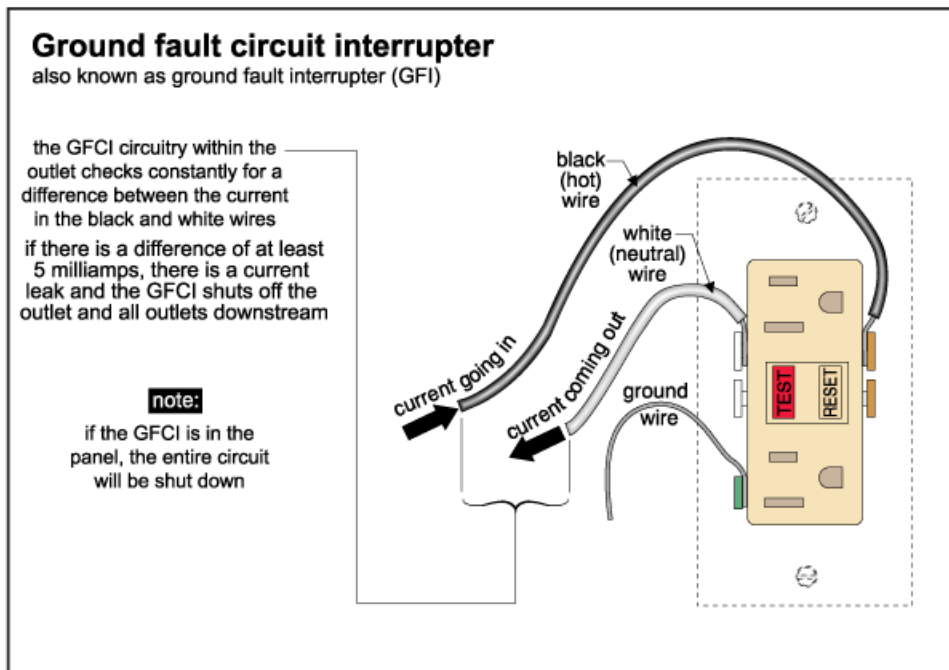
Implication(s): Electric shock

Location: Exterior/mainfloor bathroom

Task: repair

Time: immediate

Cost: depends on approach



26. GFCI/GFI needed (Ground Fault Circuit...



27. GFCI/GFI needed (Ground Fault Circuit...



28. GFCI/GFI needed (Ground Fault Circuit...

DISTRIBUTION SYSTEM \ Carbon monoxide (CO) alarms (detectors)

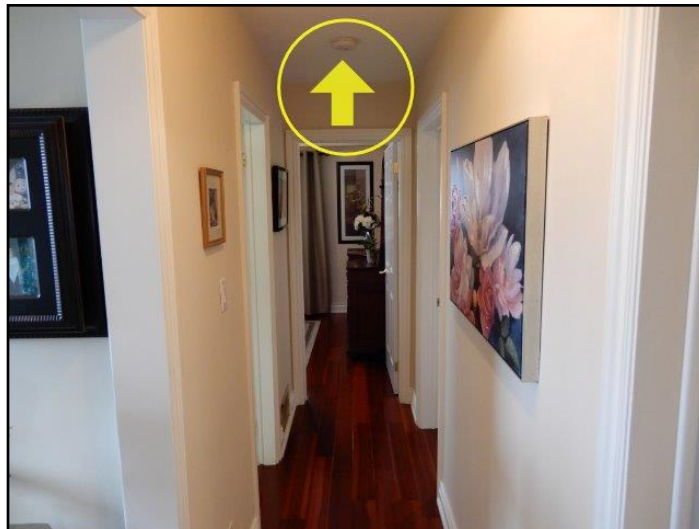
15. Condition: • Its highly recommended to replace all smoke & carbon monoxide alarms, no smoke detector found in the basement area

Location: Basement First Floor

Task: Replace

Time: Immediate

Cost: Minor



29. Smoke/Carbon alarms

Description

System type: • [Furnace](#)

Fuel/energy source: • [Gas](#)

Furnace manufacturer: • Keeprite

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • [75,000 BTU/hr](#)

Efficiency: • [High-efficiency](#)

Exhaust venting method: • [Direct vent - sealed combustion](#)

Combustion air source: • Outside

Approximate age: • [14 years](#)

Typical life expectancy: • Furnace (high efficiency) 15 to 20 years

Main fuel shut off at: • Meter • Exterior wall

Failure probability: • [High](#)

Air filter: • Disposable • 16" x 25" • 1" thick

Exhaust pipe (vent connector): • ABS plastic

Fireplace/stove: • [Gas fireplace](#)

Chimney liner: • [Metal](#) • [Clay](#)

Humidifiers: • [Trickle/cascade type](#)

Mechanical ventilation system for building: • Kitchen exhaust fan • Bathroom exhaust fan

Location of the thermostat for the heating system: • Living Room

Condensate system: • Discharges through floor slab

Limitations

Inspection prevented/limited by: • Vent connectors, chimney interiors and flues are not inspected

Safety devices: • Not tested as part of a building inspection

Heat loss calculations: • Not done as part of a building inspection

Fireplace/wood stove: • Quality of chimney draw cannot be determined

Heat exchanger: • Not visible

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Not included as part of a building inspection: • Heat loss calculations • Heat exchangers • Fireplace screens and doors • Fireplace seals and gaskets • Mantles and fireplace surrounds

Recommendations

OPTIONAL \ Heating

16. Condition: • Other

no gas tags noted for furnace, water heater and fireplace, consult with a licenced gas fitter to determine a safe seal to all gas appliances

Location: Basement Utility Room

Task: Further evaluation

Time: Immediate

Cost: Depends on work needed



30. no gas tags

FURNACE \ Life expectancy

17. Condition: • [Old](#)

recommend servicing the unit in order to maintain its life expectancy

Implication(s): Equipment failure | No heat for building

Location: Basement Utility Room

Task: Monitor

Time: Ongoing

HEATING

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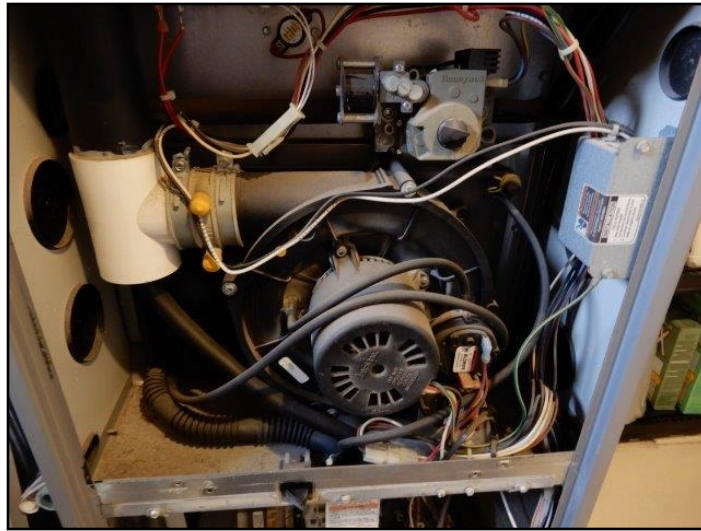
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31. Old

GAS FURNACE \ Gas meter

18. Condition: • [Poor location](#)

remove river rocks surrounding main gas meter, paint and protect gas lines is recommended

Implication(s): Fire or explosion | Difficult access | Difficult to service

Location: Rear Exterior Yard

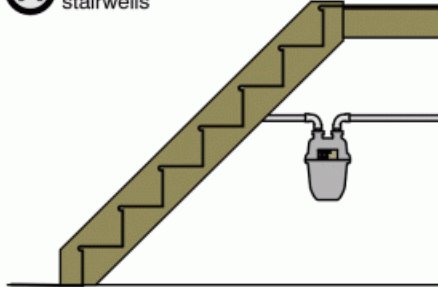
Task: Improve

Time: Immediate

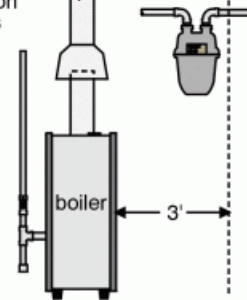
Cost: Depends on work needed

Poor meter locations

(A) under combustible stairwells



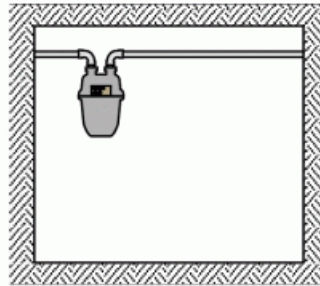
(B) within three feet of ignition sources



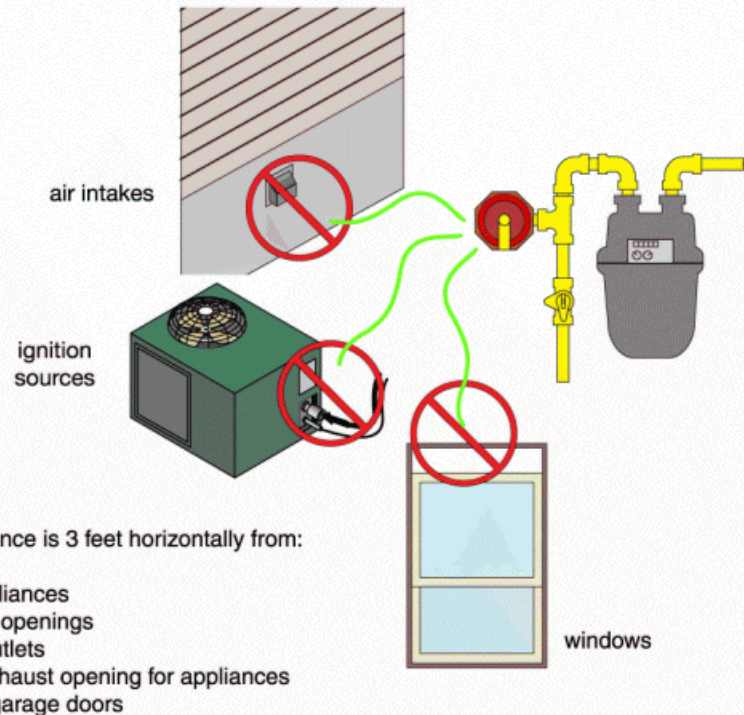
(C) below the drip line of the roof



(D) in unvented locations



Poor location of pressure relief vent on gas meter



32. Poor location

FIREPLACE \ Gas fireplace

19. Condition: • [Damper in existing fireplace not fixed open](#)

damper is required to be fixed open, possible carbon monoxide reentering the home, consult with a licensed fireplace contractor for a more permanent solution prior to usage

Implication(s): Hazardous combustion products entering home

HEATING

Report No. 1021, v.5

777 Runningbrook Drive, Mississauga, ON December 4, 2019

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

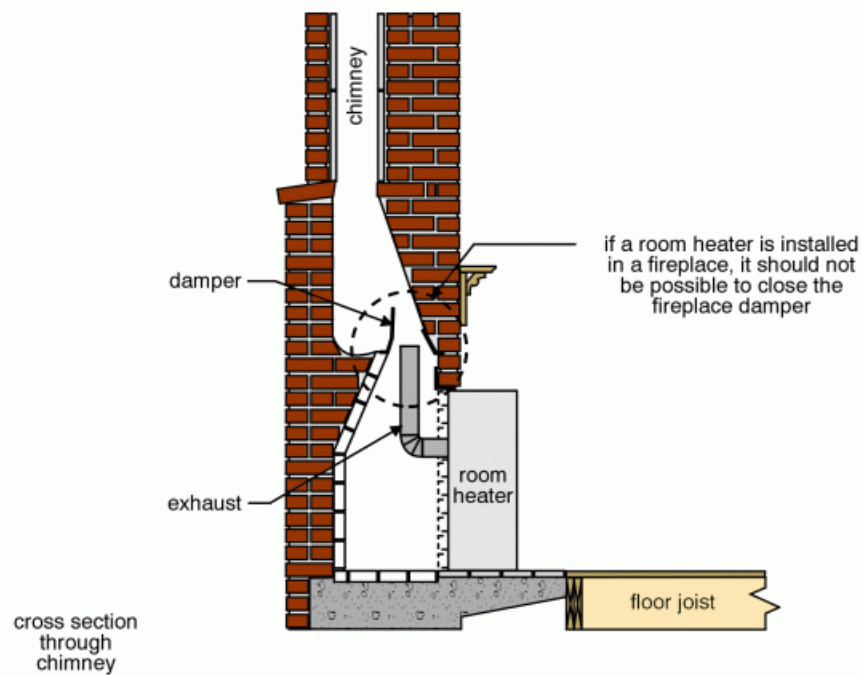
Location: Basement Family Room

Task: Further evaluation

Time: Immediate

Cost: Depends on approach

Fireplace damper not fixed open



33. Damper in existing fireplace not fixed open

COOLING & HEAT PUMP

Report No. 1021, v.5

777 Runningbrook Drive, Mississauga, ON December 4, 2019

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Air conditioning type: • [Air cooled](#)

Manufacturer: • KeepRite

Cooling capacity: • [24,000 BTU/hr](#)

Compressor type: • Electric

Compressor approximate age: • 15 years

Typical life expectancy: • 12 to 15 years

Failure probability: • [High](#)

Air filter: • Disposable • 16" x 25" • 1" thick

Evaporative cooler damper location: • [Rear of building](#)

Refrigerant type: • R-22

Location of the thermostat for the cooling system: • Living Room

Condensate system: • Discharges through floor slab

Limitations

Inspection limited/prevented by:

• Low outdoor temperature

Limitation: Due to cold weather we are unable to test the A/C unit at the time of inspection

Not part of a home inspection: • Home inspectors cannot typically access or inspect the indoor coil

Recommendations

AIR CONDITIONING \ Life expectancy

20. Condition: • [Near end of life expectancy](#)

near end of life expectancy, we are unable to test the A/C during the colder temperature, recommend monitoring unit until replacement is required

Implication(s): Equipment failure | Reduced comfort

Location: Rear Exterior Yard

Task: Replace

Time: When necessary

Cost: Depends on work needed

COOLING & HEAT PUMP

Report No. 1021, v.5

777 Runningbrook Drive, Mississauga, ON December 4, 2019

SUMMARY

ROOFING

EXTERIOR

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PLUMBING

INTERIOR

REFERENCE



34. *Near end of life expectancy*

INSULATION AND VENTILATION

Report No. 1021, v.5

777 Runningbrook Drive, Mississauga, ON December 4, 2019

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

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PLUMBING

INTERIOR

REFERENCE

Description

Attic/roof insulation material: • [Glass fiber](#)

Attic/roof insulation amount/value: • 10 inches

Attic/roof air/vapor barrier: • [Plastic](#)

Attic/roof ventilation: • [Roof and soffit vents](#)

Wall insulation material: • Not visible

Wall insulation amount/value: • Not visible

Wall air/vapor barrier: • Not determined

Foundation wall insulation material: • Not visible

Foundation wall insulation amount/value: • Not visible

Foundation wall air/vapor barrier: • Not determined

Limitations

Attic inspection performed: • From access hatch

Roof space inspection performed: • From access hatch

Roof ventilation system performance: • Not evaluated

Air/vapor barrier system: • Continuity not verified

Mechanical ventilation effectiveness: • Not verified

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Recommendations

ATTIC/ROOF \ Insulation

21. Condition: • Debris in attic

remove debris in attic space

Location: Attic

Task: Remove

Time: Less than 1 year

Cost: Minor

INSULATION AND VENTILATION

Report No. 1021, v.5

777 Runningbrook Drive, Mississauga, ON December 4, 2019

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

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COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



35. Debris in attic



36. Debris in attic

Description

Water supply source: • Public

Service piping into building: • [Not visible](#)

Supply piping in building: • [Copper](#)

Main water shut off valve at the: • Water meter not found, further investigation required

Water flow and pressure: • [Typical for neighborhood](#)

Water heater type: • [Conventional](#) • Rental

Water heater location: • Utility room

Water heater fuel/energy source: • [Gas](#)

Water heater exhaust venting method: • Natural draft

Water heater manufacturer: • General Electric (GE)

Water heater tank capacity: • 50 gallons

Water heater approximate age: • 9 years

Water heater typical life expectancy: • 8 to 12 years

Water heater failure probability: • [High](#)

Hot water temperature (Generally accepted safe temp. is 120° F): • 130° F

Hot water circulating system: • None

Waste and vent piping in building: • [ABS plastic](#)

Pumps: • None

Floor drain location: • None found

Main fuel shut off valve at the: • Exterior • Gas meter

Backwater valve: • Not visible

Exterior hose bibb (outdoor faucet): • Present

Limitations

Fixtures not tested/not in service: • Whirlpool bath

Items excluded from a building inspection: • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Landscape irrigation system

Not included as part of a building inspection: • Washing machine connections

Recommendations

WATER HEATER - GAS BURNER AND VENTING \ Venting system

22. Condition: • [Poor connections](#)

repair vent seal immediately, possible back drafting can result in carbon monoxide reentering the home, there are direct or sealed venting options on newer units which maybe an option as well to replace entirely

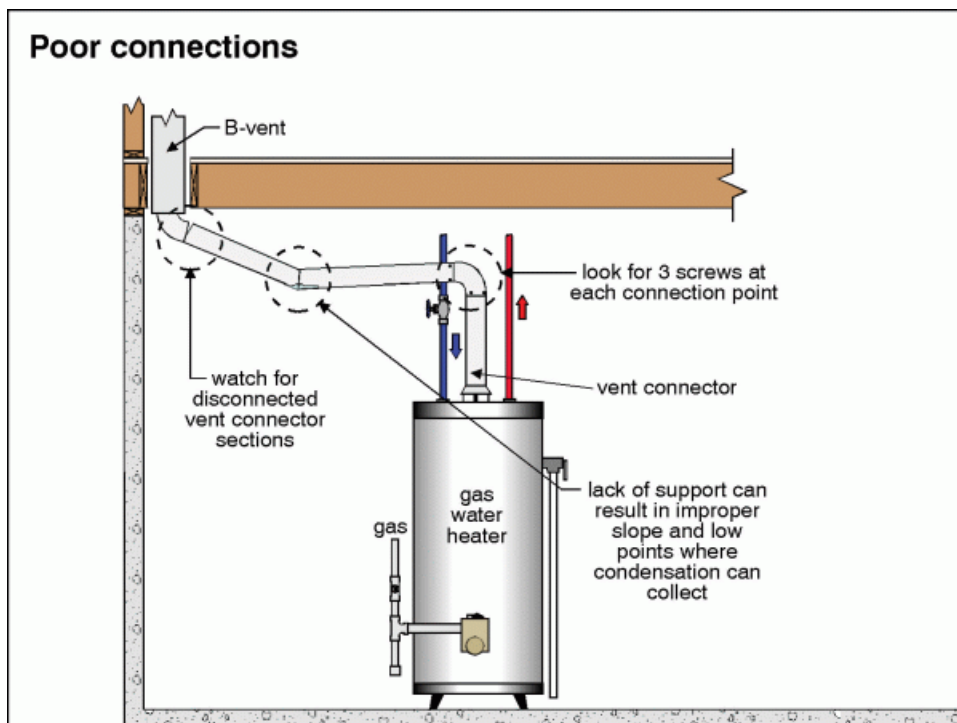
Implication(s): Equipment not operating properly | Hazardous combustion products entering home

Location: Basement Utility Room

Task: Repair or replace

Time: Immediate

Cost: Depends on approach





37. Poor connections

FIXTURES AND FAUCETS \ Shower stall

23. Condition: • Moisture detected

Moisture was detected at the threshold of the shower, Using a grout sealer is recommended, hidden defects maybe present.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Basement Bathroom

Task: Further evaluation

Time: When remodelling

Cost: Depends on work needed



38. Moisture detected

FIXTURES AND FAUCETS \ Toilet

24. Condition: • [Loose](#)

loose toilet, repairs required

Implication(s): Chance of water damage to contents, finishes and/or structure | Sewage entering the building | Possible hidden damage

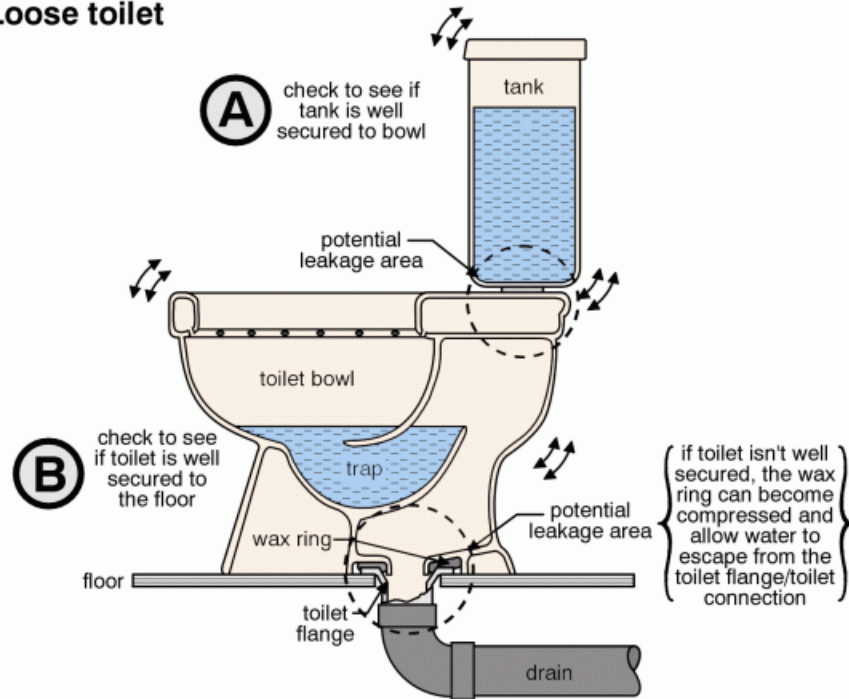
Location: basement bathroom

Task: repair

Time: immediate

Cost: minor

Loose toilet



39. Loose

Description

Major floor finishes: • [Hardwood](#) • Ceramic/porcelain • [Stone](#)

Major wall and ceiling finishes: • [Plaster/drywall](#)

Windows: • [Fixed](#) • [Sliders](#) • Vinyl

Exterior doors - type/material: • Hinged • [French](#) • Metal-clad

Doors: • Inspected

Kitchen ventilation: • Exhaust fan discharges to the exterior

Bathroom ventilation: • Exhaust fan • Window

Stairs and railings: • Inspected

Limitations

Inspection limited/prevented by: • Storage/furnishings

Restricted access to: • Basement area under stairwell

Not included as part of a building inspection: • Carbon monoxide alarms (detectors), security systems, central vacuum • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any • Environmental issues including asbestos

Cosmetics: • No comment offered on cosmetic finishes

Appliances: • Appliances are not inspected as part of a building inspection • Appliances are not moved during an inspection

Recommendations

STAIRS \ Guardrails

25. Condition: • [Missing](#)

handrail missing, recommend replacing immediately

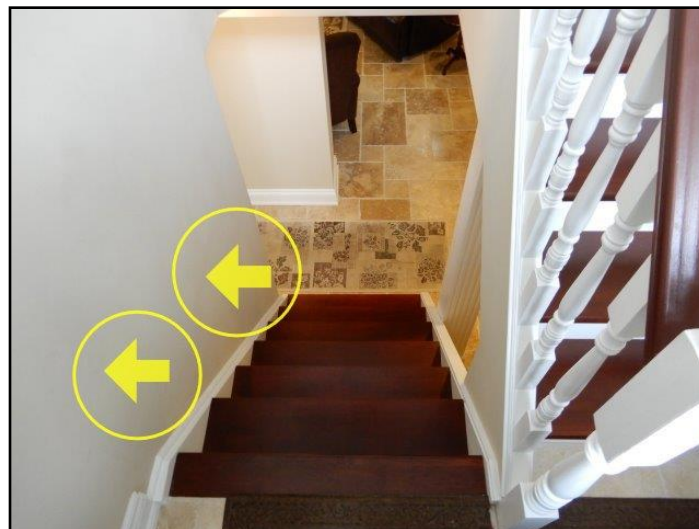
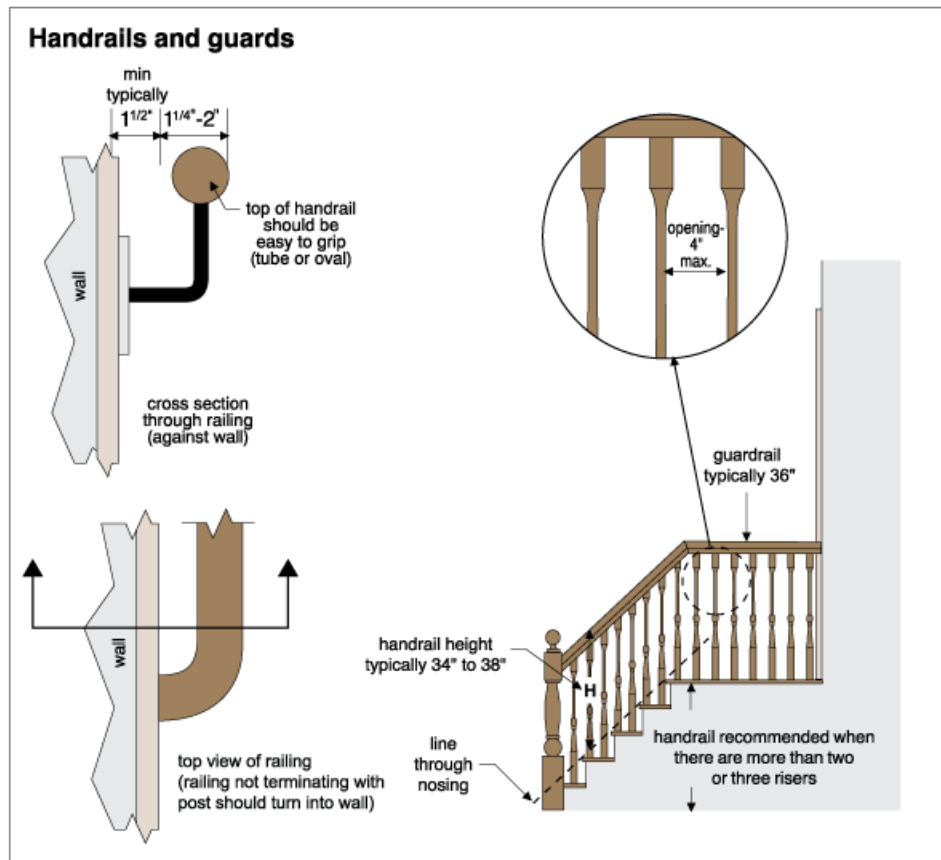
Implication(s): Fall hazard

Location: Basement Staircase

Task: Improve

Time: Immediate

Cost: Minor



40. Missing

EXHAUST FANS \ General

26. Condition: • [Missing](#)

recommend installing bathroom exhaust fan as a improvement to the ensuite bathroom

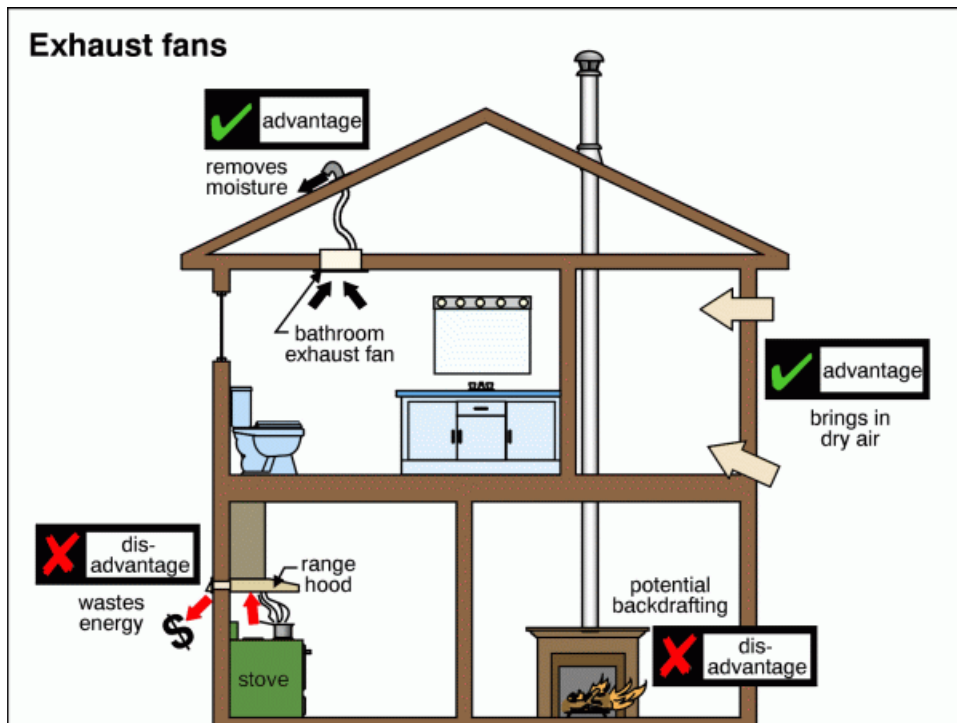
Implication(s): Chance of condensation damage to finishes and/or structure

Location: First Floor Ensuite Bathroom

Task: Improve

Time: When remodelling

Cost: Depends on approach



41. Missing

POTENTIALLY HAZARDOUS MATERIALS \ General

27. Condition: • Possible asbestos containing materials
possible asbestos wrapped supply pipes

Implication(s): Health hazard

Location: Throughout First Floor Second Floor

Task: Further evaluation

Time: Immediate

Cost: Depends on work needed



42. Possible asbestos containing materials

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS